

DOLPHIN CLUB

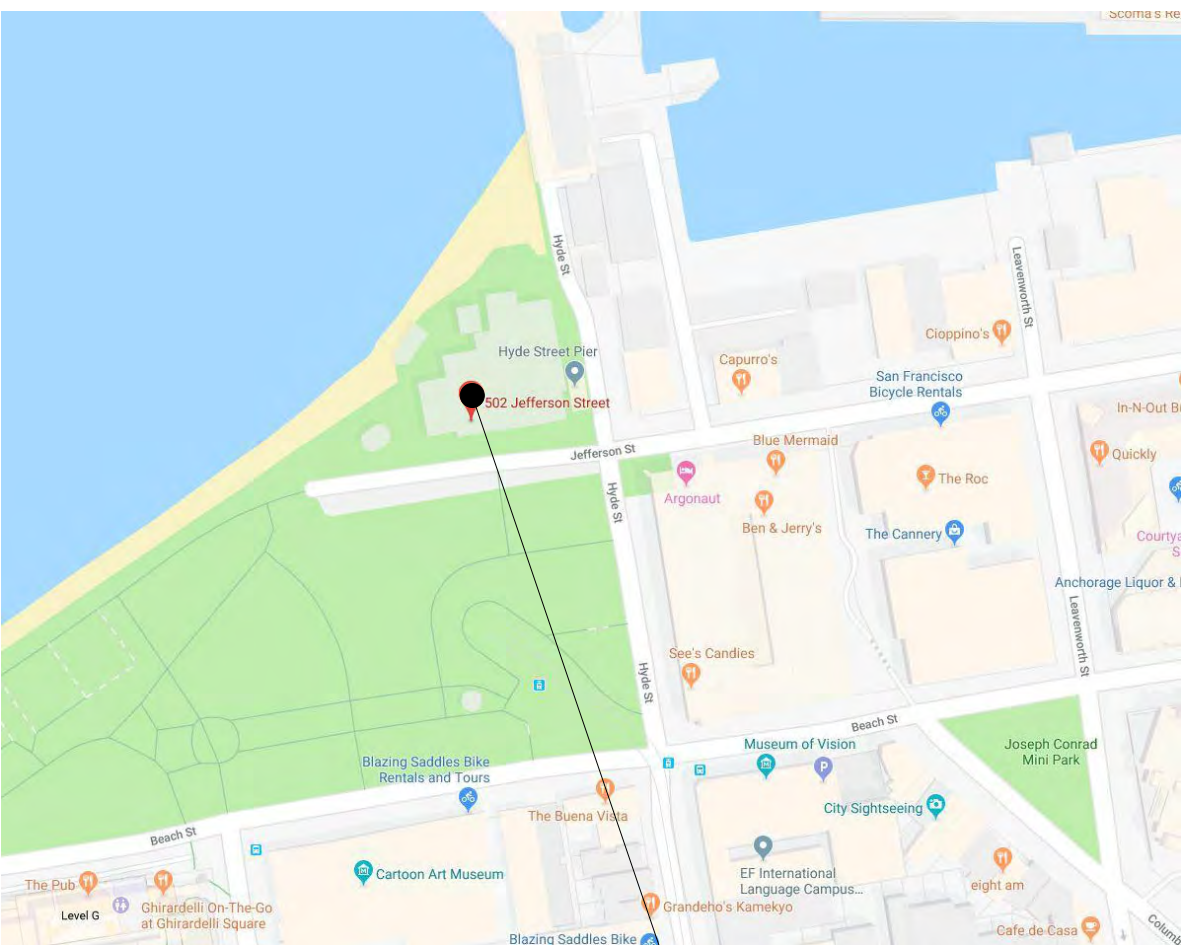
502 JEFFERSON STREET | SAN FRANCISCO | CALIFORNIA 94109

ALTERATIONS AND ADDITIONS

- BUILDING PERMIT SET -



VICINITY MAP



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- S0 LEGEND, AND ABBREVIATIONS
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- S3.0 CUSTOM DETAILS
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- S3.2 CUSTOM DETAILS

PROJECT DATA

PROJECT DESCRIPTION

LIMITED EXTERIOR ALTERATIONS AND INTERIOR REMODELING TO AN EXISTING 2-STORY WOOD FRAME (TYPE VB) BUILDING THAT IS FULLY SPRINKLERED:

FIRST FLOOR:

- A. DEMOLISH AND RE-BUILD EXISTING 1-STORY WEIGHT ROOM IN LIKE-KIND, SAME FOOTPRINT, APPROX. 764 S.F.
- B. DEMOLISH AND RE-BUILD EXISTING GALLEY (KITCHEN) IN LIKE-KIND, SAME SIZE, APPROX. 204 S.F.

SECOND FLOOR:

- A. NEW ROOF DECK ON TOP OF RE-BUILT WEIGHT ROOM, APPROX. 189 S.F.
- B. EXTEND EXISTING EGRESS STAIRS TO NEW ROOF DECK.
- C. 2ND FLOOR HORIZONTAL ADDITION FOR NEW OFFICE SPACE, APPROX. 133 S.F.
- D. NEW DECK, APPROX. 327 S.F.

ROOF:

- A. REMOVE AND REPLACE ACCESS STAIR TO (E) CUPOLA.

ELEVATOR UPGRADE:

- A. REPLACE (E) ELEVATOR WITHIN EXISTING ELEVATOR SHAFT.

1. PROJECT ADDRESS:
502 JEFFERSON STREET
SAN FRANCISCO, CA 94109

PLANNING DEPARTMENT DATA

- | | |
|---------------------------|-------------------------|
| 2. PROPERTY BLOCK: 0405 | LOT: 004 |
| 3. ZONING: | P - PUBLIC |
| 4. MAXIMUM HEIGHT: OS | PROPOSED HEIGHT: 29'-0" |
| 5. EXISTING PARKING: NONE | PROPOSED PARKING: NONE |
| 6. PROPOSED EXCAVATION: | NONE |

BUILDING DEPARTMENT DATA

- | | | |
|----------------------|-----------------|-----------------|
| 7. OCCUPANCY: | EXISTING | PROPOSED |
| 8. CONSTRUCTION TYPE | A-3 | A-3 (NO CHANGE) |
| 9. STORIES | 2-STORIES | V-B (NO CHANGE) |
| 10. BUILDING AREA | 18,218 SF | 2-STORIES |
| 11. SPRINKLERS: | FULLY SPRINKLED | 18,429 SF |
| | | FULLY SPRINKLED |

DEFERRED SUBMITTALS

1. FIRE SPRINKLER DRAWINGS AND CALCULATIONS
2. MEP ENGINEERING
3. STRUCTURAL ENGINEERING

GOVERNING CODES

ALL WORK SHALL BE IN COMPLIANCE WITH ALL STATE AND LOCAL CODES, INCLUDING THE FOLLOWING:
2019 CALIFORNIA BUILDING CODE (W/ LOCAL AMENDMENTS)
2019 CALIFORNIA MECHANICAL CODE (W/ LOCAL AMENDMENTS)
2019 CALIFORNIA PLUMBING CODE (W/ LOCAL AMENDMENTS)
2019 CALIFORNIA ELECTRICAL CODE (W/ LOCAL AMENDMENTS)
2019 CALIFORNIA ENERGY CODE (W/ LOCAL AMENDMENTS)
2019 CALIFORNIA FIRE CODE (W/ LOCAL AMENDMENTS)

AREA CALCULATIONS

BUILDING GROSS FLOOR AREA

FLOOR LEVEL	EXISTING	PROPOSED
1ST FLOOR	9,517 SF	9,517 SF
BOAT STORAGE	848 SF	848 SF
SAUNA	78 SF	78 SF
2ND FLOOR	8,044 SF	8,177 SF (+133 SF)
3RD FLOOR (EXISTING CUPOLA)	139 SF	139 SF
TOTAL	18,626 SF	18,759 SF

PROJECT DIRECTORY

OWNER

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501 STANYAN STREET
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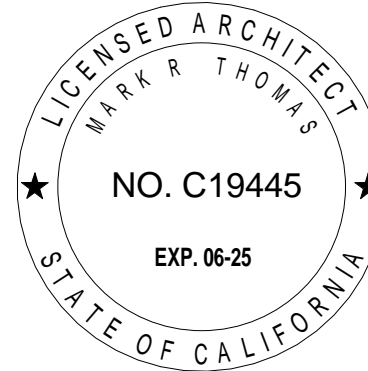
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STRUCTURAL ENGINEER

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DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
ADDENDUM 01	07.12.24

DRAWN BY: TL
SHEET TITLE:

COVER SHEET

SHEET NUMBER:

A0.0

DIVISION 1 - GENERAL CONDITIONS

1.1 SCOPE OF WORK

A. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXTENT, NATURE, AND SCOPE OF WORK DESCRIBED IN THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO EXECUTE ALL WORK SHOWN ON THESE DRAWINGS EXCEPT WHERE NOTED AS NOT IN CONTRACT (NIC). HE SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THAT OF ALL OTHER TRADES INCLUDING THOSE OPERATING UNDER SEPARATE CONTRACTS WITH THE LANDLORD AND/OR TENANT. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED.

B. THE DRAWINGS SHALL BE RECOGNIZED AS DIAGRAMMATIC IN NATURE AND NOT COMPLETELY DESCRIPTIVE OF ALL REQUIREMENTS FOR CONSTRUCTION. WHATEVER WORK THAT MAY BE SPECIFIED AND NOT DRAWN OR DRAWN AND NOT SPECIFIED SHALL BE EXECUTED AS FULLY AS IF DESCRIBED IN BOTH THESE WAYS. SHOULD ANY WORKMANSHIP OR MATERIAL BE NECESSARY THAT IS NOT EITHER DIRECTLY OR INDIRECTLY NOTED IN THESE SPECIFICATIONS OR SHOWN ON THE DRAWINGS BUT IS NEVERTHELESS NECESSARY FOR PROPERLY CARRYING OUT THE OBVIOUS INTENTION THEREOF, CONTRACTOR SHALL UNDERSTAND IT TO BE IMPLIED AND SHALL PROVIDE FOR THE SAME AS FULLY AS IF IT WERE PARTICULARLY DESCRIBED OR DELINEATED.

C. THE GENERAL CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS AND VERIFY ALL GOVERNING DIMENSIONS AT THE BUILDING. HE SHALL EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF HIS WORK IS IN ANY WAY DEPENDENT. ANY VARIATIONS OR DISCREPANCIES SHALL BE REPORTED, WITH ALL DUE EXPEDIENCY, TO ARCHITECT PRIOR TO THE FABRICATION OR ERECTION OF THE WORK IN QUESTION.

D. ALL WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES. ALL FEES, TAXES, AND PERMIT APPLICATIONS WITH THE APPROPRIATE GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.

1.2 THESE GENERAL CONDITIONS SHALL APPLY TO ALL WORK SHOWN HEREIN, AND SHALL EXTEND TO ANY CHANGES, EXTRAS, OR ADDITIONS AGREED TO DURING THE COURSE OF WORK.

1.3 THE AIA STANDARD DOCUMENT A201 ENTITLED "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" IS MADE PART OF THE GENERAL CONDITIONS.

1.4 USE OF DRAWINGS:

DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH UNLESS OTHERWISE NOTED.

1.5 CONSTRUCTION SCHEDULE:

WITHIN ONE WEEK OF THE AWARD OF THE CONTRACT THE GENERAL CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE TO THE ARCHITECT FOR REVIEW. SCHEDULE SHALL INCLUDE THE ORDER AND ANTICIPATED DELIVERY DATES OF ALL LONG LEAD TIME MATERIALS. CONTRACTOR SHALL UPDATE THE SCHEDULE NO LESS THAN WEEKLY THROUGHOUT THE COURSE OF CONSTRUCTION.

1.6 CONSTRUCTION MEETINGS:

CONTRACTORS SHALL BE RESPONSIBLE FOR KEEPING DETAILED WEEKLY MINUTES OF CONSTRUCTION MEETINGS.

1.7 SITE VISITS:

BIDDERS ARE INSTRUCTED TO VISIT AND INSPECT THE PREMISES PRIOR TO SUBMITTING THEIR PROPOSALS AND TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. NO SUBSEQUENT EXTRAS OR ADDITIONS WILL BE ALLOWED ON ANY CLAIM FOR LACK OF KNOWLEDGE OF CONDITIONS OR CIRCUMSTANCES ABOUT WHICH THE BIDDER COULD HAVE INFORMED HIMSELF.

1.8 LIMITATIONS AND EXCLUSIONS:

BIDDER SHALL MAKE KNOWN TO ARCHITECT ANY LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS TO THE PROJECT DURING THE BID PERIOD OF THE PROJECT. ALL LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS SHALL BE ITEMIZED IN THE BID PROPOSAL, OR THEY WILL BE PRESUMED INCLUDED; IN WHICH CASE NO ADDITIONAL MONIES WILL BE ALLOCATED.

1.9 INSURANCE:

ALL CONTRACTORS INVOLVED IN THIS PROJECT SHALL CARRY PROPERTY DAMAGE AND PUBLIC LIABILITY INSURANCE AS REQUIRED BY GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH STATUTORY REQUIREMENTS FOR DISABILITY AND WORKMEN'S COMPENSATION. CONTRACTORS SHALL COMPLY WITH ALL RULES AND REGULATIONS DICTATED BY THE LANDLORD. INSURANCE SHALL PROTECT LANDLORD, TENANT, ARCHITECT AND ANY OTHER ENTITIES REQUESTED TO BE FREE FROM LIABILITY DUE TO CONTRACTOR'S NEGLIGENCE. A PROPERLY EXECUTED CERTIFICATE OF INSURANCE, AIA DOCUMENT #G705, SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

1.10 SUBMITTALS AND SHOP DRAWINGS:

A. THE GENERAL CONTRACTOR SHALL SUBMIT THREE (3) SAMPLES AND / OR SCHEDULES OF EACH OF THE VARIOUS MATERIALS, HARDWARE, EQUIPMENT, AND FINISHES TO ARCHITECT FOR REVIEW AND COMMENT. SUBMITTALS INCLUDE, BUT ARE NOT LIMITED TO, DOORS, HARDWARE, LIGHTING, PLUMBING, ELECTRICAL, MECHANICAL, FINISHES, AND SPECIALTY EQUIPMENT.

B. THE GENERAL CONTRACTOR SHALL SUBMIT TO ARCHITECT FOR REVIEW AND COMMENT THREE (3) PRINTS OF ALL FABRICATION, ERECTION, OR INSTALLATION SHOP DRAWINGS. SHOP DRAWINGS INCLUDE, BUT ARE NOT LIMITED TO, MILLWORK, STRUCTURAL, LIFE SAFETY, AND HVAC.

C. CONTRACTORS SHALL NOT COMMENCE ANY PORTION OF THE WORK REQUIRING SUBMISSION OF A SHOP DRAWINGS, PRODUCT DATUM, OR SAMPLE UNTIL THE SUBMITTAL HAS BEEN REVIEWED BY THE ARCHITECT AND / OR THE APPROPRIATE CONSULTANT. ARCHITECT SHALL HAVE FIVE (5) BUSINESS DAYS PER REVIEW. INCOMPLETE SUBMITTALS WILL DELAY REVIEW. DOORS, HARDWARE, AND FRAMES ARE CONSIDERED A SINGLE REVIEW PACKAGE.

1.11 SUBSTITUTIONS:

THERE SHALL BE NO SUBSTITUTION OF MATERIALS SPECIFIED BY THE ARCHITECT. WHERE THE TERM "OR EQUAL" IS USED THE ARCHITECT ALONE SHALL DETERMINE EQUALITY BASED UPON INFORMATION SUBMITTED BY THE CONTRACTOR.

1.12 MANUFACTURER'S INSTRUCTIONS:

A. UNLESS OTHERWISE SPECIFIED, INSTALLATION OF WORK SHALL COMPLY WITH MANUFACTURER'S PRINTED INSTRUCTIONS AND RECOMMENDATIONS. CONTRACTOR SHALL OBTAIN AND DISTRIBUTE COPIES OF SUCH INSTRUMENTS TO PARTIES INVOLVED IN INSTALLATION; AND MAINTAIN ONE SET OF COMPLETE INSTRUCTIONS AT THE JOBSITE DURING INSTALLATION AND UNTIL COMPLETION.

B. CONTRACTOR SHALL HANDLE, INSTALL, CONNECT, CLEAN, CONDITION, AND ADJUST PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

C. CONTRACTOR SHALL PERFORM WORK IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DO NOT OMIT ANY PREPARATORY SET OR INSTALLATION PROCEDURE, UNLESS SPECIFICALLY MODIFIED OR EXEMPTED BY THE CONTRACT DOCUMENTS.

1.13 OVER – STOCK:

GENERAL CONTRACTOR TO CONSULT TENANT AND LANDLORD REGARDING OVER-STOCK MATERIALS FOR FUTURE MAINTENANCE. SUCH ITEMS MAY INCLUDE: CARPET, CARPET ACCESSORIES, DOOR HARDWARE, CEILING TILE, AND PAINT. UNLESS OTHERWISE NOTED, PROVIDE OVER – STOCK AS FOLLOWS: CEILING TILE – ONE (1) CASE, CARPET TILE – TWO (2) CASES PER EACH TYPE SPECIFIED, BROADLOOM CARPET – TO BE DETERMINED.

1.14 BUILDING REGULATIONS:

THE GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE BUILDING LANDLORD, AND SHALL COORDINATE THE USE OF ELEVATORS AND LOADING DOCKS PRIOR TO COMMENCEMENT OF WORK WITH SAME.

1.15 BUILDING PROTECTION:

GREAT CARE SHALL BE EXERCISED TO ASSURE THAT THE BUILDING AND TENANT AREAS SHALL BE PROTECTED FROM DAMAGE THAT COULD OCCUR BECAUSE OF THIS WORK. CONTRACTORS SHALL PROVIDE PROTECTION FOR EXISTING AREAS AND NEW WORK AREAS. ANY DAMAGE DUE TO THE CONTRACTOR'S WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S SOLE EXPENSE. CONTRACTOR SHALL PROVIDE DUST PROOF BARRICADES AROUND ALL AREAS OF NEW WORK AS NECESSARY TO PROTECT ADJACENT TENANT AREAS FROM DAMAGE.

1.16 CUTTING AND DRILLING:

CUTTING, CHASING, DRILLING OR DEMOLITION OF WALLS, SLABS, ETC. REQUIRING THE USE OF JACK HAMMERS OR OTHER HEAVY HAND OR POWER TOOLS SHALL BE PERFORMED OUTSIDE REGULAR BUSINESS HOURS ON AN OVERTIME BASIS UNLESS THE LANDLORD AND ANY AFFECTED TENANT EXPRESSLY PERMIT IT.

1.17 HAZARDOUS MATERIALS

REPORT ANY HAZARDOUS MATERIALS TO THE LANDLORD AND ARCHITECT IMMEDIATELY.

1.18 CLEAN-UP

THE GENERAL CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR BY THOSE OF OTHER CONTRACTORS UNDER SEPARATE CONTRACT. CONTRACTOR SHALL CONFINE HIS OPERATIONS FOR REMOVAL TO SUCH METHODS AS MAY BE AGREEABLE WITH THE LANDLORD. PREMISES TO BE SWEEP CLEAN ON A DAILY BASIS.

1.19 PUNCH-LIST:

UPON COMPLETION OF THE WORK THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT TO PREPARE A "PUNCH-LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. RELEASE OF FINAL PAYMENT WILL BE CONTINGENT ON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE OWNER- CONTRACTOR AGREEMENT.

1.20 GUARANTEE:

ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, WORKMANSHIP AND MATERIALS FOR A PERIOD OF AT LEAST (1) ONE YEAR FROM DATE OF FINAL ACCEPTANCE AND PAYMENT. ALL DEFECTS OCCURRING IN THE GUARANTEE PERIOD SHALL BE CORRECTED AT NO COST TO THE TENANT.

1.21 AS BUILT DRAWINGS:

DURING THE COURSE OF CONSTRUCTION, ACTUAL LOCATIONS OF ALL RUNS OF MECHANICAL AND ELECTRICAL WORK SHALL BE INDICATED TO SCALE IN RED INK ON THE DRAWINGS, INCLUDING CONCEALED DEVIATIONS FROM THE DRAWINGS. UPON COMPLETION OF THE PROJECT, INCLUDING THE PUNCH-LIST, THIS DRAWING SET SHALL BE TRANSFERRED TO ELECTRONIC CAD DRAWINGS, THE CAD DRAWINGS SHALL BE MARKED "AS BUILT SET" AND RETURNED TO ARCHITECT AND TENANT ON COMPACT DISK. THE ARCHITECT SHALL, WITHIN FIVE WORKING DAYS OF THE RECEIPT OF THIS SET, GRANT APPROVAL FOR FINAL PAYMENT TO THE CONTRACTOR OR SHOW REASONABLE CAUSE WHY SUCH APPROVAL IS DENIED.

D. SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ARCHITECT'S REVIEW AS SPECIFIED IN DIVISION 1 OF THESE SPECIFICATIONS.

1.22 SUBSTANTIAL COMPLETION

THE FOLLOWING ARE REQUIRED FOR SUBSTANTIAL COMPLETION:

A. FINAL CLEANING BY A PROFESSIONAL SERVICE

B. AS-BUILT DRAWINGS ON COMPACT DISK

C. A BINDER WITH OPERATION, MAINTENANCE DATA, AND WARRANTIES FOR ALL INSTALLED SYSTEMS.

D. SPECIFIED QUANTITIES OF MAINTENANCE AND OVER STOCK MATERIALS

E. HVAC BALANCE REPORT

DIVISION 2 - DEMOLITION

2.1 DESCRIPTION OF WORK

PERFORM ALL WORK OF A DEMOLITION NATURE THAT MAY BE REQUIRED OR NECESSARY TO A FULL AND COMPLETE EXECUTION OF THE WORK, WHETHER OR NOT SHOWN OR SPECIFIED. EXACT EXTENT OF DEMOLITION MAY NOT BE FULLY INDICATED BY THE DRAWINGS.

2.2 SALVAGED COMPONENTS:

A. WHERE SHOWN ON DRAWINGS, SALVAGE CONSTRUCTION MATERIALS AND EQUIPMENT (E.G., LIGHT FIXTURES, DOORS, FRAMES, HARDWARE, ETC.) SUITABLE FOR REUSE. SALVAGED COMPONENTS SHALL BE CLEANED AND REPAIRED BEFORE REUSING.

B. COORDINATE SALVAGE AND STORAGE OF BUILDING STANDARD CONSTRUCTION MATERIALS AND EQUIPMENT NOT NECESSARY FOR NEW TENANT CONSTRUCTION WITH LANDLORD.

2.3 PATCH AND REPAIR:

A. EXISTING CONSTRUCTION WHERE AFFECTED BY DEMOLITION WORK SHALL BE PROPERLY REMEMBERED, ALIGNED, AND REPAIRED TO LEAVE NO EVIDENCE OF REMODELING WORK. AREAS AFFECTED OUTSIDE OF TENANT SPACE BY DEMOLITION AND NEW CONSTRUCTION TO BE REPAIRED SO AS TO LEAVE NO EVIDENCE OF DAMAGE. INTEGRITY OF NON-TENANT SPACE TO BE MAINTAINED.

B. GENERAL CONTRACTOR SHALL REPAIR ANY FIRE PROOFING DAMAGED DURING THE COURSE OF DEMOLITION OR CONSTRUCTION SO AS TO MAINTAIN THE ORIGINAL FIRE RATING.

DIVISION 3 - CONCRETE

A. GENERAL CONTRACTOR TO FURNISH AND INSTALL ALL CONCRETE WORK IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE" (ACI) BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE STANDARD 318-83.

B. CONTRACTOR TO CHECK AND LEVEL CONCRETE FLOOR SURFACE TO A TOLERANCE NOT EXCEEDING ¼" IN A 10' - 0" DIAMETER WHEN MEASURED WITH A 10' - 0" STRAIGHT EDGE. CONTRACTOR SHALL PATCH AND REPAIR IMPERFECTIONS IN EXISTING CONCRETE SLAB AT ARCHITECT'S DISCRETION OR AS REQUIRED PRIOR TO INSTALLING FLOOR FINISH PER MANUFACTURER'S RECOMMENDATIONS. FLOOR SHALL BE LEVEL TO ¼" IN 10' - 0" DIAMETER ON A NON-CUMULATIVE BASIS ON ALL AREAS TO RECEIVE STONE OR TILE FLOORING.

DIVISION 6 - WOODWORK AND CABINETRY

6.1 CARPENTRY:

A. GENERAL CONTRACTOR TO FURNISH AND INSTALL ALL WOOD BLOCKING AND OTHER REINFORCING WHERE INDICATED ON THE DRAWINGS OR WHERE REQUIRED FOR ADEQUATE SUPPORT OF NEW WORK.

B. ALL WOOD BLOCKING SHALL BE STAMPED "FIRE-RETARDANT" TREATED IN ACCORDANCE WITH GOVERNING ORDINANCES AND BUILDING CODES.

C. ALL RAISED PLATFORMS MUST BE CONSTRUCTED FROM NON- COMBUSTABLE MATERIALS.

6.2 ARCHITECTURAL WOODWORK AND CABINETRY:

A. THIS CONTRACTOR TO FURNISH AND INSTALL ALL CUSTOM ARCHITECTURAL WOODWORK INCLUDING, BUT NOT LIMITED TO:

1. STANDING OR RUNNING TRIM

2. WOOD CABINETS AND HARDWARE

3. DOORS AND HARDWARE

4. WOOD FRAMES

5. SHELVEING AND HARDWARE

B. QUALITY AND WORKMANSHIP: ALL MATERIALS AND WORKMANSHIP SHALL BE IN STRICT ACCORDANCE WITH THE "ARCHITECTURAL WOODWORK INSTITUTE" (AWI) "PREMIUM GRADE STANDARDS". REFER TO 9.6 FOR FINISH STANDARDS FOR SHOP PAINTED DOORS.

C. MATERIALS AND FINISHES:

1. MATERIALS AND FINISHES SHALL BE SPECIFIED ON THE DRAWINGS. SAMPLES SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AS SPECIFIED IN DIVISION 1 OF THESE SPECIFICATIONS.

2. WOOD VENEERS TO RECEIVE TRANSPARENT FINISH TO BE PLAIN SLICED AND BOOK AND END MATCHED, UNLESS OTHERWISE NOTED.

3. MELAMINE COLOR, WHERE SPECIFIED, SHALL BE WHITE AT PLASTIC LAMINATE MILLWORK AND BLACK AT WOOD VENEER MILLWORK, UNLESS OTHERWISE NOTED.

4. PROVIDE GROMMETS IN COUNTERTOPS ABOVE EACH WALL MOUNTED OUTLET. GROMMETS TO BE MOCKETT & COMPANY SG SERIES, 1 3/4" HOLE, COLOR BLACK.

5. MILLWORK CABINETS CONSTRUCTION TO BE FLUSH OVERLAY TYPE WITH EUROPEAN (INVISIBLE) SELF - CLOSING, 170 DEGREE OPENING, HEAVY - DUTY HINGES AND 100 POUND RATED, FULL EXTENSION SIDE MOUNTED DRAWER SLIDES, UNLESS OTHERWISE NOTED. JOINTS BETWEEN DOORS AND DRAWERS TO BE 3/32" MAXIMUM WIDTH AND CONSISTENT THROUGHOUT.

6. SCRIBE COUNTERTOPS AND SPLASHES TO ADJACENT SURFACES.

7. PROVIDE 1/2" X 1/2" REVEAL WHERE CABINETS MEET ANOTHER SURFACE. REVEAL COLOR TO MATCH CABINET, UON.

8. MAXIMUM UNSUPPORTED CABINET SHELF WIDTH TO BE 3'-0".

DIVISION 6 - WOODWORK AND CABINETRY

6.1 CARPENTRY:

A. GENERAL CONTRACTOR TO FURNISH AND INSTALL ALL WOOD BLOCKING AND OTHER REINFORCING WHERE INDICATED ON THE DRAWINGS OR WHERE REQUIRED FOR ADEQUATE SUPPORT OF NEW WORK.

B. ALL WOOD BLOCKING SHALL BE STAMPED "FIRE-RETARDANT" TREATED IN ACCORDANCE WITH GOVERNING ORDINANCES AND BUILDING CODES.

C. ALL RAISED PLATFORMS MUST BE CONSTRUCTED FROM NON- COMBUSTABLE MATERIALS.

6.2 ARCHITECTURAL WOODWORK AND CABINETRY:

A. THIS CONTRACTOR TO FURNISH AND INSTALL ALL CUSTOM ARCHITECTURAL WOODWORK INCLUDING, BUT NOT LIMITED TO:

1. STANDING OR RUNNING TRIM

2. WOOD CABINETS AND HARDWARE

3. DOORS AND HARDWARE

4. WOOD FRAMES

5. SHELVEING AND HARDWARE

B. QUALITY AND WORKMANSHIP: ALL MATERIALS AND WORKMANSHIP SHALL BE IN STRICT ACCORDANCE WITH THE "ARCHITECTURAL WOODWORK INSTITUTE" (AWI) "PREMIUM GRADE STANDARDS". REFER TO 9.6 FOR FINISH STANDARDS FOR SHOP PAINTED DOORS.

C. MATERIALS AND FINISHES:

1. MATERIALS AND FINISHES SHALL BE SPECIFIED ON THE DRAWINGS. SAMPLES SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AS SPECIFIED IN DIVISION 1 OF THESE SPECIFICATIONS.

2. WOOD VENEERS TO RECEIVE TRANSPARENT FINISH TO BE PLAIN SLICED AND BOOK AND END MATCHED, UNLESS OTHERWISE NOTED.

3. MELAMINE COLOR, WHERE SPECIFIED, SHALL BE WHITE AT PLASTIC LAMINATE MILLWORK AND BLACK AT WOOD VENEER MILLWORK, UNLESS OTHERWISE NOTED.

4. PROVIDE GROMMETS IN COUNTERTOPS ABOVE EACH WALL MOUNTED OUTLET. GROMMETS TO BE MOCKETT & COMPANY SG SERIES, 1 3/4" HOLE, COLOR BLACK.

5. MILLWORK CABINETS CONSTRUCTION TO BE FLUSH OVERLAY TYPE WITH EUROPEAN (INVISIBLE) SELF - CLOSING, 170 DEGREE OPENING, HEAVY - DUTY HINGES AND 100 POUND RATED, FULL EXTENSION SIDE MOUNTED DRAWER SLIDES, UNLESS OTHERWISE NOTED. JOINTS BETWEEN DOORS AND DRAWERS TO BE 3/32" MAXIMUM WIDTH AND CONSISTENT THROUGHOUT.

6. SCRIBE COUNTERTOPS AND SPLASHES TO ADJACENT SURFACES.

7. PROVIDE 1/2" X 1/2" REVEAL WHERE CABINETS MEET ANOTHER SURFACE. REVEAL COLOR TO MATCH CABINET, UON.

8. MAXIMUM UNSUPPORTED CABINET SHELF WIDTH TO BE 3'-0".

DIVISION 6 - WOODWORK AND CABINETRY

6.1 CARPENTRY:

A. GENERAL CONTRACTOR TO FURNISH AND INSTALL ALL WOOD BLOCKING AND OTHER REINFORCING WHERE INDICATED ON THE DRAWINGS OR WHERE REQUIRED FOR ADEQUATE SUPPORT OF NEW WORK.

B. ALL WOOD BLOCKING SHALL BE STAMPED "FIRE-RETARDANT" TREATED IN ACCORDANCE WITH GOVERNING ORDINANCES AND BUILDING CODES.

C. ALL RAISED PLATFORMS MUST BE CONSTRUCTED FROM NON- COMBUSTABLE MATERIALS.

6.2 ARCHITECTURAL WOODWORK AND CABINETRY:

A. THIS CONTRACTOR TO FURNISH AND INSTALL ALL CUSTOM ARCHITECTURAL WOODWORK INCLUDING, BUT NOT LIMITED TO:

1. STANDING OR RUNNING TRIM

2. WOOD CABINETS AND HARDWARE

3. DOORS AND HARDWARE

4. WOOD FRAMES

5. SHELVEING AND HARDWARE

B. QUALITY AND WORKMANSHIP: ALL MATERIALS AND WORKMANSHIP SHALL BE IN STRICT ACCORDANCE WITH THE "ARCHITECTURAL WOODWORK INSTITUTE" (AWI) "PREMIUM GRADE STANDARDS". REFER TO 9.6 FOR FINISH STANDARDS FOR SHOP PAINTED DOORS.

C. MATERIALS AND FINISHES:

1. MATERIALS AND FINISHES SHALL BE SPECIFIED ON THE DRAWINGS. SAMPLES SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AS SPECIFIED IN DIVISION 1 OF THESE SPECIFICATIONS.

2. WOOD VENEERS TO RECEIVE TRANSPARENT FINISH TO BE PLAIN SLICED AND BOOK AND END MATCHED, UNLESS OTHERWISE NOTED.

3. MELAMINE COLOR, WHERE SPECIFIED, SHALL BE WHITE AT PLASTIC LAMINATE MILLWORK AND BLACK AT WOOD VENEER MILLWORK, UNLESS OTHERWISE NOTED.

4. PROVIDE GROMMETS IN COUNTERTOPS ABOVE EACH WALL MOUNTED OUTLET. GROMMETS TO BE MOCKETT & COMPANY SG SERIES, 1 3/4" HOLE, COLOR BLACK.

5. MILLWORK CABINETS CONSTRUCTION TO BE FLUSH OVERLAY TYPE WITH EUROPEAN (INVISIBLE) SELF - CLOSING, 170 DEGREE OPENING, HEAVY - DUTY HINGES AND 100 POUND RATED, FULL EXTENSION SIDE MOUNTED DRAWER SLIDES, UNLESS OTHERWISE NOTED. JOINTS BETWEEN DOORS AND DRAWERS TO BE 3/32" MAXIMUM WIDTH AND CONSISTENT THROUGHOUT.

6. SCRIBE COUNTERTOPS AND SPLASHES TO ADJACENT SURFACES.

7. PROVIDE 1/2" X 1/2" REVEAL WHERE CABINETS MEET ANOTHER SURFACE. REVEAL COLOR TO MATCH CABINET, UON.

8. MAXIMUM UNSUPPORTED CABINET SHELF WIDTH TO BE 3'-0".

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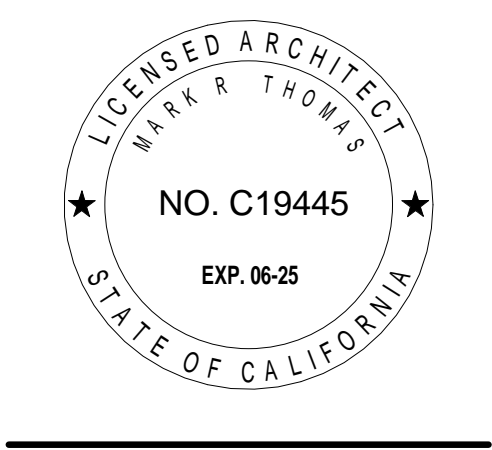
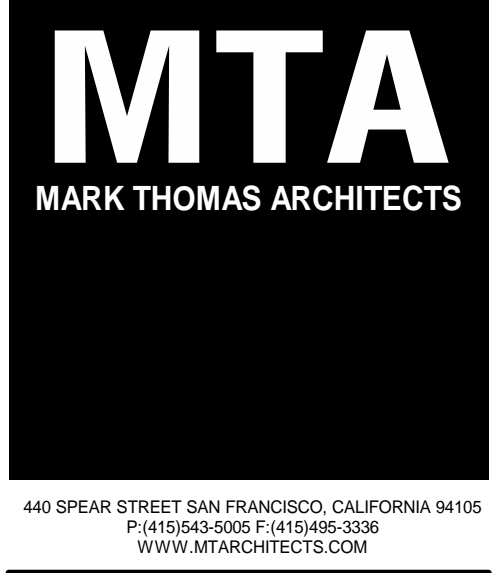
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5. MILLWORK CABINETS CONSTRUCTION TO BE FLUSH OVERLAY TYPE WITH EUROPEAN (INVISIBLE) SELF - CLOSING, 170 DEGREE OPENING, HEAVY - DUTY HINGES AND 100

<div>DIVISION 8 - DOOR, WINDOWS AND GLASS:</div> <div><div>8.1</div><div><div><div>A. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL DOORS, FRAMES AND HARDWARE WHERE SPECIFIED AND DETAILED ON THE DRAWINGS. NEW MATERIALS AND INSTALLATION OF SAME SHALL MATCH EXISTING WORK EXCEPT WHERE OTHERWISE NOTED.</div><div>B. HARDWARE SHALL MATCH EXISTING EXCEPT WHERE SPECIFIED OTHERWISE ON DRAWINGS. CONTRACTOR TO SUBMIT A FINISH HARDWARE SCHEDULE FOR ARCHITECT'S REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS.</div><div>C. PROVIDE ¼" MAXIMUM UNDERCUT AT ALL NEW DOORS.</div></div></div><div>8.2 GLASS AND BORROWED LIGHT PARTITIONS:</div><div><div><div>A. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL GLASS WORK WITH FRAMES AND HARDWARE AS SPECIFIED AND DETAILED ON THE DRAWINGS. GLASS WORK EXCEPT WHERE DETAILED OR NOTED OTHERWISE SHALL MATCH EXISTING WORK.</div><div>B. ALL GLASS WITHIN 12" OF A DOOR, IN A DOOR, OR WITHIN 18" OF THE FINISHED FLOOR SHALL BE TEMPERED OR LAMINATED SAFETY GLASS AND LABELED AS SUCH CLEARLY.</div><div>C. SUBMIT SHOP DRAWINGS OF ALL GLASS FRAMING AND GLAZING WORK ALONG WITH MATERIAL SAMPLES TO ARCHITECT FOR REVIEW PRIOR TO PROCEEDING WITH FABRICATION WORK.</div><div>D. INSTALL TEMPERED GLASS WITH MANUFACTURER'S SEAL LOCATED AT THE LOWER CORNER OF THE LITE. CONCEAL TONG MARKS, IF ANY.</div><div>E. ALL FIRE RATED SAFETY GLAZING SHALL BE "FIRE LITE" FIRE RATED CERAMIC GLASS AS MANUFACTURED BY TECHNICAL GLASS PRODUCTS, UNLESS OTHERWISE NOTED. REFER TO DRAWINGS FOR GLASS LITE FIRE RATING.</div><div>F. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD. LOCATIONS SPECIFIED IN CBC SECTION 2406.4.1 THROUGH 2406.4.7 SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING MATERIALS.</div></div></div></div>	<div>DIVISION 9 - FINISHES</div> <div><div>9.1 DRYWALL PARTITIONS:</div><div><div><div>A. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL NEW PARTITION, SOFFIT, AND CEILING CONSTRUCTION WHERE INDICATED ON THE DRAWINGS. NEW CONSTRUCTION SHALL MATCH THAT OF EXISTING ADJACENT CONDITIONS, IF APPLICABLE, EXCEPT WHERE NOTED OTHERWISE ON THE DRAWINGS.</div><div>B. ALL NEW PARTITION CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS, AND SHALL CONFORM TO BUILDING STANDARD SPECIFICATIONS WHERE APPLICABLE.</div><div>C. THE GENERAL CONTRACTOR SHALL LOCATE AND DESIGNATE ALL NEW AND REMAINING PARTITIONS AS NOTED ON THE DRAWINGS FOR REVIEW BY ARCHITECT ON SITE PRIOR TO COMMENCEMENT OF DEMOLITION OR NEW WORK.</div><div>D. PARTITIONS SHALL BE PLUMB AND DIMENSIONS SHALL BE WITHIN 1/8" IN 20'-0" ALONG LENGTH OF PARTITIONS. CONTRACTOR SHALL NOT ADJUST DIMENSIONS MARKED "CLEAR" OR "HOLD" WITHOUT REVIEW BY ARCHITECT.</div><div>E. PROVIDE WATER RESISTANT GYPSUM WALL BOARD AT TOILET ROOM PARTITIONS AND OTHER WET AREAS. PROVIDE TYPE "X" GYPSUM BOARD AT FIRE - RATED ASSEMBLIES.</div><div>F. INSTALL GYPSUM WALL BOARD WITH LONG DIMENSIONS PERPENDICULAR TO FRAMING.</div><div>G. NEW AND EXISTING GYPSUM WALL BOARD SHALL BE TAPED AND SANDED WITH NO VISIBLE JOINTS. SURFACES ARE TO BE FREE OF IMPERFECTIONS AND SHALL HAVE SMOOTH LEVEL 4 SURFACE READY TO RECEIVE SCHEDULED FINISH. WHERE DEEP TONE PAINT IS SCHEDULED, SKIM COAT FULL SURFACE OF SUBSTRATE TO LEVEL 5 FINISH. REFERENCE USG STANDARDS.</div><div>H. ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS TO BE PROPERLY FIRE STOPPED PER CODE.</div></div></div><div>9.2 CEILINGS SYSTEMS:</div><div><div><div>A. PATCH AND REPAIR: GENERAL CONTRACTOR TO PATCH AND REPAIR EXISTING CEILING SYSTEM WHERE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION SO AS TO LEAVE NO EVIDENCE OF REMODELING WORK.</div><div>B. GYPSUM CEILINGS:</div><div><div>1. CEILING SUPPORT SYSTEM SHALL LIMIT DEFLECTION OF FINISHED CEILING TO LESS THAN 1/260 OF SPAN.</div><div>2. ATTACHMENT DEVICES SHALL BE AN APPROVED TYPE, CAPABLE OF CARRYING FIVE TIMES THE CEILING LOAD OR 100 POUNDS, WHICHEVER IS GREATER.</div><div>3. HANGERS SHALL BE PLUMB OR COUNTERSPLAYED AND SHALL NOT PRESS AGAINST PIPE OR DUCT INSULATION.</div><div>4. CARRYING CHANNELS AND MAIN RUNNERS SHALL BE LEVEL TO WITHIN 1/8 INCHES IN 10'-0".</div><div>5. SUSPENSION SYSTEM SHALL NOT BE VISIBLE FROM EYE LEVEL OF A PERSON STANDING ON THE FLOOR.</div></div></div><div>C. LAY IN PANEL CEILINGS:</div><div><div><div>1. SPACE MAIN RUNNERS 4'-0" ON CENTER. LEVEL AND SQUARE TO ADJACENT WALLS</div><div>2. SPACE CROSS RUNNERS AT 2'-0" ON CENTER</div><div>3. PROVIDE COMPRESSION STRUTS AT SEISMIC WIRE LOCATIONS. COMPRESSION STRUTS SHALL NOT REPLACE HANGER WIRES.</div></div></div><div>9.3 RESILIENT BASE:</div><div><div><div>A. RESILIENT BASE TO BE STRAIGHT AT CARPETING AND COVE AT HARD SURFACE FLOORING.</div><div>B. RESILIENT BASE TO BE INSTALLED IN CONTINUOUS RUNS FROM 120'-0" ROLLS. NO JOINTS SHALL BE WITHIN 12" OF A CORNER.</div></div></div><div>9.4 CARPET TILE:</div><div><div><div>A. STORE CARPET TILE AT LEAST 3 DAYS PRIOR TO INSTALLATION IN AREA OF INSTALLATION TO ACHIEVE TEMPERATURE STABILITY.</div><div><div>1. FOLLOW CRI 104 STANDARD FOR ROOM TEMPERATURE AND HUMIDITY CONDITIONS.</div><div>2. MAINTAIN RECOMMENDED CONDITIONS AT LEAST 72 HOURS PRIOR TO INSTALLATION AND AFTER COMPLETION.</div><div>3. DO NOT STACK CARPET TILE BOXES MORE THAN 6 CARTONS HIGH TO AVOID POTENTIAL CRUSHING.</div></div></div><div>B. SEQUENCE CARPET TILE INSTALLATION WITH OTHER WORK TO MINIMIZE POSSIBILITY OF DAMAGE AND SOILING DURING REMAINDER OF CONSTRUCTION PERIOD.</div><div>C. CONSISTENCY OF COLOR SHALL BE SUCH THAT ANY TILE SHALL BE INTERCHANGEABLE WITH ANY OTHER TILE, WITHIN A DYE LOT, WITH NO VISUAL DIFFERENCE.</div><div>D. ADHESIVES, IF REQUIRED, TO BE PER MANUFACTURER'S GUIDELINES.</div><div>E. SUBFLOOR MUST BE CLEANED, FREE OF DUST, DIRT, GREASE, WAX, PAINT, CURING OR PARTING AGENTS, OR ANY OTHER SUBSTANCE THAT MAY AFFECT THE BOND. CONCRETE FLOORS MUST BE LEVEL, FULLY CURED, FREE OF EXCESSIVE MOISTURE EMISSIONS AND ALKALI. CONCRETE FLOORS WITH A MOISTURE EMISSION RATE EXCEEDING 3.0 lbs / 1,000 SQ. FT. IN A 24 HOUR PERIOD REQUIRE CORRECTIVE MEASURES.</div></div></div></div>	<div>9.5 BROADLOOM CARPET:</div> <div><div><div>A. FACE YARNS SHALL BE OF SAME DYE BATCH, AND FINISH MATERIAL SHALL BE OF ONE MILL RUN.</div><div>B. WHERE SPECIFIED PROVIDE STANDARD CUSHION: NOVA "CONTRACT" BY LEGGETT & PLATT, OR EQUAL. WEIGHT: 6.5 POUNDS PER CUBIC FOOT. THICKNESS: 5/16".</div><div>C. TACKLESS CARPET STRIPPING SHALL BE WATER RESISTANT PLYWOOD STRIPS, 3/8" OR 9/32" THICK, AS REQUIRED TO MATCH CUSHION / CARPET THICKNESS, WITH ANGULAR PINS PROTRUDING FROM TOP FOR GRIPPING AND HOLDING STRETCHED CARPET.</div><div>D. SUBFLOOR MUST BE CLEANED, FREE OF DUST, DIRT, GREASE, WAX, PAINT, CURING OR PARTING AGENTS, OR ANY OTHER SUBSTANCE THAT MAY AFFECT THE BOND. CONCRETE FLOORS MUST BE LEVEL, FULLY CURED, FREE OF EXCESSIVE MOISTURE EMISSIONS AND ALKALI. CONCRETE FLOORS WITH A MOISTURE EMISSION RATE EXCEEDING 3.0 lbs / 1,000 SQ. FT. IN A 24 HOUR PERIOD REQUIRE CORRECTIVE MEASURES.</div></div></div> <div>9.6 PAINTING AND DECORATING</div> <div><div><div>A. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND LABOR AS NECESSARY TO PROVIDE PAINTING AND DECORATING WORK AS SPECIFIED AND INDICATED ON THE DRAWINGS.</div><div>B. ALL WALLS, DRYWALL CEILINGS, DOORS, FRAMES AND WOODWORK SHALL BE FREE FROM DEFECTS AND BE FILLED AND SANDED SMOOTH PRIOR TO RECEIVING PAINTED AND/OR NATURAL FINISHES. NEW WORK SHALL BE PRIMED AND PAINTED WITH NOT LESS THAN ONE PRIME AND TWO FINISH COATS. PREVIOUSLY FINISHED WORK SHALL RECEIVE NOT LESS THAN TWO FINISH COATS.</div></div></div> <div>C. PAINTING SYSTEM NEW CONSTRUCTION:</div> <div><div><div>1. DRYWALL - 1ST COAT - BENJAMIN MOORE (BM) LATEX QUICK DRY PRIME SEALER II (201).</div><div><div>a. DRYWALL CEILINGS 2ND & 3RD COAT - "BM" REGAL WALL SATIN LATEX FLAT (215). REFER TO FINISH PLAN FOR PAINT COLORS.</div><div>b. DRYWALL WALLS 2ND & 3RD COAT - "BM" REGAL AQUAPEARL LATEX (310) OR EGGSHELL. REFER TO FINISH PLAN FOR PAINT COLORS.</div><div>c. DRYWALL WALLS 2ND & 3RD COAT IN BATHROOMS, KITCHENS, JANITOR CLOSETS, ETC. SEMI GLOSS FINISH. REFER TO FINISH PLAN FOR PAINT COLORS.</div><div>d. OTHER FINISH COATS AS NOTED ON PLAN.</div><div>e. EXISTING CONSTRUCTION ONLY, 2ND & 3RD COAT AS REQUIRED, OR NOTED.</div></div></div><div>2. MISCELLANEOUS WOOD TRIM - 1ST COAT - BENJAMIN MOORE ALKYD ENAMEL UNDERBODY (217).</div><div><div>a. 2ND & 3RD COAT - AS NOTED.</div><div>b. EXISTING CONSTRUCTION ONLY, 2ND & 3RD COAT AS REQUIRED, OR NOTED.</div></div><div>3. MISCELLANEOUS METAL TRIM - 1ST COAT - BENJAMIN MOORE IRONCLAD RETARDO RUST INHIBITIVE PAINT (163).</div><div><div>a. 2ND & 3RD COAT - "BM" SATIN IMPERVO (235) OR ALKYD DULAMEL (207) FOR SEMI-GLOSS FINISH.</div><div>b. OTHER FINISH COATS AS NOTED ON PLAN.</div><div>c. EXISTING CONSTRUCTION ONLY, 2ND & 3RD COAT AS REQUIRED.</div></div><div>NOTE: IF OTHER PAINT MANUFACTURER IS USED, FOLLOW SAME PRODUCT SPECIFICATIONS AS SHOWN FOR "BM".</div><div>D. UNLESS OTHERWISE NOTED, PREPARE AND PAINT ALL EXPOSED ITEMS INCLUDING COLUMNS, PANEL BOXES, CONDUIT, SURFACE RACEWAYS, DRAPERY POCKETS, ETC. NOT PRE-FINISHED TO MATCH ADJACENT PARTITION OR CEILING COLOR.</div><div>E. FINISH VERTICAL EDGES OF PAINT GRADE DOORS TO MATCH FACES. SEAL TOP AND BOTTOM EDGES.</div><div>F. PAINT ASTRAGALS AT FIRE RATED DOORS TO MATCH DOOR.</div><div>G. ALL SHOP PAINTED WOOD DOORS TO BE PAINTED TO AWI-0P4 SPECIFICATION FOR SOLID COLORS AND AWI TO VIF-4 FOR CLEAR FINISHES.</div></div> <div>9.7 WALL COVERING:</div> <div><div><div>INSTALL WALL COVERING USING MANUFACTURER'S RECOMMENDED ADHESIVE. WALL COVERING SHALL BE CONTINUOUS BEHIND COUNTERTOPS, CHAIR RAILS, ETC. SEAMS SHALL BE TIGHT, NEAT, AND NOT LESS THAN 12" FROM CORNERS. DO NOT END WALL COVERING AT AN OUTSIDE CORNER.</div></div></div> <div>9.8 RESILIENT FLOORING:</div> <div><div><div>THE CONTRACTOR SHALL WAX ALL NEW AND, WHERE OCCURS, EXISTING RESILIENT FLOORS, UON.</div></div></div>	<div>DIVISION 10 - SPECIALTIES</div> <div><div>(NOT USED)</div></div> <div>DIVISION 11 – EQUIPMENT</div> <div><div><div>PROVIDE ELECTRICAL AND WATER SYSTEMS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION OF ALL APPLIANCES AS SHOWN OR SPECIFIED ON THE DRAWINGS.</div></div></div> <div>DIVISION 12 – FURNISHINGS</div> <div><div><div>A. FURNITURE IS BY TENANT UNLESS OTHERWISE NOTED. REFER TO POWER AND SIGNAL PLAN FOR ELECTRICAL REQUIREMENTS.</div><div>B. CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE TENANT'S FURNITURE VENDOR TO INCLUDE FLOOR CORE LOCATIONS, BASE POWER, AND DATA IN FEED LOCATIONS.</div></div></div> <div>DIVISION 13 - SPECIAL CONSTRUCTION</div> <div><div>(NOT USED)</div></div> <div>DIVISION 14 - CONVEYING SYSTEM</div> <div><div>(NOT USED)</div></div> <div>DIVISION 15 - MECHANICAL</div> <div><div>15.1 SCOPE OF WORK (DESIGN BUILD)</div><div><div>CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND ENGINEERING DESIGN SERVICES REQUIRED TO PROVIDE A COMPLETE AND OPERATIONAL HEATING, AIR CONDITIONING, VENTILATION, PLUMBING, FIRE PROTECTION, AND LIFE SAFETY SYSTEM. CONTRACTOR SHALL VISIT THE PROJECT SITE TO DETERMINE THE EXACT LOCATIONS AND ELEVATIONS OF EXISTING DUCTWORK, PIPING AND FIRE PROTECTION EQUIPMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING WORK AS NECESSARY TO ACCOMMODATE NEW WORK.</div></div></div> <div>15.2 ENGINEERING DESIGN DOCUMENTS</div> <div><div><div>CONTRACTOR SHALL PREPARE OR CAUSE TO HAVE PREPARED A COMPLETE SET OF MECHANICAL AND PLUMBING ENGINEERING DRAWINGS AND SPECIFICATIONS. CONTRACTORS SHALL SUBMIT DRAWINGS AND SPECIFICATIONS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WITH NEW WORK. CONTRACTOR SHALL PROVIDE WET STAMPED AND SIGNED DRAWINGS FOR BUILDING DEPARTMENT PERMIT SUBMISSION.</div></div></div> <div>15.3 ORDINANCES, REGULATIONS AND BUILDING CODES</div> <div><div><div>ALL WORK SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE ORDINANCES, REGULATIONS AND BUILDING CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO PERFORM THIS WORK.</div></div></div> <div>DIVISION 16 - ELECTRICAL</div> <div><div>16.1 SCOPE OF WORK (DESIGN BUILD)</div><div><div>CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND ENGINEERING DESIGN SERVICES REQUIRED TO PROVIDE A COMPLETE OPERATIONAL ELECTRICAL SYSTEM. CONTRACTOR SHALL VISIT THE PROJECT SITE AND VERIFY ALL ELECTRICAL CONDITIONS TO DETERMINE THE EXTENT OF NEW WORK AND DEMOLITION INVOLVED. CONTRACTOR SHALL REMOVE AND TERMINATE ALL EXISTING ELECTRICAL, TELEPHONE AND OTHER DEVICES NOT OTHERWISE INDICATED TO REMAIN. (REFER TO ENGINEER'S DOCUMENTS, IF APPLICABLE.)</div></div></div> <div>16.2 ENGINEERING DESIGN DOCUMENTS</div> <div><div><div>CONTRACTOR SHALL PREPARE OR CAUSE TO HAVE PREPARED A COMPLETE SET OF ELECTRICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. CONTRACTORS SHALL SUBMIT DRAWINGS AND SPECIFICATIONS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WITH NEW WORK. CONTRACTOR SHALL PROVIDE WET STAMPED AND SIGNED DRAWINGS FOR BUILDING DEPARTMENT PERMIT SUBMISSION.</div></div></div> <div>16.3 ORDINANCE, REGULATIONS & BUILDING CODES</div> <div><div><div>ALL WORK SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE ORDINANCES, REGULATIONS AND BUILDING CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO PERFORM THIS WORK.</div></div></div> <div>16.5 TELEPHONE/DATA SYSTEMS COORDINATION</div> <div><div><div>CONTRACTOR SHALL COORDINATE HIS WORK WITH THE TENANT'S TELEPHONE AND COMMUNICATIONS VENDOR PRIOR TO COMMENCING WITH NEW WORK.</div></div></div>	<div><div>ABV ACT ADJ ADA AFF ALUM APPROX ARCH AV</div><div>ABOVE ACOUSTICAL CEILING TILE ADJACENT AMERICANS WITH DISABILITIES ACT ABOVE FINISH FLOOR ALUMINUM APPROXIMATE ARCHITECTURAL AUDIO VISUAL</div></div> <div><div>BATT BD BLDG</div><div>INSULATION BATTING BOARD BUILDING</div></div> <div><div>CATV CCTV CFM CL CLG CLR CMU CONF CTR</div><div>CABLE TELEVISION CLOSED CIRCUIT TELEVISION CUBIC FEET PER MINUTE CENTER LINE CEILING CLEAR CONCRETE MASONRY UNIT CONFERENCE CENTER</div></div> <div><div>(D) DATA DEMO DF DIA DIM DR DW DWG</div><div>DEMOLISH DATA COMMUNICATIONS DEMOLISH / DEMOLITION DRINKING FOUNTAIN DIAMETER DIMENSION DOOR RELEASE DISHWASHER DRAWING</div></div> <div><div>(E) EA ELEC ELEV EPO EQ EQUIP</div><div>EXISTING EACH ELECTRICAL ELEVATION EMERGENCY POWER OFF EQUAL EQUIPMENT</div></div> <div><div>FEC FF FIN FLR FLUOR FT FURN</div><div>FIRE EXTINGUISHER CABINET FINISHED FACE FINISH FLOOR FLUORESCENT FEET FURNITURE</div></div> <div><div>GA GC GFI GWB GYP</div><div>GAUGE GENERAL CONTRACTOR GROUND FAULT INTERRUPT GYPSUM WALL BOARD GYPSUM</div></div> <div><div>HDWR HT HM HO HVAC</div><div>HARDWARE HEIGHT HOLLOW METAL ELECTROMAGNETIC HOLD OPEN HEATING, VENTILATION, AND AIR CONDITIONING</div></div> <div><div>INFO LAV LBS</div><div>INFORMATION LAVATORY POUNDS</div></div> <div><div>MAX MDF MECH MFR MISC MIN MTL</div><div>MAXIMUM MEDIUM DENSITY FIBER BOARD MECHANICAL MANUFACTURER MISCELLANEOUS MINIMUM METAL</div></div> <div><div>(N) NA NIC</div><div>NEW NOT APPLICABLE NOT IN CONTRACT</div></div> <div><div>OC</div><div>ON CENTER</div></div> <div><div>PG P-LAM PLYWD PSF</div><div>PAINT GRADE PLASTIC LAMINATE PLYWOOD POUNDS PER SQUARE FOOT</div></div> <div><div>(R) RCP REP REQD RM ROM</div><div>RELOCATED REFLECTED CEILING PLAN REPRESENTATIVE REQUIRED ROOM ROUGH ORDER OF MAGNITUDE</div></div> <div><div>SDT SF SGL SHT SIM SPEC SQ</div><div>STATIC DISSIPATIVE TILE SQUARE FOOT / FEET SINGLE SHEET SIMILAR SPECIFICATION SQUARE</div></div> <div><div>T&G TBD TELE TYP</div><div>TONGUE AND GROVE TO BE DETERMINED TELECOMMUNICATIONS TYPICAL</div></div> <div><div>UL UON VCT VIF</div><div>UNDERWRITERS LABORATORIES UNLESS OTHERWISE NOTED VINYL COMPOSITION TILE VERIFY IN FIELD</div></div> <div><div>W/O W/ WD</div><div>WITHOUT WITH WOOD</div></div>
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DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

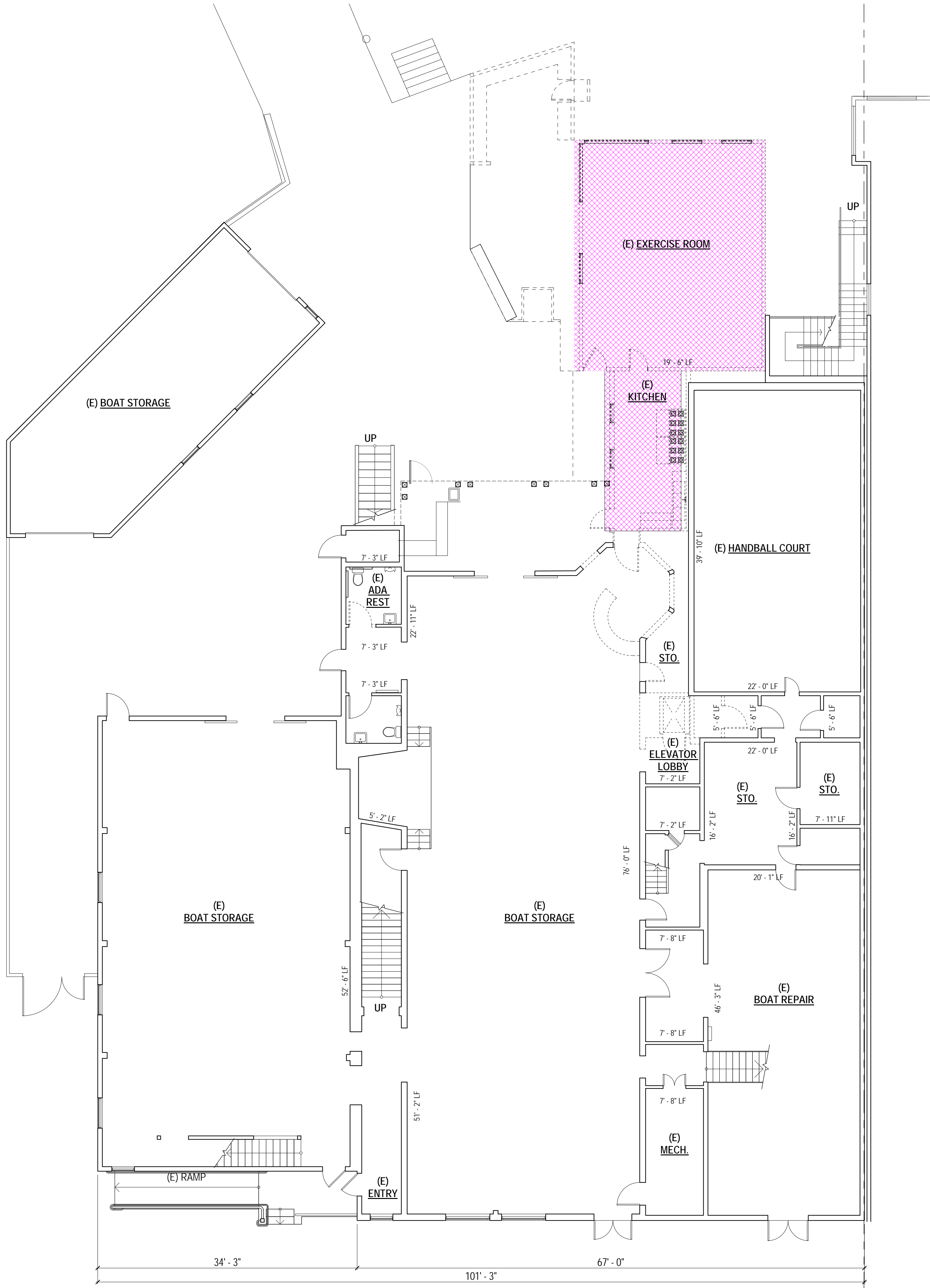
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
ADDENDUM 01	07.12.24

DRAWN BY:	TL
SHEET TITLE:	

GENERAL NOTES & ABBREVIATIONS

SHEET NUMBER:

A0.2



1 FLOOR 01 - EXISTING/DEMOLITION PLAN CALC
SCALE: 1/8" = 1'-0"

SECTION 317

WALL DEMOLITION CALCULATION (LINEAR FOOTAGE MEASUREMENT) SEC. 317(b)(2)(B)					
ELEMENTS	(E) LENGTH (LF)	WALL REMOVED (LF) (MEASURED AT FOUNDATION LEVEL)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	101' - 3" LF	0' - 0" LF	0 %	50 %	YES
NORTH (REAR) FACADE	101' - 3" LF	24' - 7" LF	24 %		
TOTALS (SOUTH & NORTH)	202' - 6" LF	24' - 7" LF	12 %		
TOTAL SOUTH & NORTH ELEMENTS REMOVED = 12 %					
EAST FACADE	142' - 8" LF	30' - 6" LF	21 %	65 %	YES
WEST FACADE	142' - 8" LF	51' - 7" LF	36 %		
TOTALS (EAST & WEST)	284' - 4" LF	82' - 1" LF	29 %		
TOTAL ALL SIDES	486' - 10" LF	106' - 8" LF	22 %		
TOTAL ALL SIDES ELEMENTS TO BE REMOVED = 22 %					

WALL DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	50 %	YES
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	50 %	YES
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 9 %					

FLOOR DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)					
HORIZONTAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	9,491 SF	962 SF	10 %	50 %	YES
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %	50 %	YES
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 10 %					

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 317 (2) (B)&(C)

SECTION 1005

WALL REMOVAL >25% OF THE SURFACE OF ALL EXTERNAL WALLS FACING A PUBLIC STREET(S) SEC. 1005(f)1					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	25 %	YES
TOTALS	3,066 SF	0 SF	0 %		
TOTAL SURFACE OF EXTERNAL WALLS FACING STREET TO BE REMOVED = 0 %					

REMOVAL OF MORE THAN 50% OF ALL EXTERNAL WALLS FROM THEIR FUNCTIONS AS ALL EXTERNAL WALLS 1005(f)2					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	50 %	YES
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	50 %	YES
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 9 %					

REMOVAL OF MORE THAN 25% OF EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS SEC.1005(f)3					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
NORTH (REAR) FACADE	3,066 SF	0 SF	0 %	25 %	YES
SOUTH (FRONT) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	25 %	YES
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 9 %					

REMOVAL OF MORE THAN 75% OF ALL INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES SEC.1005(f)4					
STRUCTURAL WALL	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	5,158 SF	248 SF	5 %	75 %	YES
FLOOR 02	3,499 SF	117 SF	3 %		
FLOOR 03	0 SF	0 SF	0 %		
TOTALS	8,657 SF	365 SF	4 %		

FLOOR AREA	AREA (SF)	AREA REMOVED (SF)	% REMOVED	75 %	YES
FLOOR 01	9,491 SF	962 SF	10 %		
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %		
TOTALS ALL STRUCTURAL FRAMEWORK/FLOOR PLATES TO BE REMOVED = 7 %					

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 1005(f)(1)(2)(3)(4)

DEMOLITION NOTES

- ALL DEMOLITION WORK TO COMPLY WITH SFBC CH13B - CONSTRUCTION AND DEBRIS RECOVERY PROGRAM.
- DEMOLITION OTHER THAN THAT EXPLICITLY STATED AND SHOWN ON THE ARCHITECTURAL DEMO PLANS IS ILLEGAL UNDER P.C. 317 AND ANY MODIFICATIONS REQUIRE A PERMIT REVISION AND APPROVAL FROM THE SF PLANNING DEPARTMENT.

DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
ADDENDUM 01	07.12.24

DRAWN BY: TL
SHEET TITLE:

DEMOLITION
CALCULATION
PLANS

SHEET NUMBER:



DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
ADDENDUM 01	07.12.24

DRAWN BY: TL
SHEET TITLE:

DEMOLITION
CALCULATION
PLANS

SHEET NUMBER:

A0.5

SECTION 317

WALL DEMOLITION CALCULATION (LINEAR FOOTAGE MEASUREMENT) SEC. 317(b)(2)(B)					
ELEMENTS	(E) LENGTH (LF)	WALL REMOVED (LF) (MEASURED AT FOUNDATION LEVEL)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	101' - 3" LF	0' - 0" LF	0 %	50 %	YES
NORTH (REAR) FACADE	101' - 3" LF	24' - 7" LF	24 %		
TOTALS (SOUTH & NORTH)	202' - 6" LF	24' - 7" LF	12 %		
TOTAL SOUTH & NORTH ELEMENTS REMOVED = 12 %					
EAST FACADE	142' - 8" LF	30' - 6" LF	21 %	65 %	YES
WEST FACADE	142' - 8" LF	51' - 7" LF	36 %		
TOTALS (EAST & WEST)	284' - 4" LF	82' - 1" LF	29 %		
TOTAL ALL SIDES	486' - 10" LF	106' - 8" LF	22 %		
TOTAL ALL SIDES ELEMENTS TO BE REMOVED = 22 %					

WALL DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	50 %	YES
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	50 %	YES
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 9 %					

FLOOR DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)					
HORIZONTAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	9,491 SF	962 SF	10 %	50 %	YES
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %	50 %	YES
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 10 %					

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 317 (2) (B)&(C)

SECTION 1005

WALL REMOVAL >25% OF THE SURFACE OF ALL EXTERNAL WALLS FACING A PUBLIC STREET(S) SEC. 1005(i)					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	25 %	YES
TOTALS	3,066 SF	0 SF	0 %		
TOTAL SURFACE OF EXTERNAL WALLS FACING STREET TO BE REMOVED = 0 %					

REMOVAL OF MORE THAN 50% OF ALL EXTERNAL WALLS FROM THEIR FUNCTIONS AS ALL EXTERNAL WALLS 1005(i)2					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	50 %	YES
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	50 %	YES
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 9 %					

REMOVAL OF MORE THAN 25% OF EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS SEC.1005(i)3					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
NORTH (REAR) FACADE	3,066 SF	0 SF	0 %	25 %	YES
SOUTH (FRONT) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	25 %	YES
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 9 %					

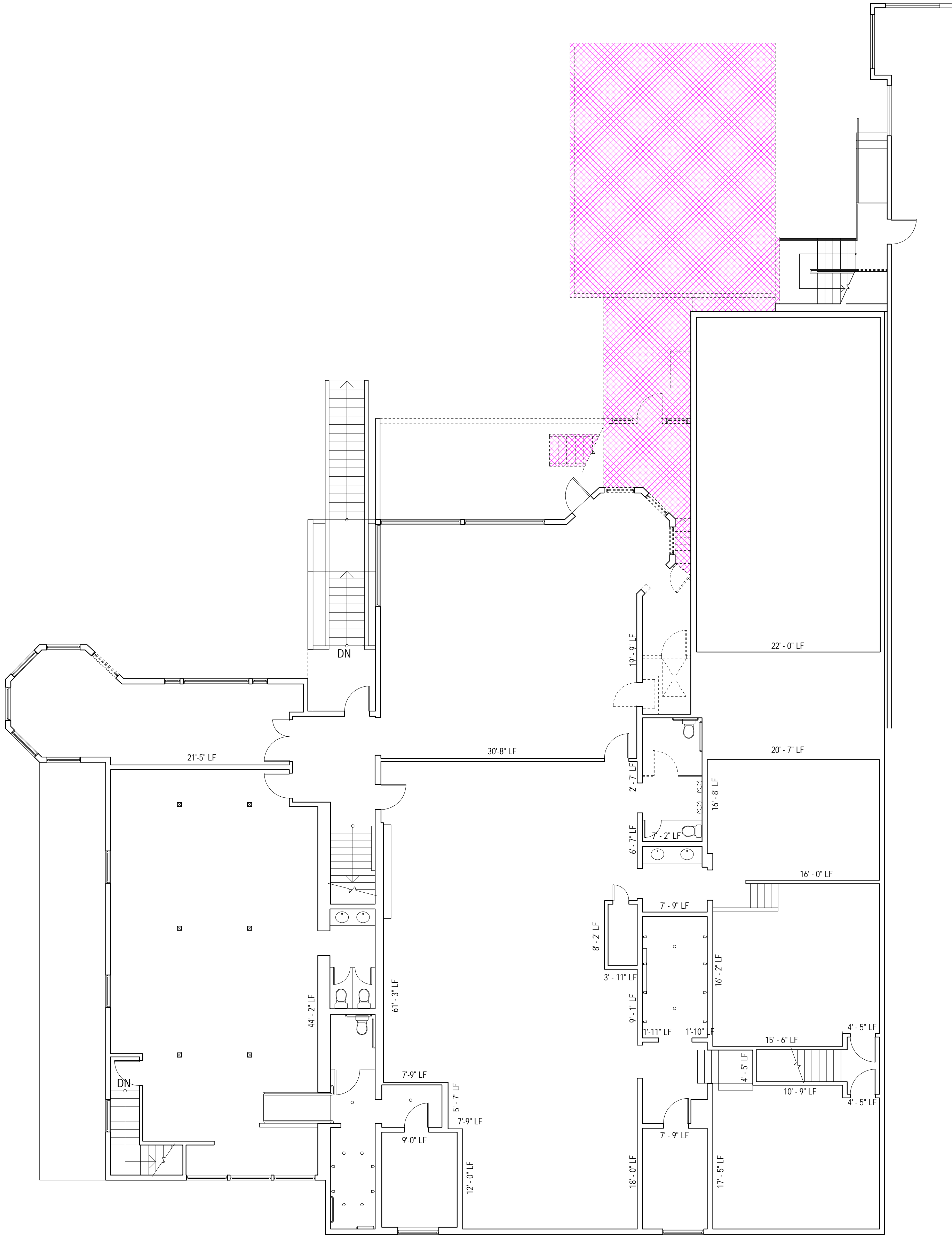
REMOVAL OF MORE THAN 75% OF ALL INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES SEC.1005(i)4					
STRUCTURAL WALL	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	5,158 SF	248 SF	5 %	75 %	YES
FLOOR 02	3,499 SF	117 SF	3 %		
FLOOR 03	0 SF	0 SF	0 %		
TOTALS	8,657 SF	365 SF	4 %		

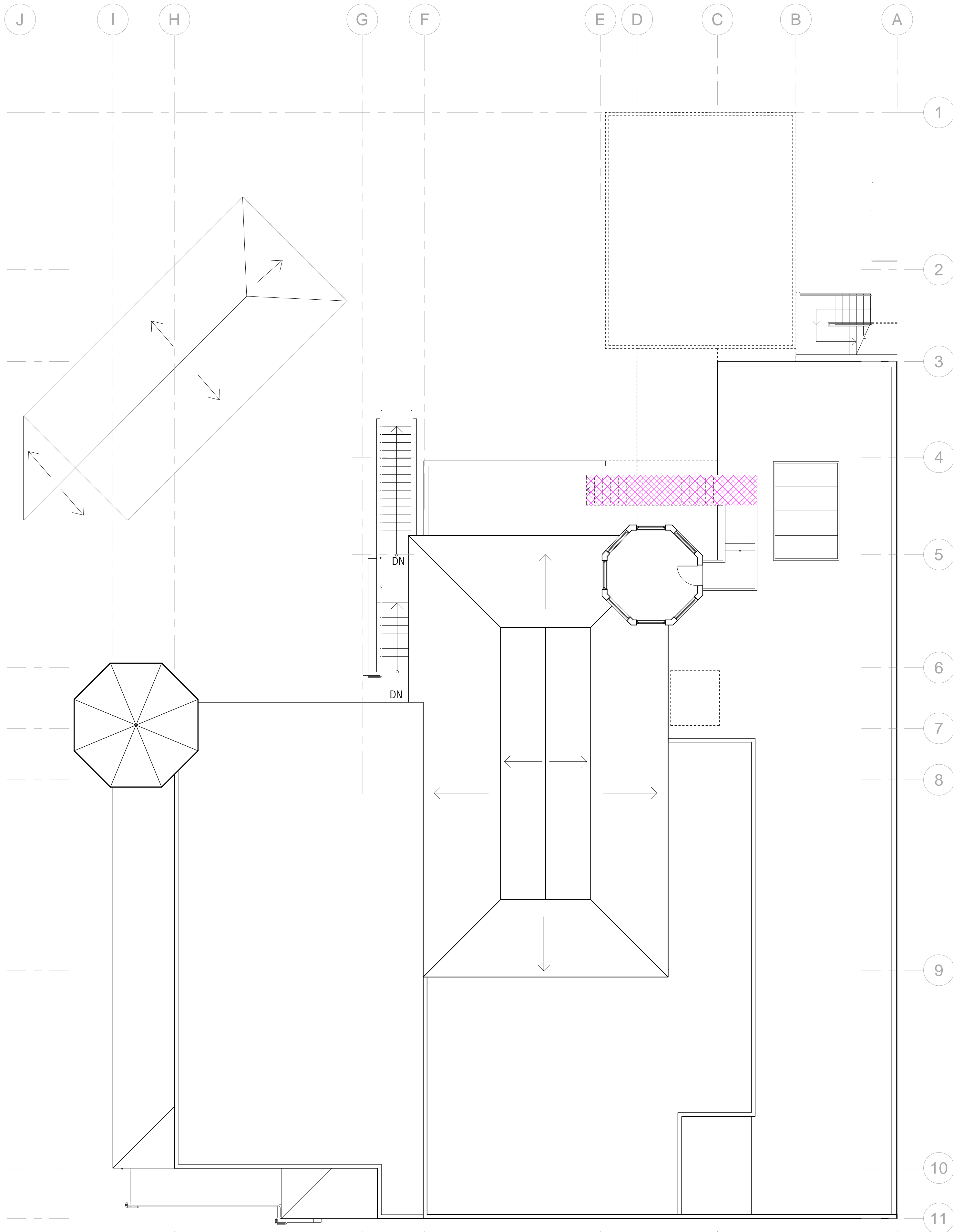
FLOOR AREA	AREA (SF)	AREA REMOVED (SF)	% REMOVED	75 %	YES
FLOOR 01	9,491 SF	962 SF	10 %		
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %		
TOTALS ALL STRUCTURAL FRAMEWORK/FLOOR PLATES TO BE REMOVED = 7%				75 %	YES

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 1005(i)(1)(2)(3)(4)

DEMOLITION NOTES

- ALL DEMOLITION WORK TO COMPLY WITH SFBC CH13B - CONSTRUCTION AND DEBRIS RECOVERY PROGRAM.
- DEMOLITION OTHER THAN THAT EXPLICITLY STATED AND SHOWN ON THE ARCHITECTURAL DEMO PLANS IS ILLEGAL UNDER P.C. 317 AND ANY MODIFICATIONS REQUIRE A PERMIT REVISION AND APPROVAL FROM THE SF PLANNING DEPARTMENT.





1 FLOOR 03 - EXISTING / DEMOLITION PLAN CALC
SCALE: 1/8" = 1'-0"

SECTION 317

WALL DEMOLITION CALCULATION (LINEAR FOOTAGE MEASUREMENT) SEC. 317(b)(2)(B)					
ELEMENTS	(E) LENGTH (LF)	WALL REMOVED (LF) (MEASURED AT FOUNDATION LEVEL)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	101'- 3" LF	0'- 0" LF	0 %	50 %	YES
NORTH (REAR) FACADE	101'- 3" LF	24'- 7" LF	24 %		
TOTALS (SOUTH & NORTH)	202'- 6" LF	24'- 7" LF	12 %		
TOTAL SOUTH & NORTH ELEMENTS REMOVED = 12 %					
EAST FACADE	142'- 8" LF	30'- 6" LF	21 %	65 %	YES
WEST FACADE	142'- 8" LF	51'- 7" LF	36 %		
TOTALS (EAST & WEST)	284'- 4" LF	82'- 1" LF	29 %		
TOTAL ALL SIDES	486'- 10" LF	106'- 8" LF	22 %		
TOTAL ALL SIDES ELEMENTS TO BE REMOVED = 22 %					

WALL DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	50 %	YES
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	50 %	YES
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 9 %					

FLOOR DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)					
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FLOOR 01	9,491 SF	962 SF	10 %	50 %	YES
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %	50 %	YES
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 10 %					

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SECTION 1005

WALL REMOVAL >25% OF THE SURFACE OF ALL EXTERNAL WALLS FACING A PUBLIC STREET(S) (S) SEC. 1005(i)1					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	25 %	YES
TOTALS	3,066 SF	0 SF	0 %		
TOTAL SURFACE OF EXTERNAL WALLS FACING STREET TO BE REMOVED = 0 %					

REMOVAL OF MORE THAN 50% OF ALL EXTERNAL WALLS FROM THEIR FUNCTIONS AS ALL EXTERNAL WALLS 1005(i)2					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	50 %	YES
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	50 %	YES
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 9 %					

REMOVAL OF MORE THAN 25% OF EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS SEC.1005(i)3					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
NORTH (REAR) FACADE	3,066 SF	0 SF	0 %	25 %	YES
SOUTH (FRONT) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	25 %	YES
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 9 %					

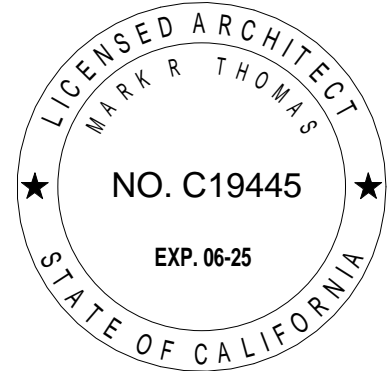
REMOVAL OF MORE THAN 75% OF ALL INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES SEC.1005(i)4					
STRUCTURAL WALL	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	5,158 SF	248 SF	5 %	75 %	YES
FLOOR 02	3,499 SF	117 SF	3 %		
FLOOR 03	0 SF	0 SF	0 %		
TOTALS	8,657 SF	365 SF	4 %		

FLOOR AREA	AREA (SF)	AREA REMOVED (SF)	% REMOVED	75 %	YES
FLOOR 01	9,491 SF	962 SF	10 %		
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %		
TOTALS ALL STRUCTURAL FRAMEWORK/FLOOR PLATES TO BE REMOVED = 7%					

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DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
ADDENDUM 01	07.12.24

DRAWN BY: TL
SHEET TITLE:

DEMOLITION
CALCULATION
PLANS

SHEET NUMBER:

A0.6

ALTERATIONS & ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

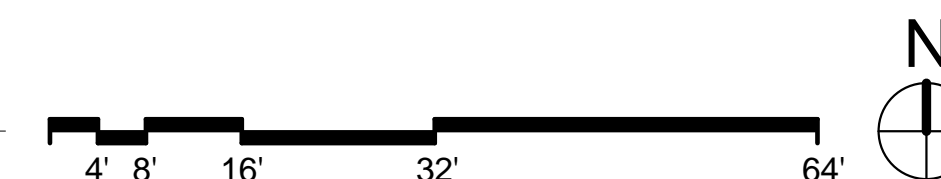
ISSUE:	DATE:
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REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
ADDENDUM 01	07.12.24

DRAWN BY:	TL
SHEET TITLE:	

EXISTING SITE PLAN

SHEET NUMBER: _____

A0.7





DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

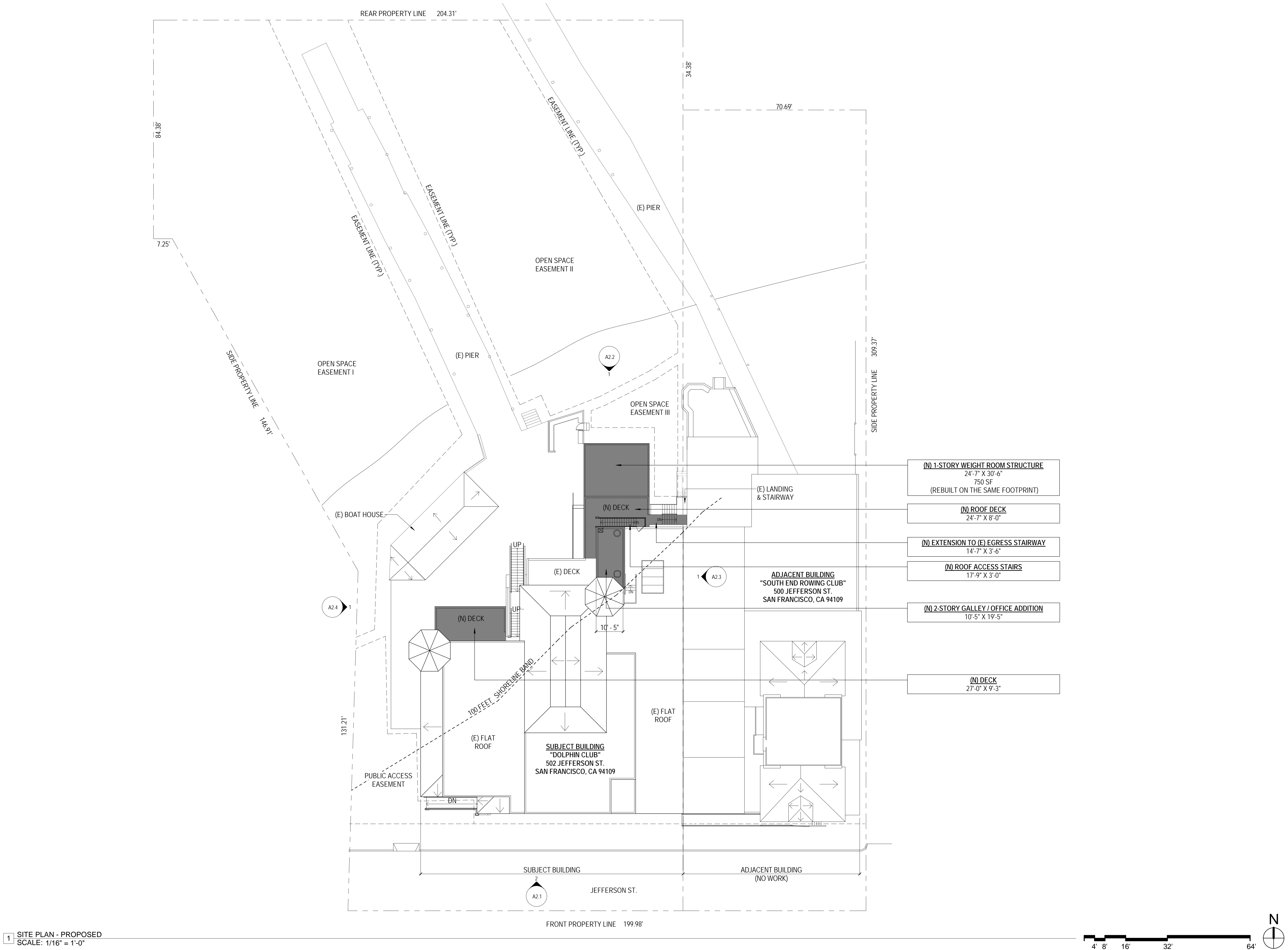
ISSUE:	DATE:
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REVISION 03	05.09.23
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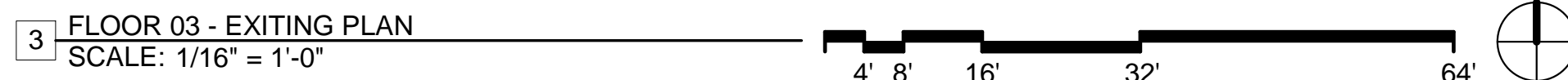
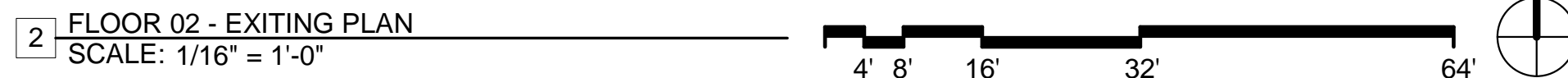
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PROPOSED SITE PLAN

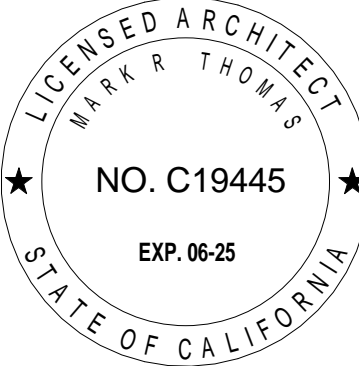
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A0.8





A0.9



DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

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ADDENDUM 01	07.12.24

DRAWN BY: TL
SHEET TITLE:

PERSPECTIVE
VIEWS

SHEET NUMBER:

A0.10

DEMOLISH (E) STAIR
(TO EXISTING COPULA)

DEMOLISH (E) 1-STORY WEIGHT ROOM STRUCTURE
24'-7" X 30'-6"
750 SF
(TO BE REBUILT ON THE SAME
FOOT PRINT W/ NEW ROOF DECK ABOVE)

(E) HORIZONTAL SIDING, PAINT

(E) WOOD TRIMS, PAINT



EXISTING NORTH ELEVATION (N.T.S.)

(N) DECK
27'-0" X 9'-3"

(N) 2-STORY GALLEY / OFFICE ADDITION
10'-5" X 19'-5"

(N) ROOF ACCESS METAL STAIRS

(N) WOOD FRAMED GLASS RAILING

(N) EXTENSION TO (E) EGRESS STAIRWAY
(FOR EGRESS FROM NEW ROOF DECK)

(N) 1-STORY WEIGHT ROOM STRUCTURE
24'-7" X 30'-6"
750 SF
(REBUILT ON THE SAME FOOTPRINT)

(N) HORIZONTAL SIDING, PAINT
(MATCH EXISTING)

(N) WOOD WINDOWS AND TRIMS, PAINT



PROPOSED NORTH ELEVATION (N.T.S.)

DEMOLISH (E) STAIR
(TO EXISTING COPULA)

DEMOLISH (E) 1-STORY GALLEY STRUCTURE
10'-9" X 13'-11"
143 SF
(TO BE REBUILT AS TWO STORY STRUCTURE)

DEMOLISH (E) 1-STORY WEIGHT ROOM STRUCTURE
24'-7" X 30'-6"
750 SF
(TO BE REBUILT ON THE SAME
FOOT PRINT W/ NEW ROOF DECK ABOVE)

(E) HORIZONTAL SIDING, PAINT

(E) WOOD TRIMS, PAINT



EXISTING NORTH ELEVATION (N.T.S.)

(N) 2-STORY GALLEY / OFFICE ADDITION
10'-5" X 19'-5"

(N) METAL STAIRS
(TO EXISTING COPULA)

(N) WOOD FRAMED GLASS RAILING

(N) 1-STORY WEIGHT ROOM STRUCTURE
24'-7" X 30'-6"
750 SF
(REBUILT ON THE SAME FOOTPRINT)

(N) HORIZONTAL SIDING, PAINT
(MATCH EXISTING)

(N) WOOD WINDOWS AND TRIMS, PAINT
(MATCH EXISTING)

(N) SAUNA
(APPROVED PER BPA 202405031358)

(N) LEVELED WALKWAY AND METAL RAILING



PROPOSED NORTH ELEVATION (N.T.S.)

DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

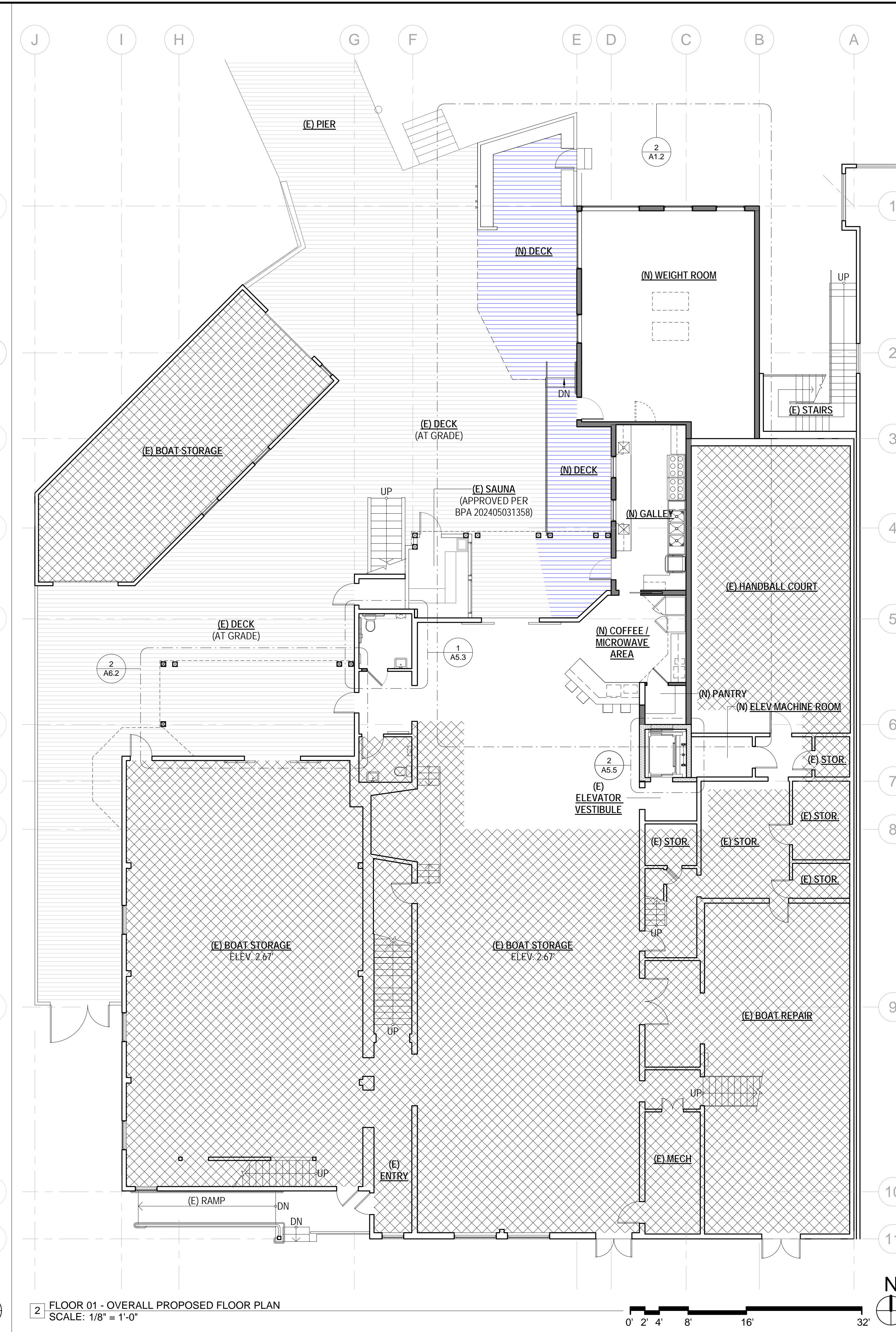
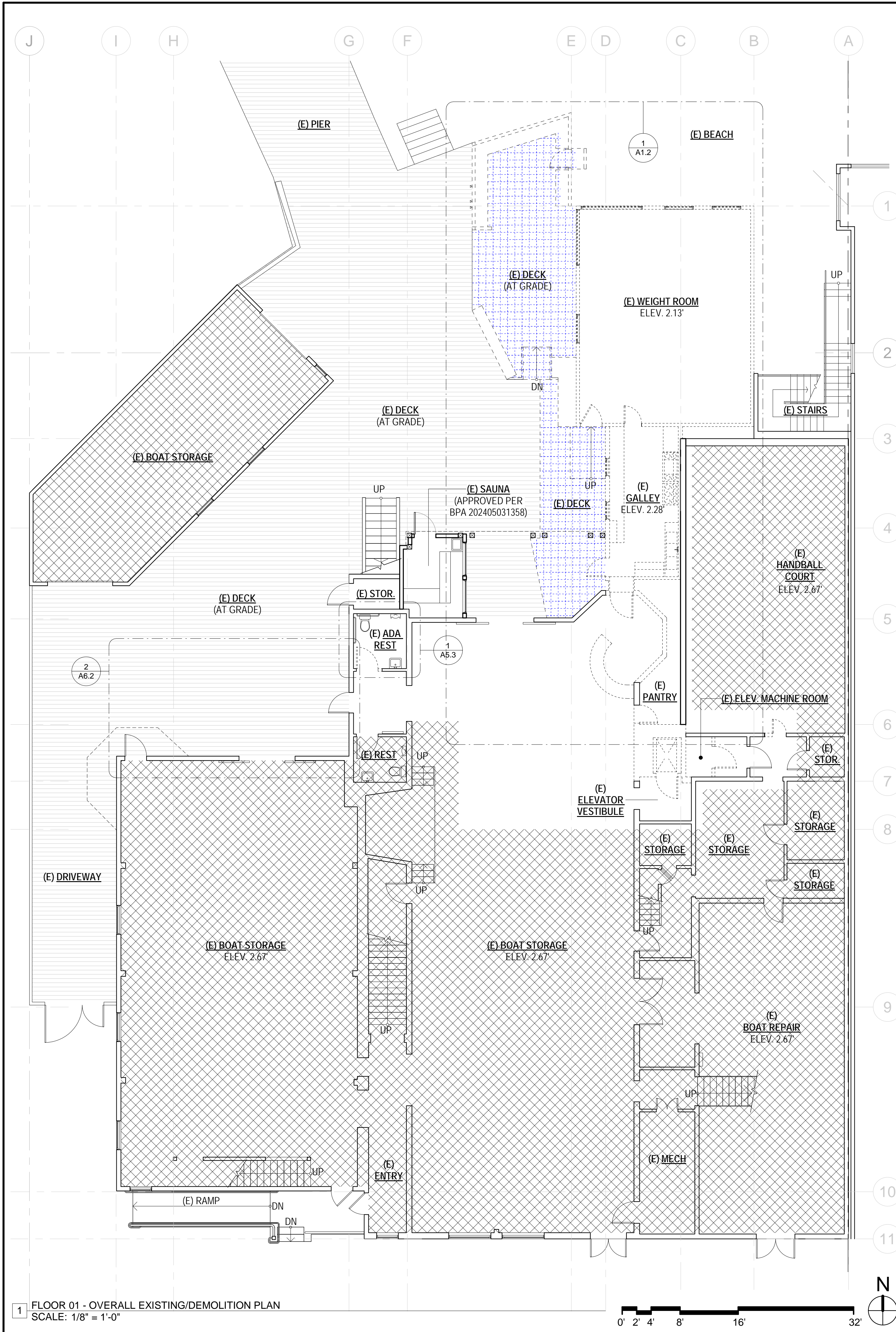
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ADDENDUM 01	07.12.24

DRAWN BY: TL
SHEET TITLE:

PERSPECTIVE
VIEWS

SHEET NUMBER:

A0.11



DOLPHIN CLUB

ALTERATIONS &
ADDITION

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SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

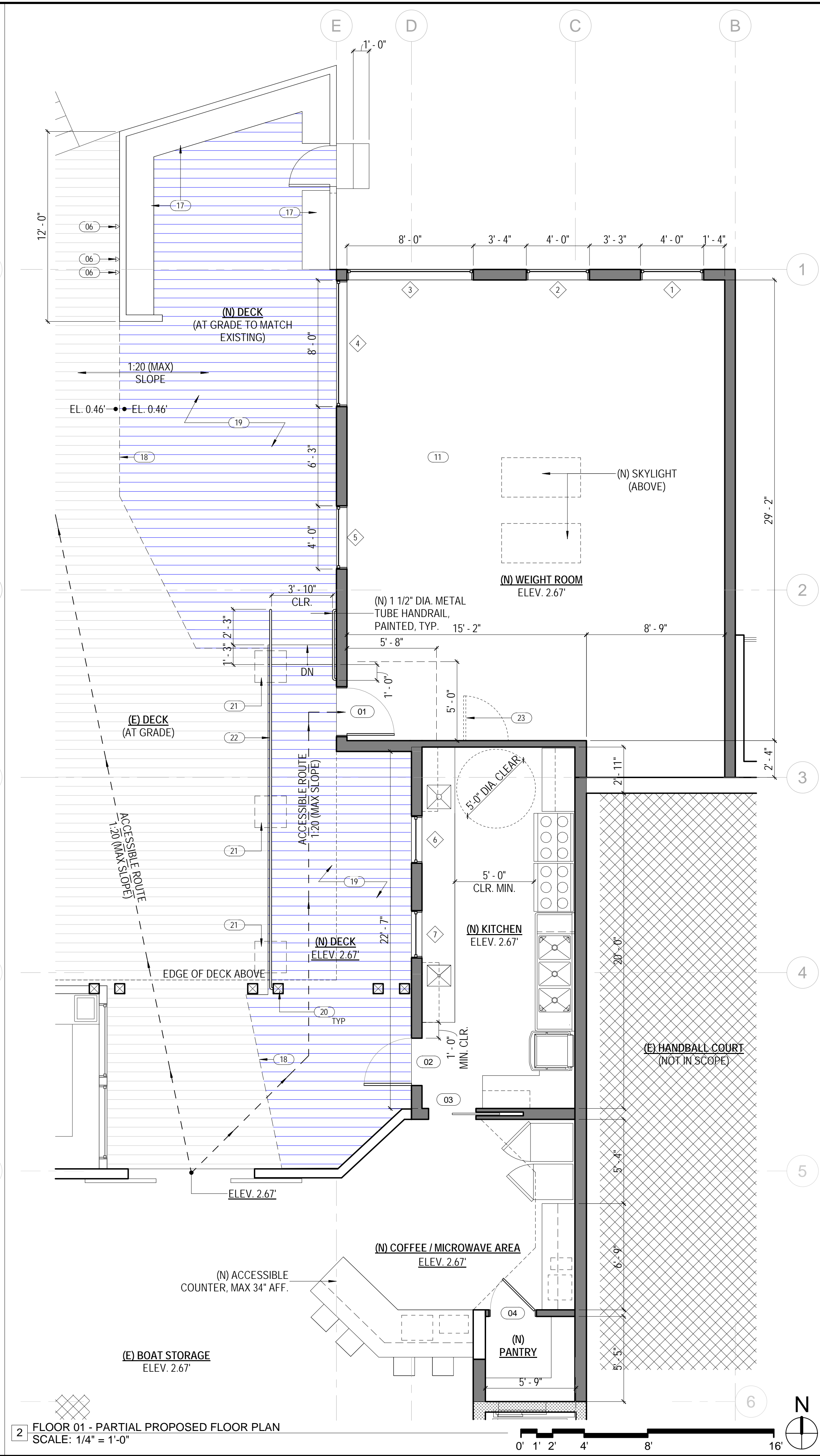
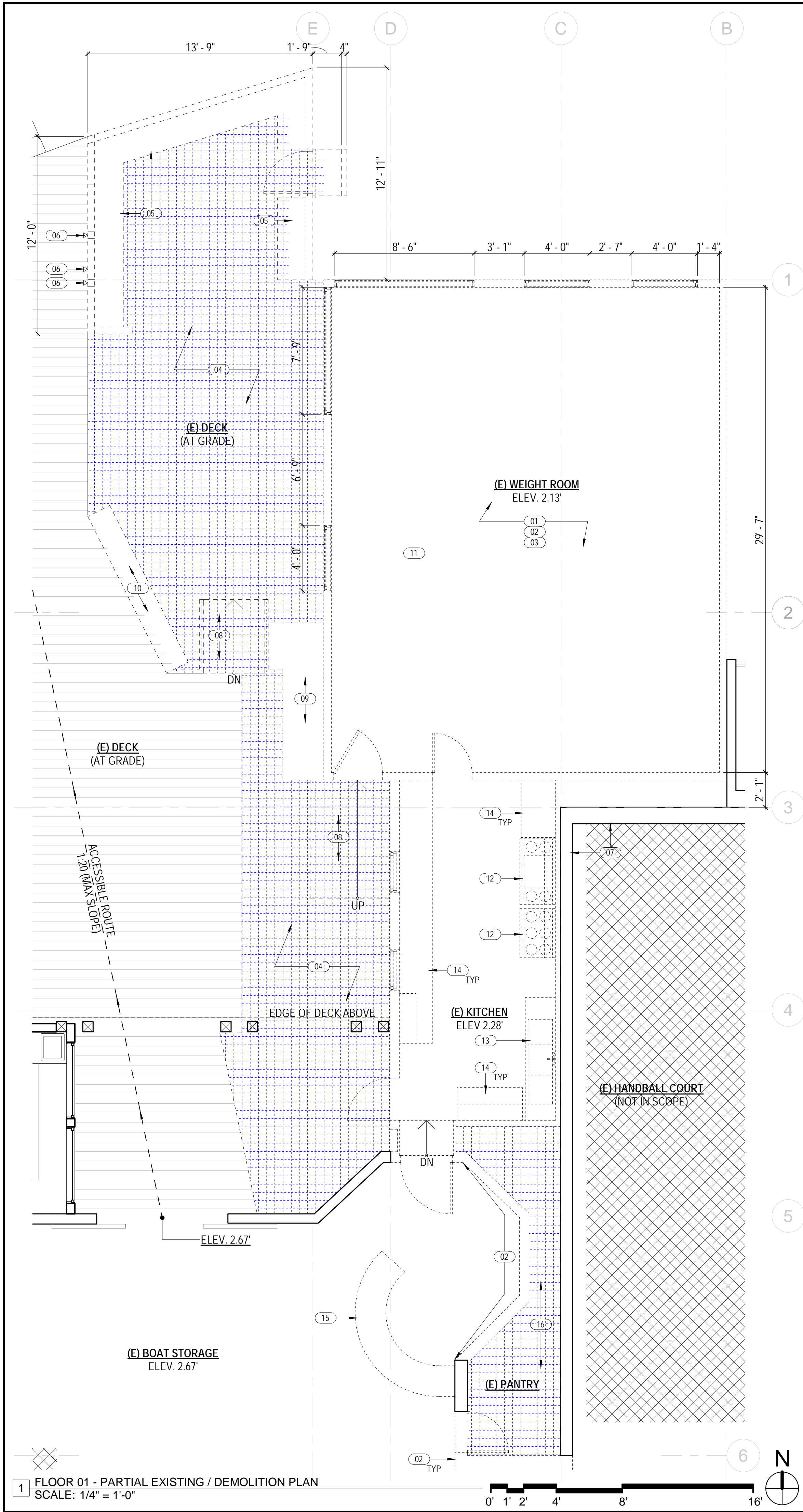
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PLAN CHECK	11.29.23
ADDENDUM 01	07.12.24

DRAWN BY: TL
SHEET TITLE:

EXISTING &
PROPOSED
FIRST FLOOR
PLAN

SHEET NUMBER:

A1.1



SHEET NOTES

- REFER TO A0.2 FOR GENERAL NOTES.
- REFER TO A0.3 FOR SYMBOL LEGEND.
- SEE A6.00 AND A6.01 FOR GENERAL PARTITION DETAILS.
- LOCATE NEW PARTITIONS ON CENTER LINE OF MULLION OR ALIGNED WITH COLUMN OR WALL, UON. SEE TYPICAL PARTITION DETAILS ON SHEET A6.10.
- ALL PARTITIONS SHALL BE TYPE 1, UON.
- ALL GLAZING SHALL BE TYPE A, UON. PROVIDE GLAZING SEALANT COLOR SAMPLE FOR ARCHITECT'S REVIEW. GLAZING STOP COLOR TO MATCH FRAME.
- REPAIR OR REPLACE DAMAGED OR MISSING GYPSUM BOARD ON EXISTING PARTITIONS AND COLUMNS TO REMAIN. MATCH EXISTING PARTITION TYPE AND FINISHES.
- PROVIDE BACKING AS NEEDED TO SUPPORT WALL HUNG ITEMS INCLUDING, BUT NOT LIMITED TO, SIGNAGE, RESTROOM ACCESSORIES, GRAB BARS, EQUIPMENT, AND FURNITURE.
- PROVIDE NEW SEMI RECESSED FIRE EXTINGUISHER CABINETS (FEC) W/ FIRE EXTINGUISHERS AS INDICATED ON PLAN. REUSE EXISTING WHERE POSSIBLE.
- GC SHALL FIELD CUT MILLWORK AS NECESSARY TO ALLOW ACCESS TO WALL POWER AND SIGNAL LOCATIONS. FIELD VERIFY CONDITIONS.

KEYNOTES A1.2

01	EXISTING 1-STORY WEIGHT ROOM STRUCTURE TO BE DEMOLISHED. SAFE OFF ALL EXISTING ELECTRICAL TO BE ABANDONED.
02	SALVAGE ALL EXISTING 1X VERTICAL PINE BOARDS, TYP. FOR REUSE. PROTECT AND STORE DURING CONSTRUCTION.
03	COORDINATE THE REMOVAL OF EXISTING WEIGHT EQUIPMENT AND SPORT FLOORING WITH TENANT.
04	EXISTING DECK (AT GRADE) TO BE RECONFIGURED. DESIGN / BUILD BY GENERAL CONTRACTOR.
05	EXISTING WINDSCREEN AND BENCH SEATING TO BE REPLACED IN LIKE KIND.
06	(E) SHOWER AND FOUNTAIN TO REMAIN. SAFE OFF AND PROTECT DURING CONSTRUCTION.
07	EXISTING PARTITION TO REMAIN, TYP.
08	EXISTING WOOD RAMP TO BE REMOVED.
09	EXISTING PLANTER TO BE REMOVED.
10	EXISTING WOOD BENCH TO BE REMOVED.
11	PROVIDE PORTABLE ASSISTIVE LISTENING DEVICE SYSTEM AND SIGNAGE IN ACCORDANCE WITH SECTIONS 11B-219.2 & 11B-216.10.
12	EXISTING RANGE TO BE REPLACED. SAFE OFF GAS AND ELECTRICAL AND PROTECT DURING CONSTRUCTION.
13	EXISTING 3-COMPARTMENT SINK TO BE REPLACED. SAFE OFF WATER LINE AS REQUIRED DURING CONSTRUCTION.
14	ALL EXISTING MILLWORK TO BE REMOVED, TYP.
15	EXISTING MOBILE CASEWORK TO BE RELOCATED. COORDINATE EXACT REQUIREMENTS WITH TENANT.
16	EXISTING RAISED FLOOR, THIS ROOM, TO BE REMOVED. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
17	(N) BENCH SEATING AND WINDSCREEN TO MATCH EXISTING IN-LIKE KIND. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
18	EDGE OF LEVELLED TRANSITION BETWEEN EXISTING AND NEW DECK, TYP.
19	AREA OF NEW DECK LEVEL TO ALIGN WITH EXISTING DECK LEVEL TO REMAIN. MATERIAL AND FINISHES TO MATCH EXISTING, DESIGN AND BUILD BY GENERAL CONTRACTOR. 1:20 MAX SLOPE IN ALL DIRECTION.
20	EXISTING POSTS TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.
21	OUTLINE OF NEW FOOTING BELOW DECK. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
22	NEW 1 1/2" DIA. METAL TUBE HANDRAIL PAINTED, TYP. SEE HANDRAIL ELEVATION 2/A6.1 FOR ADDITIONAL INFO.
23	PROVIDE FRAMED OPENING FOR FUTURE DOOR.

MTA
MARK THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P (415) 643-5005 F (415) 496-3336
WWW.MTARCHITECTS.COM

LICENSED ARCHITECT
MARK THOMAS
NO. C19445
EXP. 06-25
STATE OF CALIFORNIA

NEW WALL

DEMOLISHED WALL

EXISTING WALL

NEW 1-HOUR RATED WALL

DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

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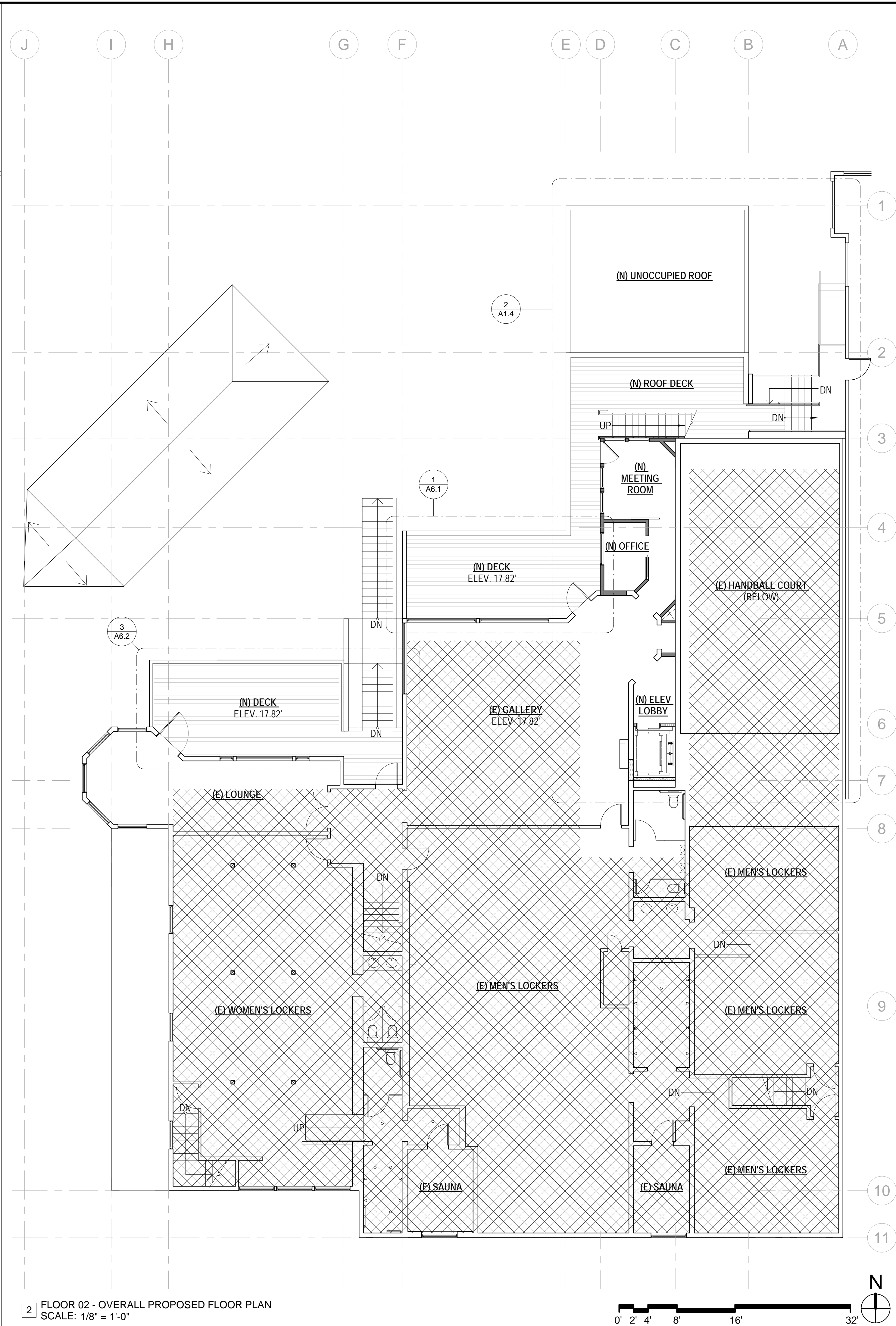
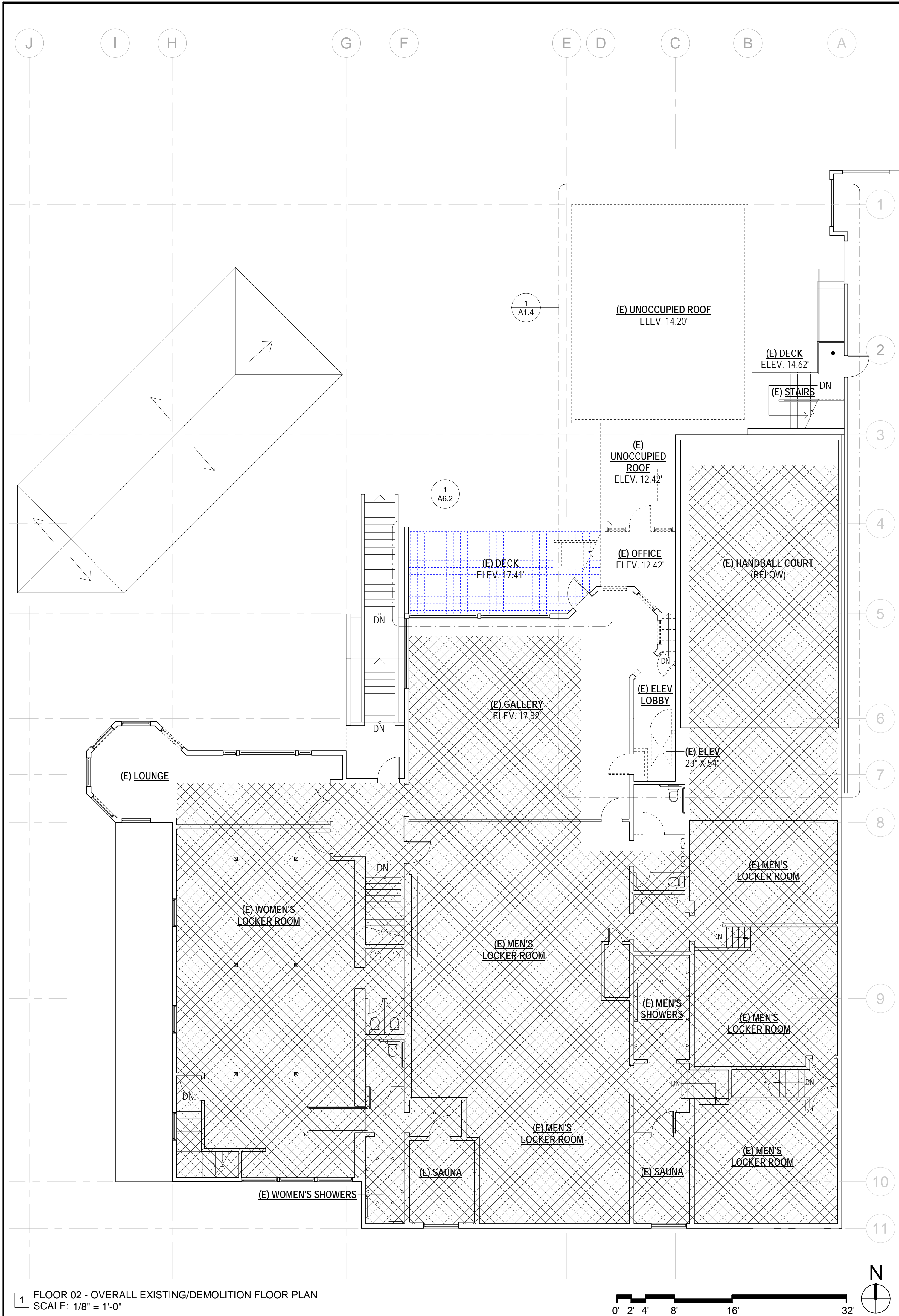
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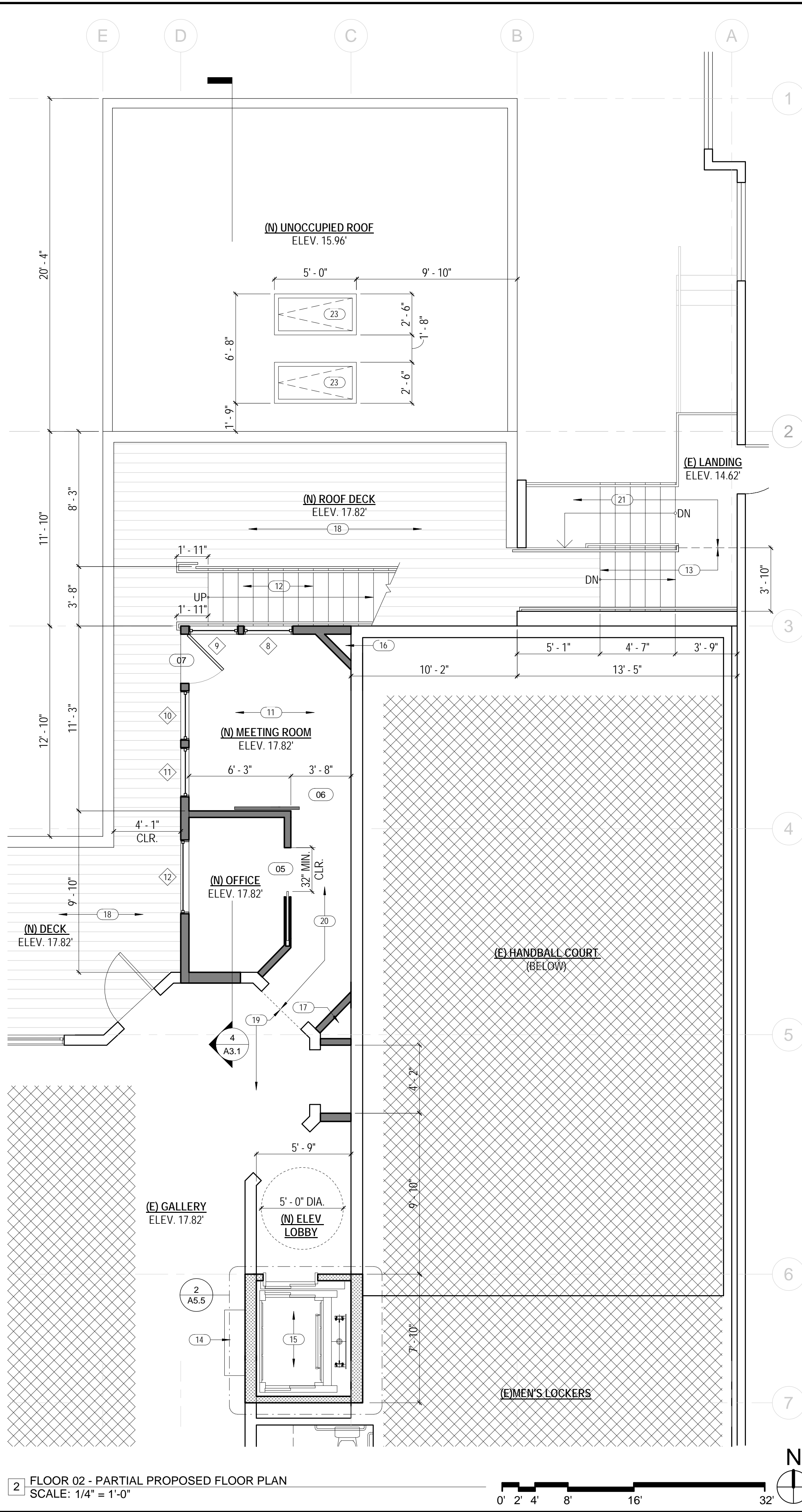
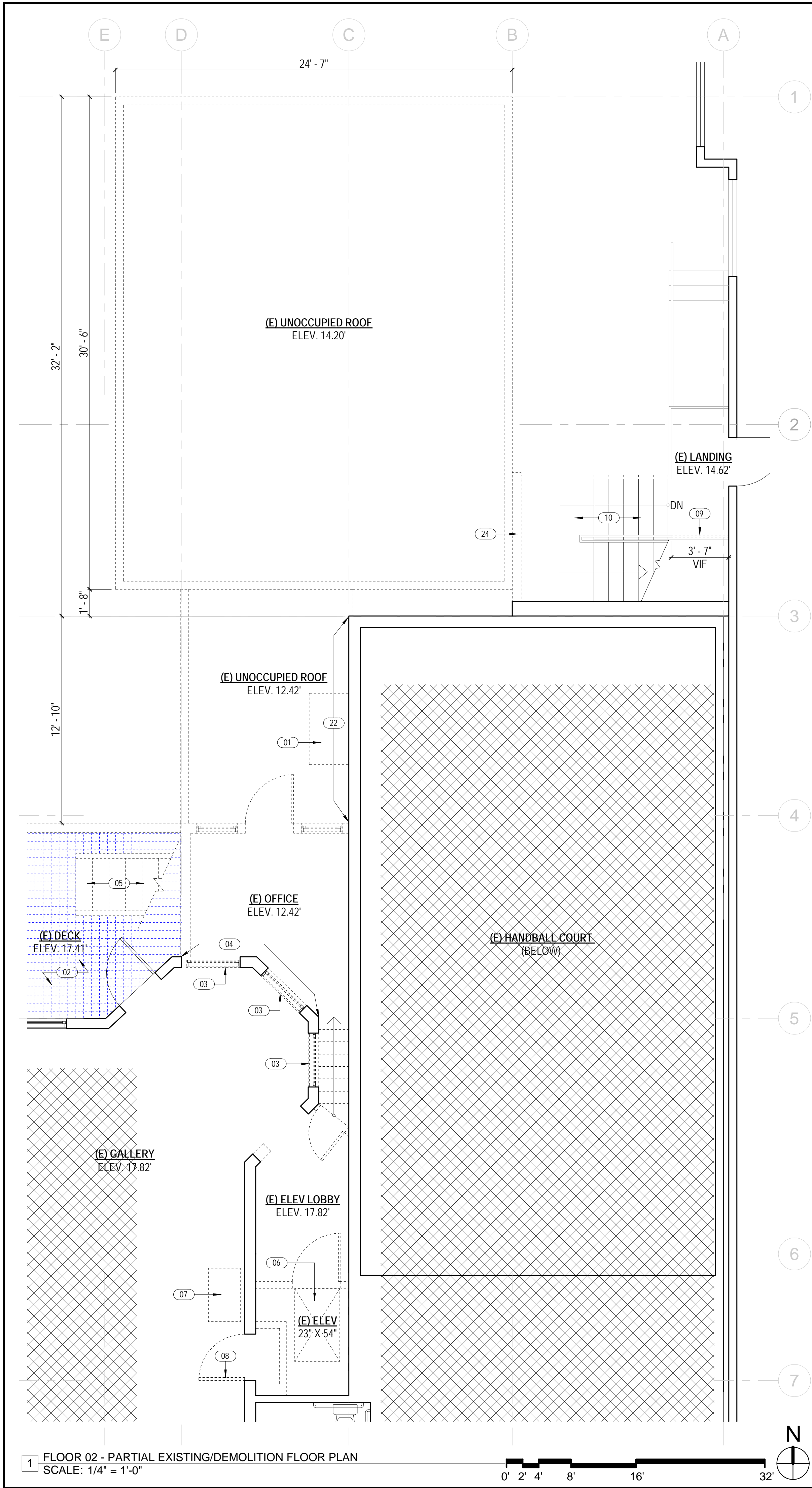
SHEET TITLE:

ENLARGED FIRST FLOOR PLAN

SHEET NUMBER:

A1.2





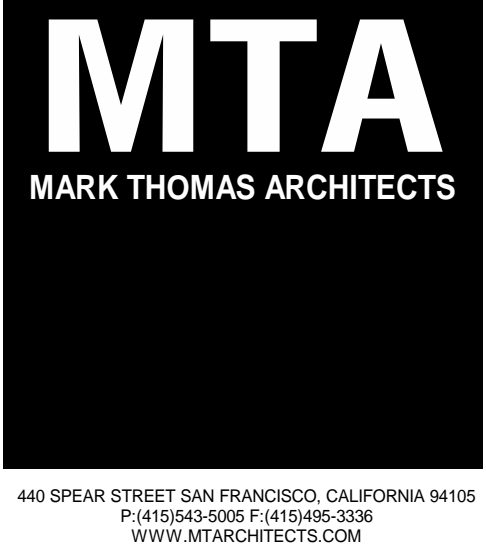
SHEET NOTES

1. REFER TO A0.2 FOR GENERAL NOTES.
2. REFER TO A0.3 FOR SYMBOL LEGEND.
3. SEE A6.00 AND A6.01 FOR GENERAL PARTITION DETAILS.
4. LOCATE NEW PARTITIONS ON CENTER LINE OF MULLION OR ALIGNED WITH COLUMN OR WALL, UON. SEE TYPICAL PARTITION DETAILS ON SHEET A6.10.
5. ALL PARTITIONS SHALL BE TYPE 1, UON.
6. ALL GLAZING SHALL BE TYPE A, UON. PROVIDE GLAZING SEALANT COLOR SAMPLE FOR ARCHITECT'S REVIEW. GLAZING STOP COLOR TO MATCH FRAME.
7. REPAIR OR REPLACE DAMAGED OR MISSING GYPSUM BOARD ON EXISTING PARTITIONS AND COLUMNS TO REMAIN. MATCH EXISTING PARTITION TYPE AND FINISHES.
8. PROVIDE BACKING AS NEEDED TO SUPPORT WALL HUNG ITEMS INCLUDING, BUT NOT LIMITED TO, SIGNAGE, RESTROOM ACCESSORIES, GRAB BARS, EQUIPMENT, AND FURNITURE.
9. PROVIDE NEW SEMI RECESSED FIRE EXTINGUISHER CABINETS (FEC) W/ FIRE EXTINGUISHERS AS INDICATED ON PLAN. REUSE EXISTING WHERE POSSIBLE.
10. GC SHALL FIELD CUT MILLWORK AS NECESSARY TO ALLOW ACCESS TO WALL POWER AND SIGNAL LOCATIONS. FIELD VERIFY CONDITIONS.

- NEW WALL
- DEMOLISHED WALL
- EXISTING WALL
- NEW 1-HOUR RATED WALL

KEYNOTES A1.4

- | | |
|----|---|
| 01 | (E) FLUE AND FLUE BOX TO BE REMOVED. |
| 02 | (E) DECKING AND WATERPROOFING MEMBRANE TO BE REMOVED. PREPARE AND/OR REPLACE PLYWOOD SHEATHING TO REMAIN AS NEEDED. SEE ENLARGED PLAN 1/A6.1 FOR ADDITIONAL INFORMATION. |
| 03 | (E) WINDOWS TO BE REMOVED. PROTECT EXISTING FINISHES TO REMAIN, TYP. SEE CONSTRUCTION PLAN FOR ADDITIONAL INFO. |
| 04 | REMOVE EXISTING EXTERIOR SIDING. PREPARE PARTITION TO REMAIN FOR NEW INTERIOR FINISH. |
| 05 | EXISTING ROOF ACCESS STAIRS TO BE REMOVED. SEE CONSTRUCTION PLAN FOR NEW ACCESS STAIR LOCATION. |
| 06 | EXISTING ELEVATOR AND ELEVATOR SHAFT TO BE REPLACED. SEE CONSTRUCTION PLAN FOR ADDITIONAL INFO. |
| 07 | EXISTING GAS APPLIANCE HEATER TO BE REPLACED. SAFE OFF EXISTING GAS LINE TO REMAIN FOR REUSE. SEE CONSTRUCTION PLAN FOR ADDITIONAL INFO. |
| 08 | EXISTING DOOR AND DOOR FRAME TO BE REMOVED. PROTECT ADJACENT FINISHES TO REMAIN AS REQUIRED. |
| 09 | EXISTING METAL GUARDRAIL TO BE REMOVED. COORDINATE EXTENT OF DEMOLITION WITH NEW CONSTRUCTION. |
| 10 | EXISTING METAL EGRESS STAIRS TO REMAIN. |
| 11 | PROVIDE PORTABLE ASSISTIVE LISTENING DEVICE SYSTEM AND SIGNAGE IN ACCORDANCE WITH SECTIONS 11B-219.2 & 11B-216.10. |
| 12 | (N) ROOF ACCESS METAL STAIRS. SEE 5/A5.2 FOR ADDITIONAL INFO. |
| 13 | (N) EGRESS STAIRS EXTENSION FROM NEW ROOF DECK TO EXISTING LANDIND. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFO. CONCRETE TREADS AND RISERS, AND METAL HANDRAIL TO MATCH EXISTING. SEE TYPICAL STAIR DETAIL 5/A5.2 FOR ADDITIONAL INFO. |
| 14 | (N) UL LISTED GAS APPLIANCE FIREPLACE. |
| 15 | (N) LULA ELEVATOR TO COMPLY WITH CBC SECTION 11B-408. SEE SHEET A5.5 FOR ADDITIONAL INFO. |
| 16 | (N) MECHANICAL CHASE FOR EXHAUST DUCT. |
| 17 | (N) MECHANICAL CHASE FOR AIR INTAKE. |
| 18 | (N) IPE DECKING PALETTES, TYP. ON ADJUSTABLE PEDESTALS, TYP. |
| 19 | EXISTING WOOD FLOORING TO REMAIN, TYP. PROTECT AS REQUIRED DURING CONSTRUCTION. |
| 20 | NEW WOOD FLOORING TO MATCH ADJACENT EXISTING TO REMAIN, TYP. |
| 21 | EXISTING STAIRS AND LANDING TO REMAIN. |
| 22 | REMOVE EXISTING EXTERIOR SIDING, THIS AREA. PREPARE PARTITION TO REMAIN AS REQUIRED FOR NEW INTERIOR FINISHES. |
| 23 | NEW OPERABLE SKYLIGHTS, TYP. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFO. |
| 24 | EXISTING PARTITION TO BE PARTIALLY REMOVED TO ACCOMODATED NEW STAIR EXTENSION. COORDINATE EXTENT WITH NEW CONSTRUCTION. |



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

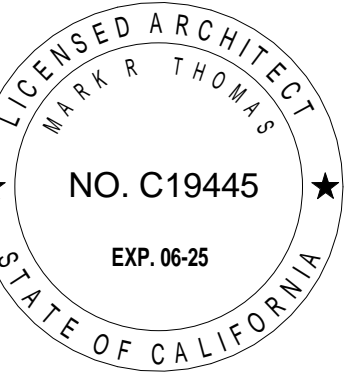
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
ADDENDUM 01	07.12.24

DRAWN BY: TL
SHEET TITLE:

ENLARGED SECOND FLOOR PLAN

SHEET NUMBER:

A1.4



502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
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ADDENDUM 01	07.12.24

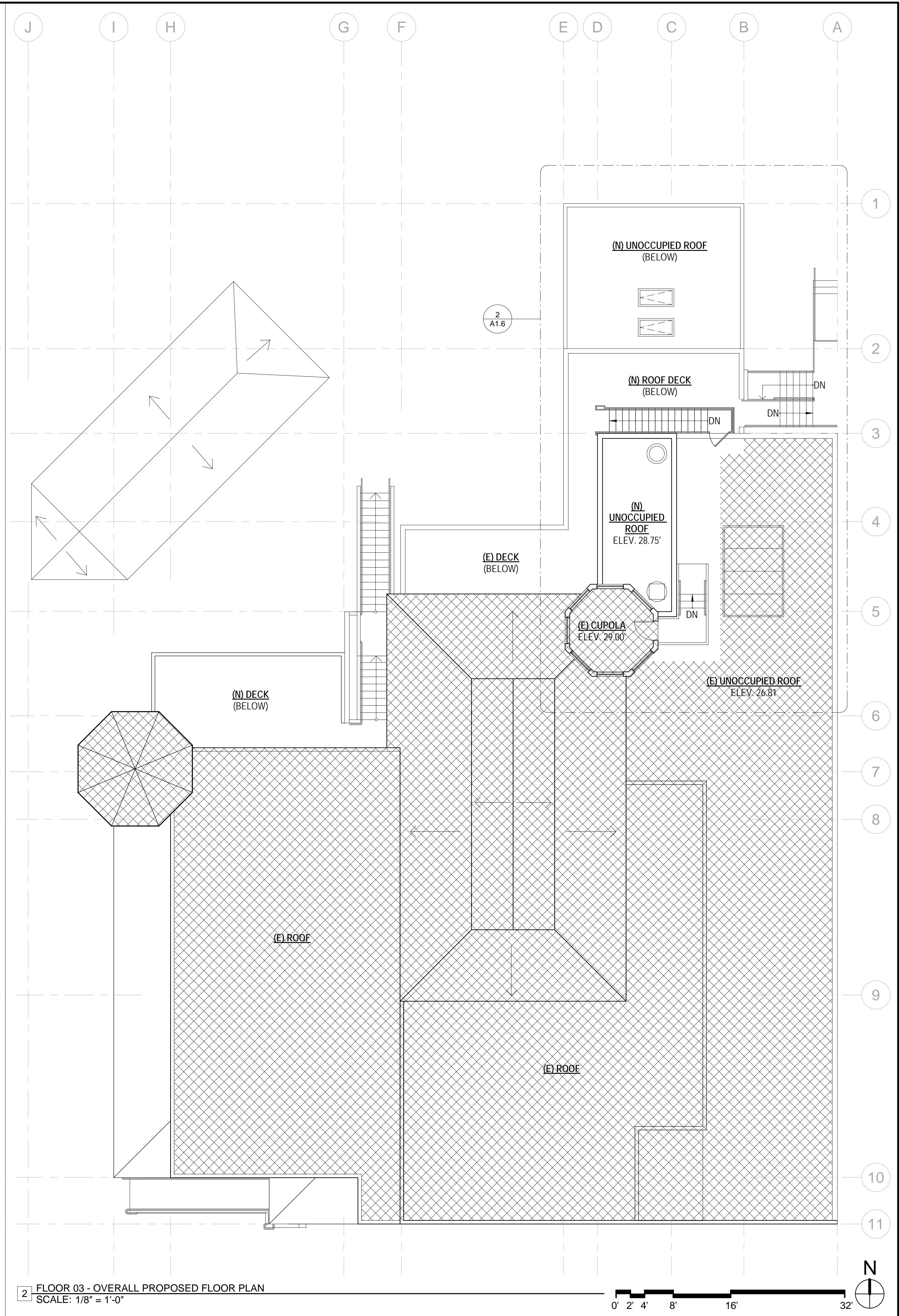
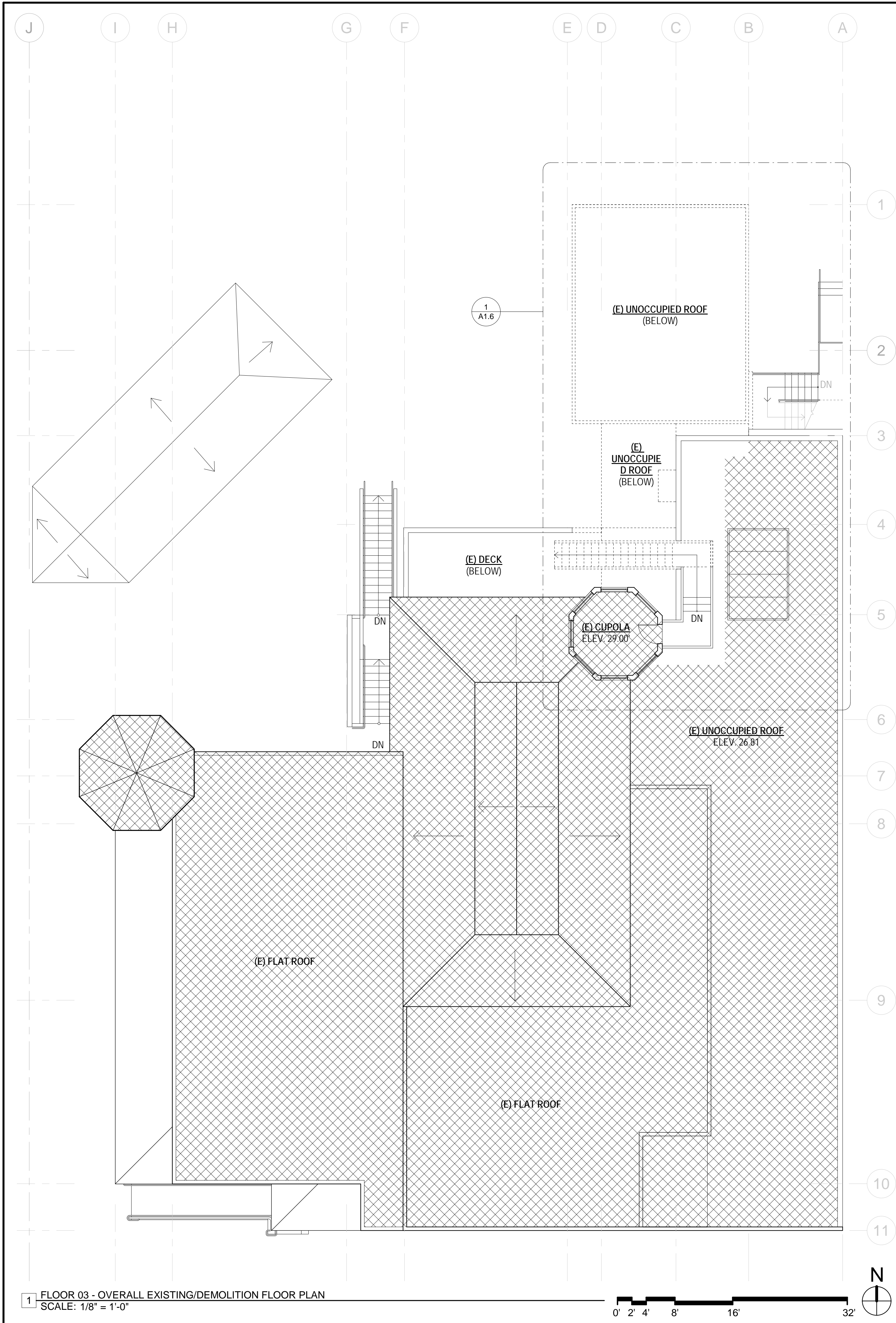
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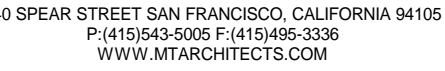
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EXISTING &
PROPOSED
THIRD FLOOR
PLAN

SHEET NUMBER:

A1.5





DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
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DRAWN BY: TL

SHEET TITLE:

ENLARGED
THIRD FLOOR
PLAN

SHEET NUMBER:

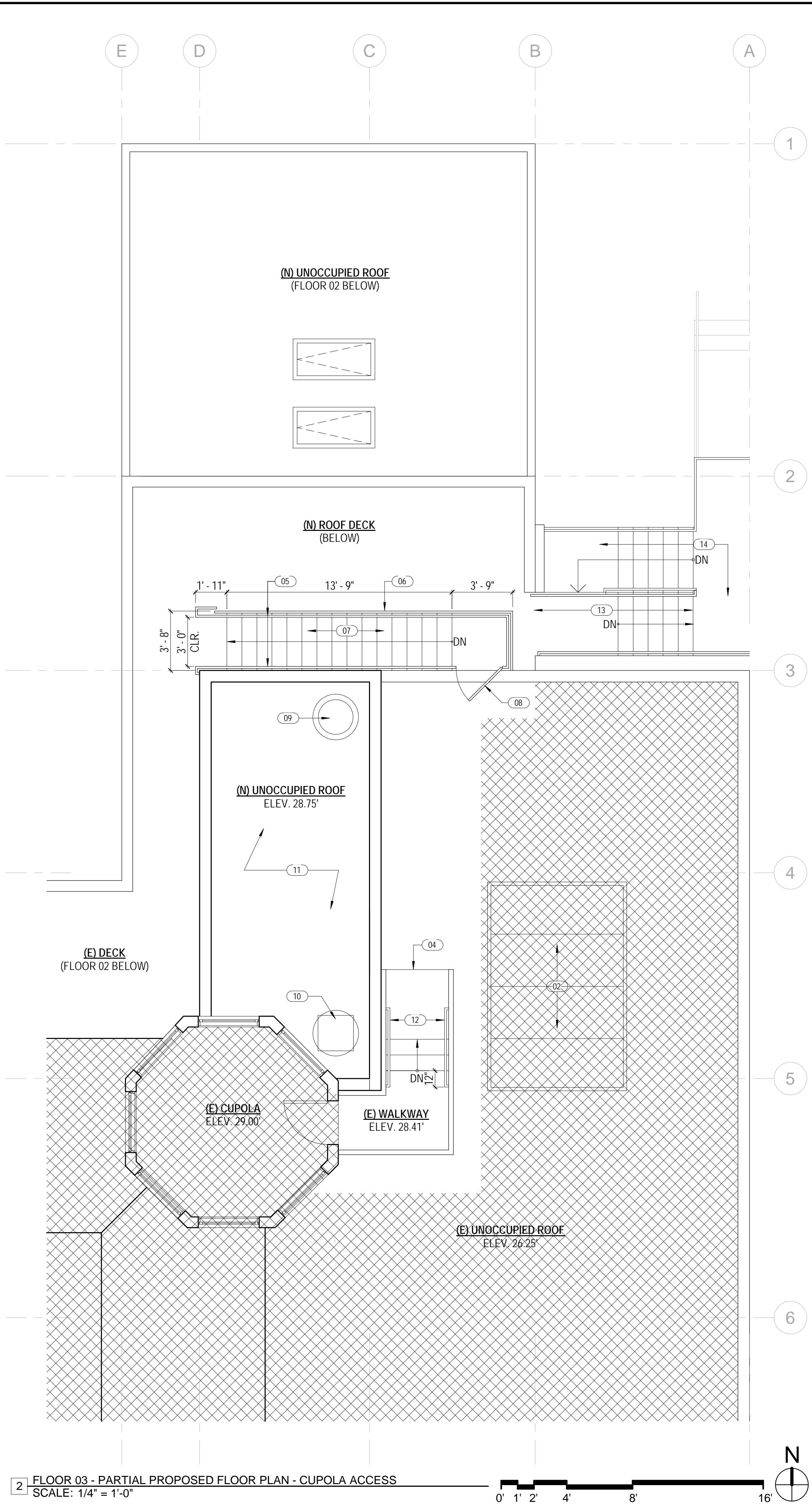
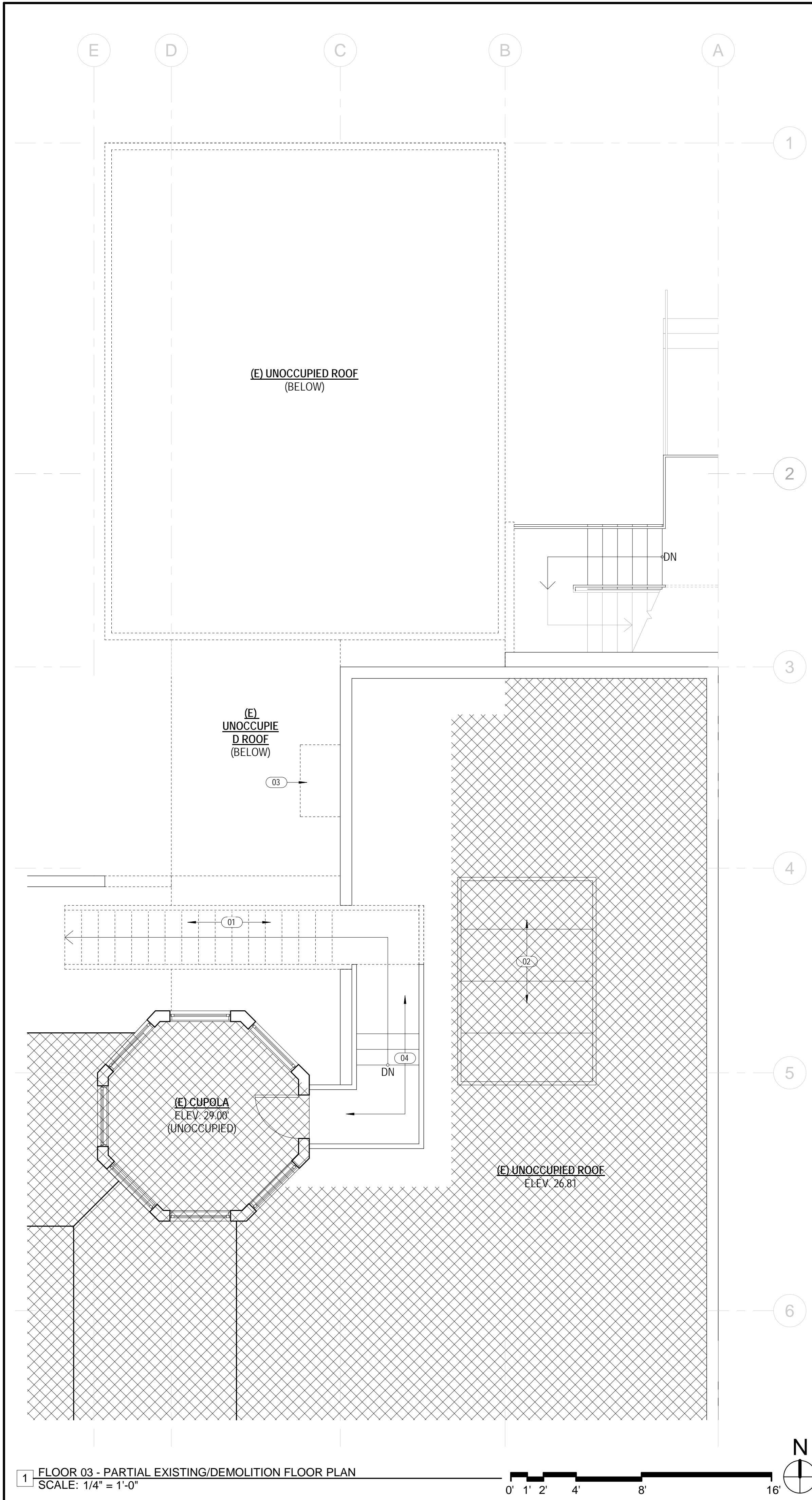
A1.6

SHEET NOTES

1. REFER TO A0.2 FOR GENERAL NOTES.
2. REFER TO A0.3 FOR SYMBOL LEGEND.
3. SEE A6.00 AND A6.01 FOR GENERAL PARTITION DETAILS.
4. LOCATE NEW PARTITIONS ON CENTER LINE OF MULLION OR ALIGNED WITH COLUMN OR WALL, UON. SEE TYPICAL PARTITION DETAILS ON SHEET A6.10.
5. ALL PARTITIONS SHALL BE TYPE 1, UON.
6. ALL GLAZING SHALL BE TYPE A, UON. PROVIDE GLAZING SEALANT COLOR SAMPLE FOR ARCHITECT'S REVIEW. GLAZING STOP COLOR TO MATCH FRAME.
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9. PROVIDE NEW SEMI RECESSED FIRE EXTINGUISHER CABINETS (FEC) W/ FIRE EXTINGUISHERS AS INDICATED ON PLAN. REUSE EXISTING WHERE POSSIBLE.
10. GC SHALL FIELD CUT MILLWORK AS NECESSARY TO ALLOW ACCESS TO WALL POWER AND SIGNAL LOCATIONS. FIELD VERIFY CONDITIONS.

KEYNOTES A1.6

01	EXISTING ROOF ACCESS STAIRS, HANDRAILS, AND WALKWAY TO BE REMOVED. SEE CONSTRUCTION PLAN FOR ADDITIONAL INFORMATION.
02	EXISTING SKYLIGHT TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.
03	EXISTING FLUE AND FLUE BOX TO BE REMOVED.
04	PORTION OF EXISTING WALKWAY AND STAIRS TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.
05	(N) CONTINUOUS HANDRAIL PER SECTION 1014.2.
06	(N) 42" TALL GUARDRAIL PER SECTION 1015 AND 1015.3.
07	(N) ROOF ACCESS METAL STAIRS.
08	(N) 34" WIDE METAL GATE AT LANDING.
09	(N) KITCHEN EXHAUST VENT. DESIGN BUILD BY GC.
10	NEW MAKE AIR INTAKE. DESIGN BUILD BY GC.
11	NEW CLASS A BUILT UP ROOFING TO MATCH EXISTING.
12	EXISTING HANDRAIL TO REMAIN. REPAIR / PROVIDE NEW TO MATCH EXISTING.
13	NEW EXTENSION AT EXISTING EGRESS STAIRS (BELOW). SEE SHEET A6.3 FOR ADDITIONAL INFO.
14	EXISTING LANDING AND STAIRS TO REMAIN. SEE SHEET A1.4 FOR ADDITIONAL INFO.





DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

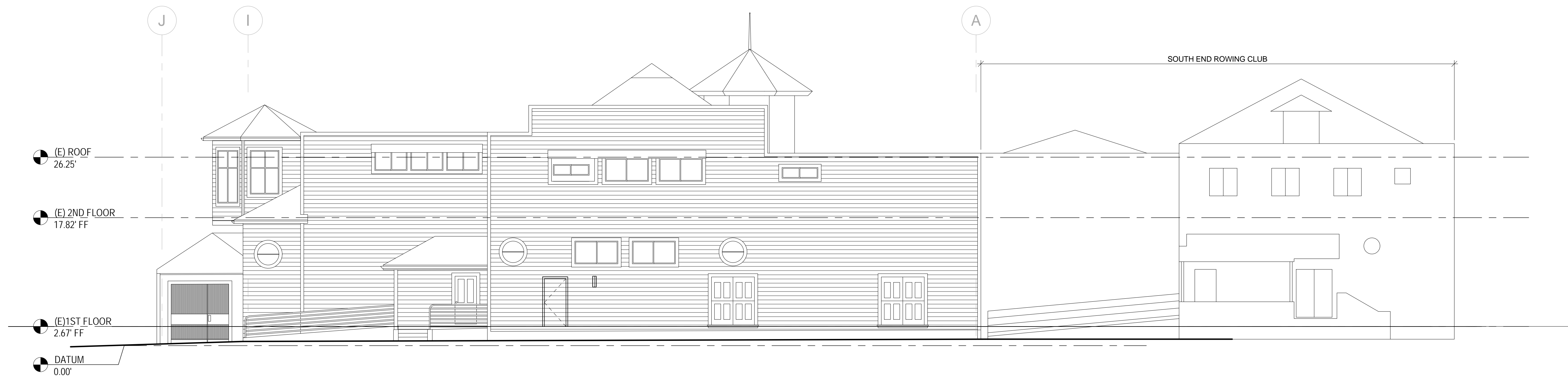
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SHEET TITLE:

EXISTING &
PROPOSED
SOUTH
(FRONT)
ELEVATION

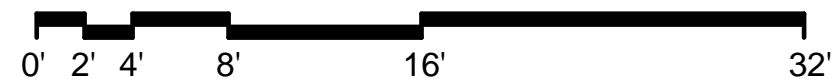
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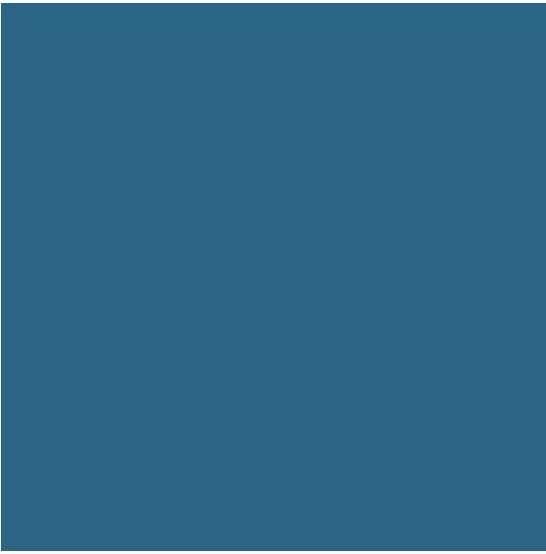


FOR REFERENCE ONLY

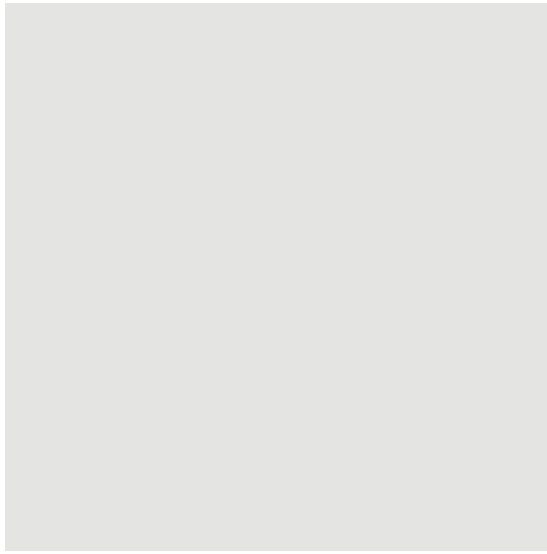
NO WORK IN THIS AREA



EXTERIOR FINISHES SCHEDULE



ACCENT PAINT COLOR



EXTERIOR PAINT COLOR



IPE DECKING PALETTES



CONCRETE FOUNDATION

MTA
MARK THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P: (415) 643-5005 F: (415) 496-3336
WWW.MTARCHITECTS.COM

LICENSED ARCHITECT
MARK THOMAS

NO. C19445
EXP. 06-25

STATE OF CALIFORNIA

DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

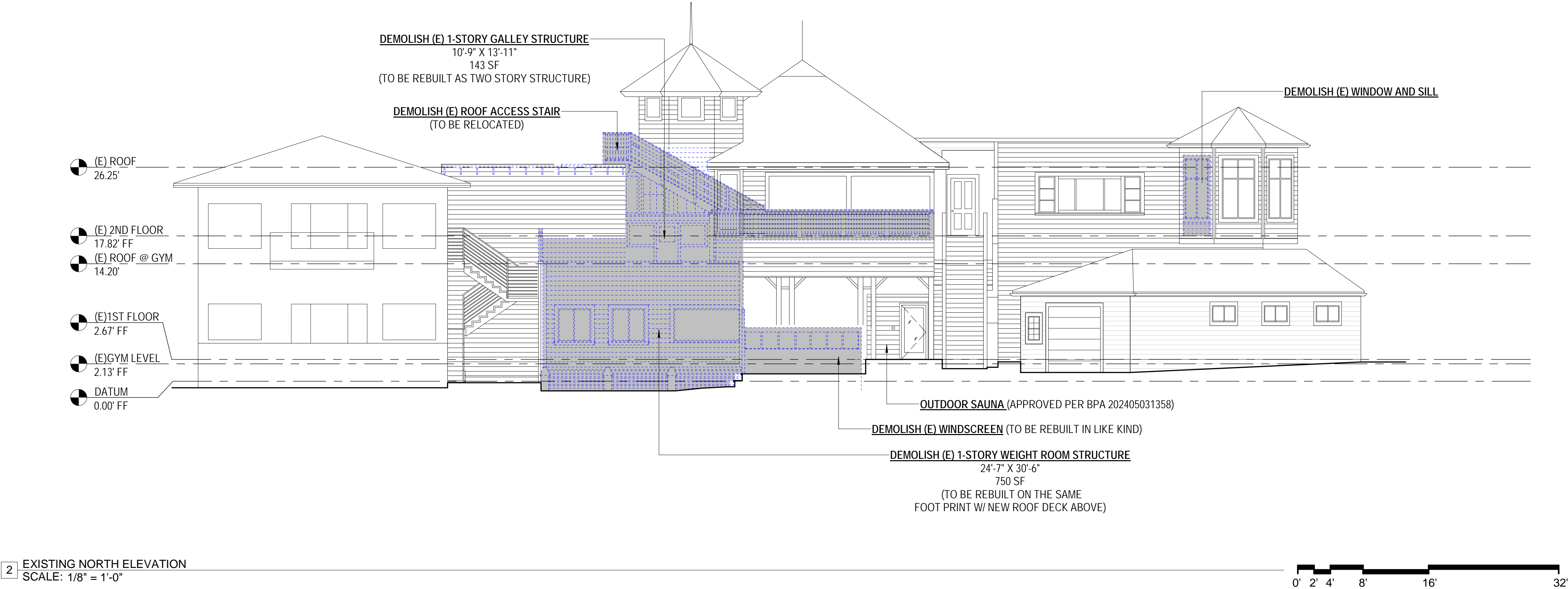
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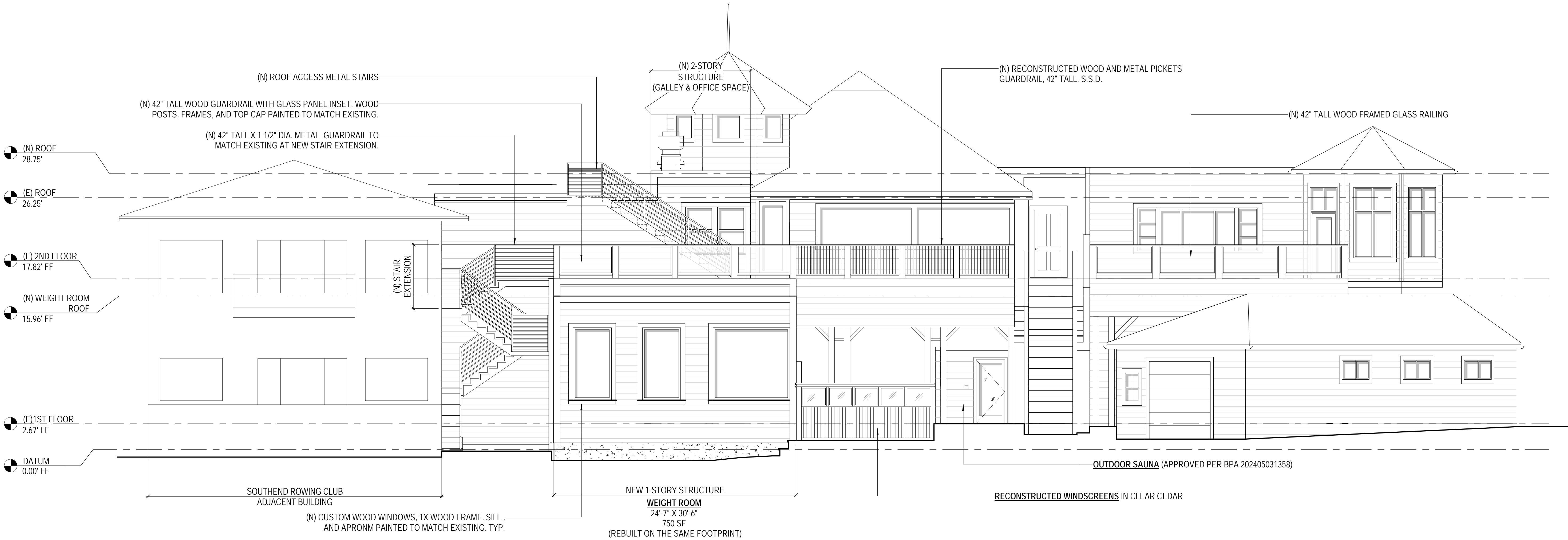
EXISTING & PROPOSED NORTH(REAR) ELEVATIONS

SHEET NUMBER:

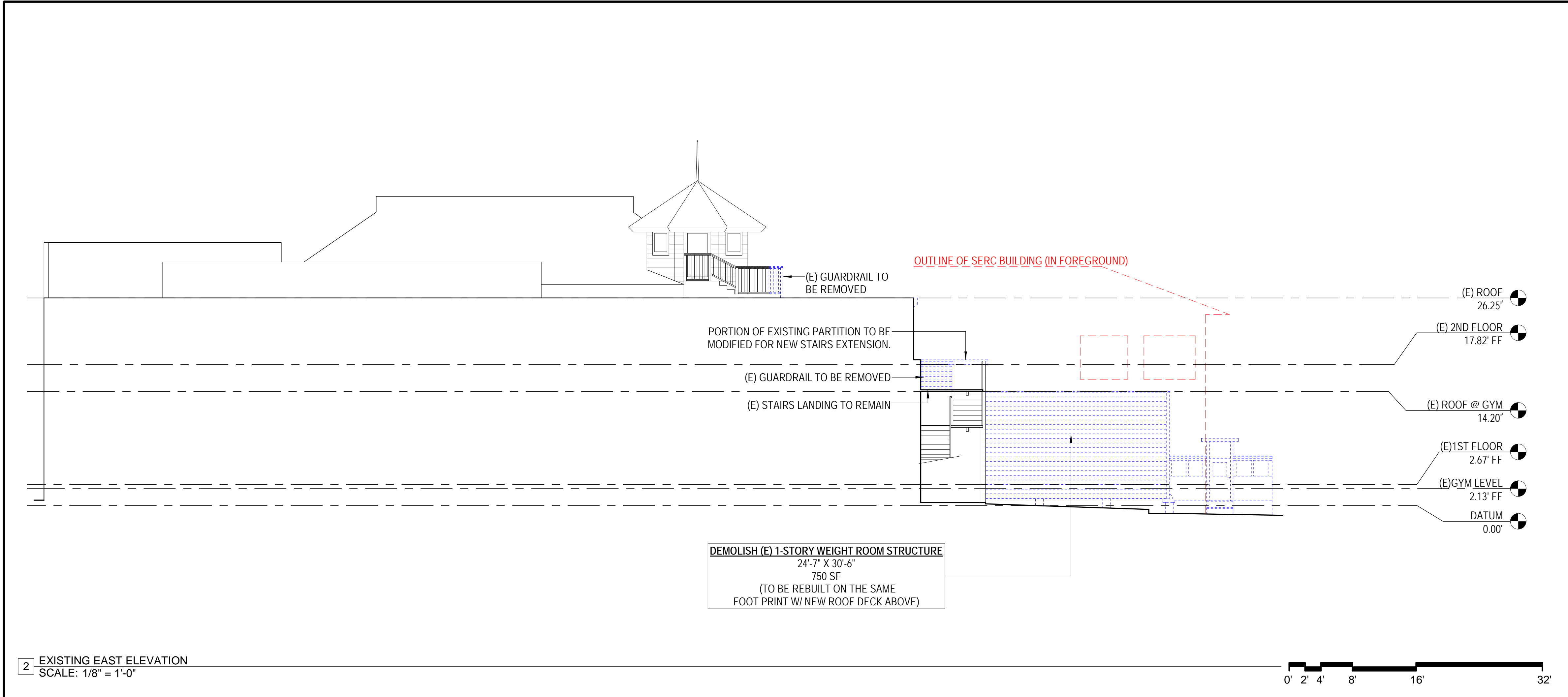
A2.2



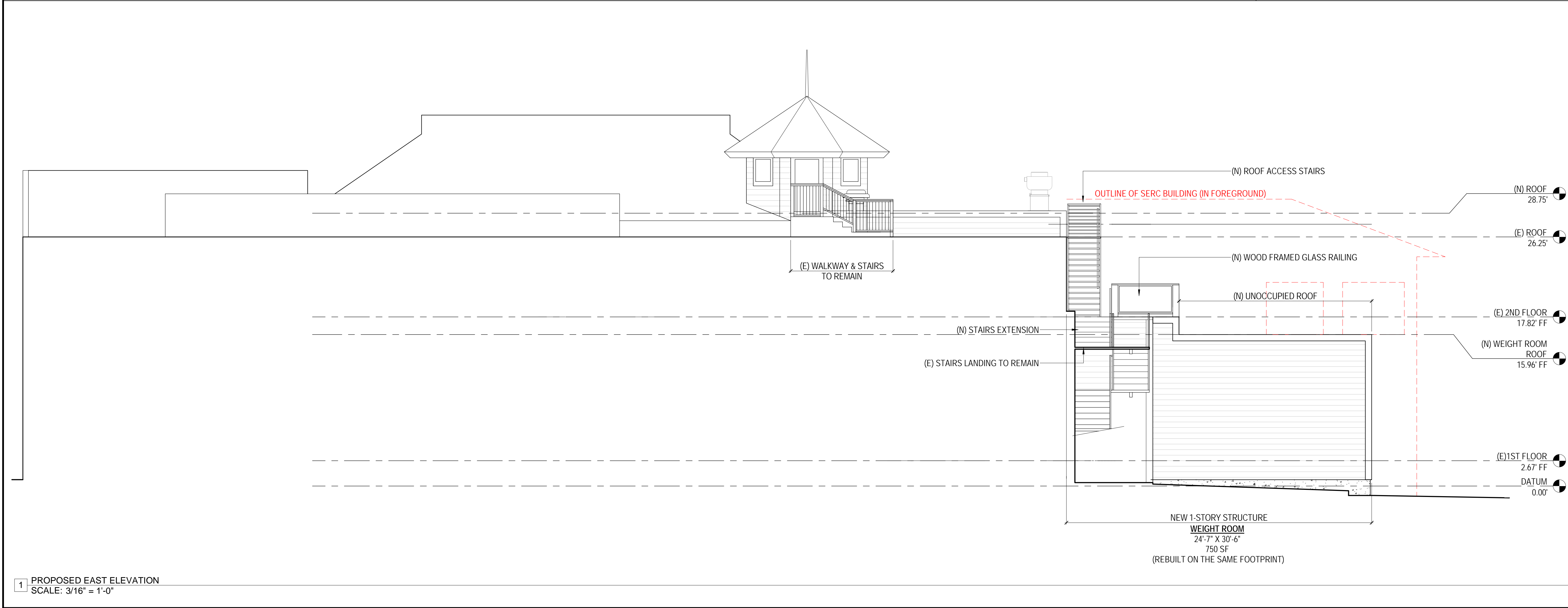
2 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"

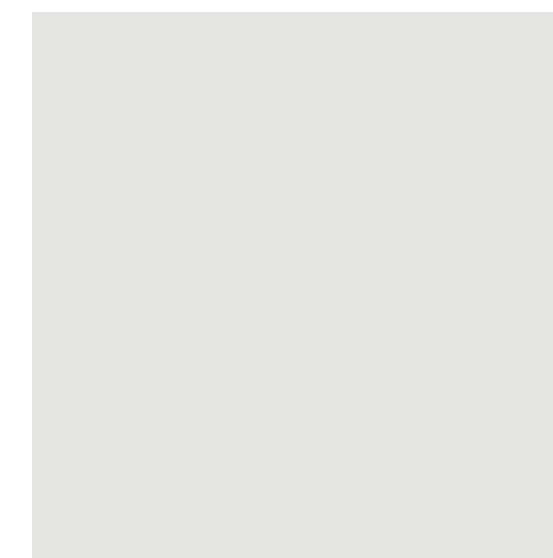


1 PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"

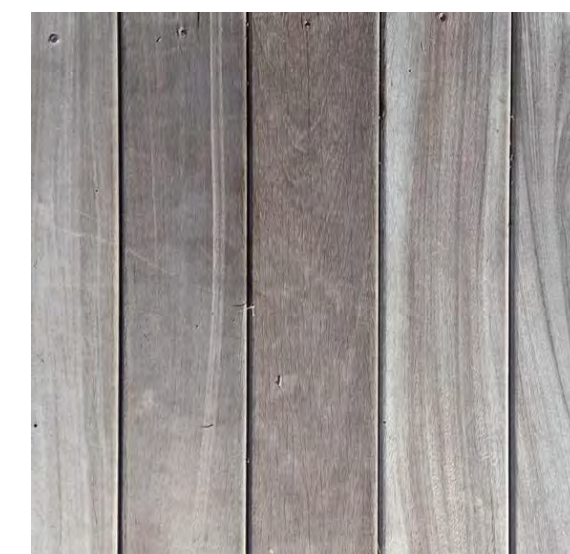
EXTERIOR FINISHES SCHEDULE



ACCENT PAINT COLOR



EXTERIOR PAINT COLOR



IPE DECKING PALETTES



CONCRETE FOUNDATION

DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

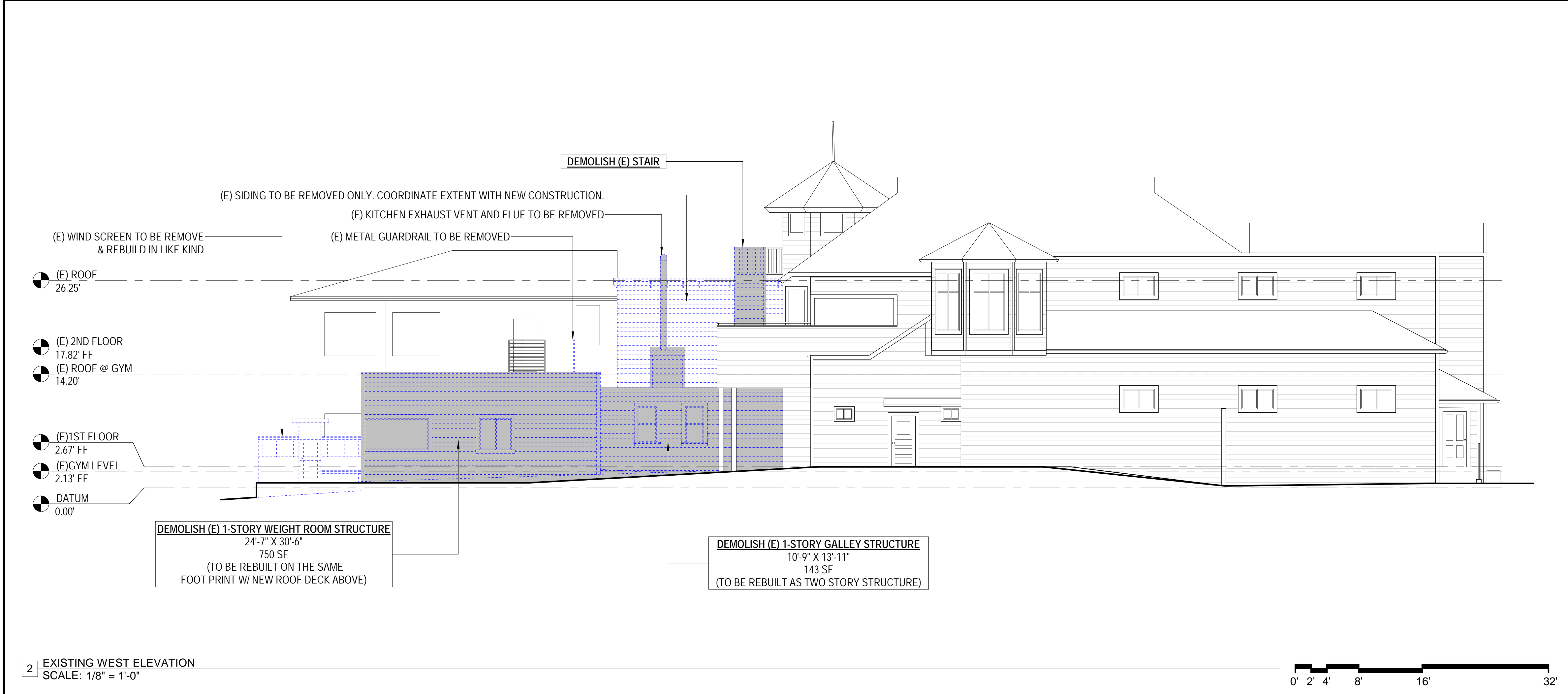
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PLAN CHECK	11.29.23
ADDENDUM 01	07.12.24

DRAWN BY: TL
SHEET TITLE:

EXISTING & PROPOSED EAST (SIDE) ELEVATIONS

SHEET NUMBER:

A2.3



EXTERIOR FINISHES SCHEDULE

ACCENT PAINT COLOR

EXTERIOR PAINT COLOR

IPE DECKING PALETTES

CONCRETE FOUNDATION

MTA

MARK THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P: (415) 643-5005 F: (415) 496-3336
WWW.MTARCHITECTS.COM

LICENSED ARCHITECT

MARK THOMAS

NO. C19445

EXP. 06-25

STATE OF CALIFORNIA

DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
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ADDENDUM 01	07.12.24

DRAWN BY: TL
SHEET TITLE:

EXISTING &
PROPOSED
WEST(SIDE)
ELEVATIONS

SHEET NUMBER:

A2.4

DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

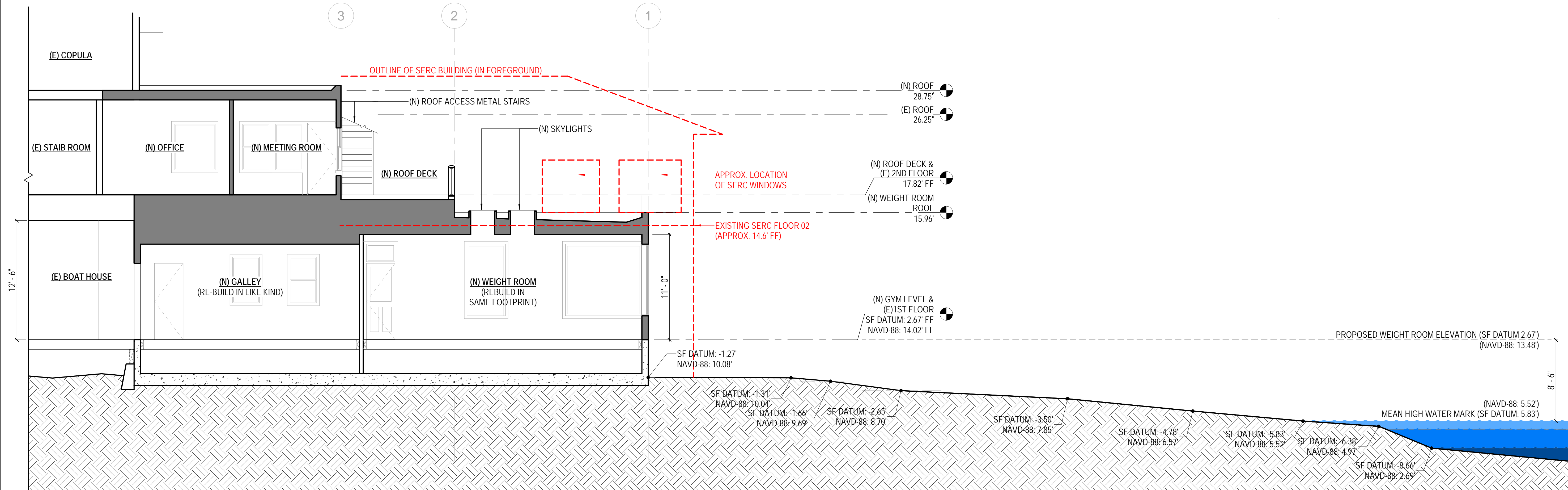
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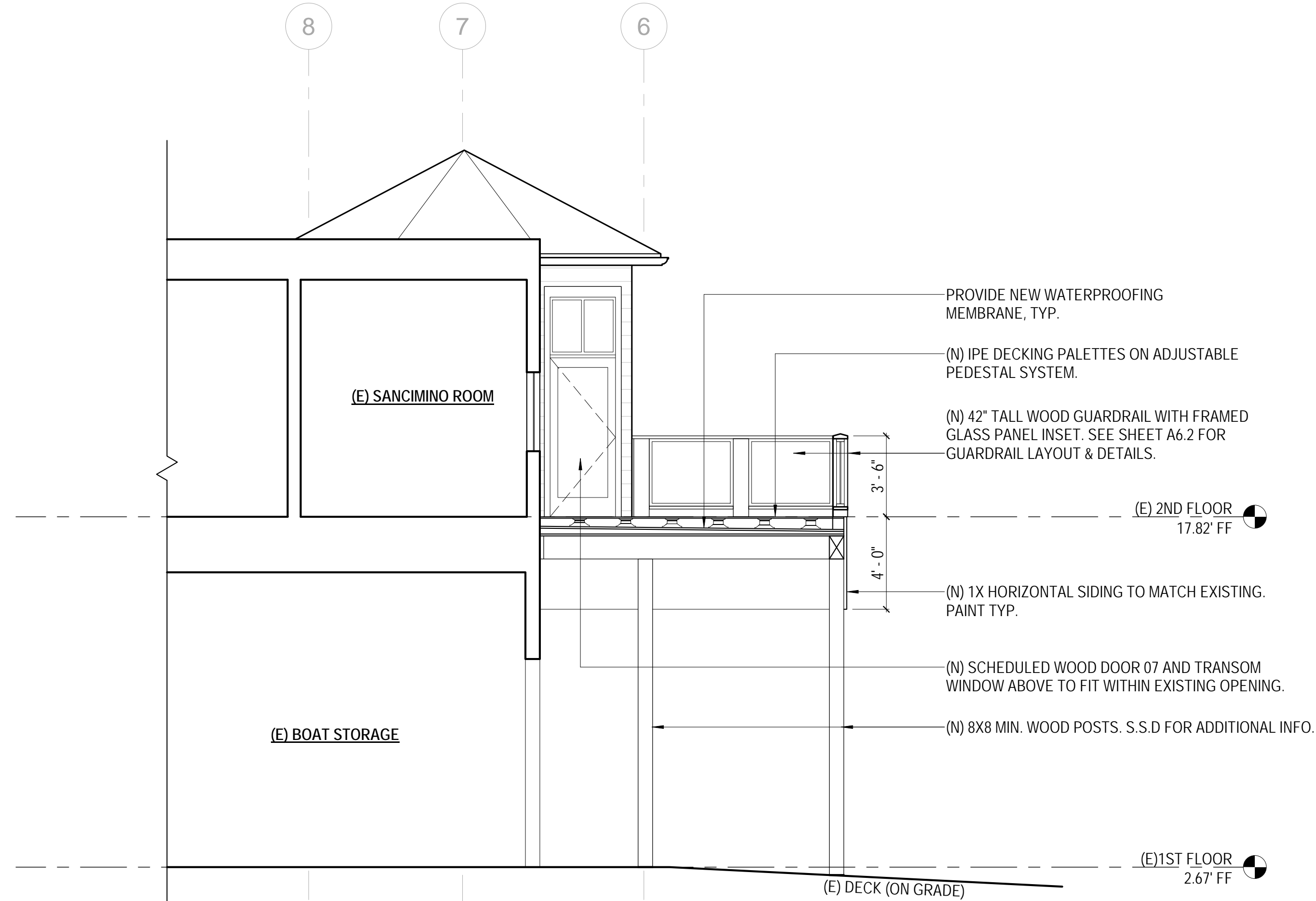
BUILDING
SECTIONS

SHEET NUMBER:

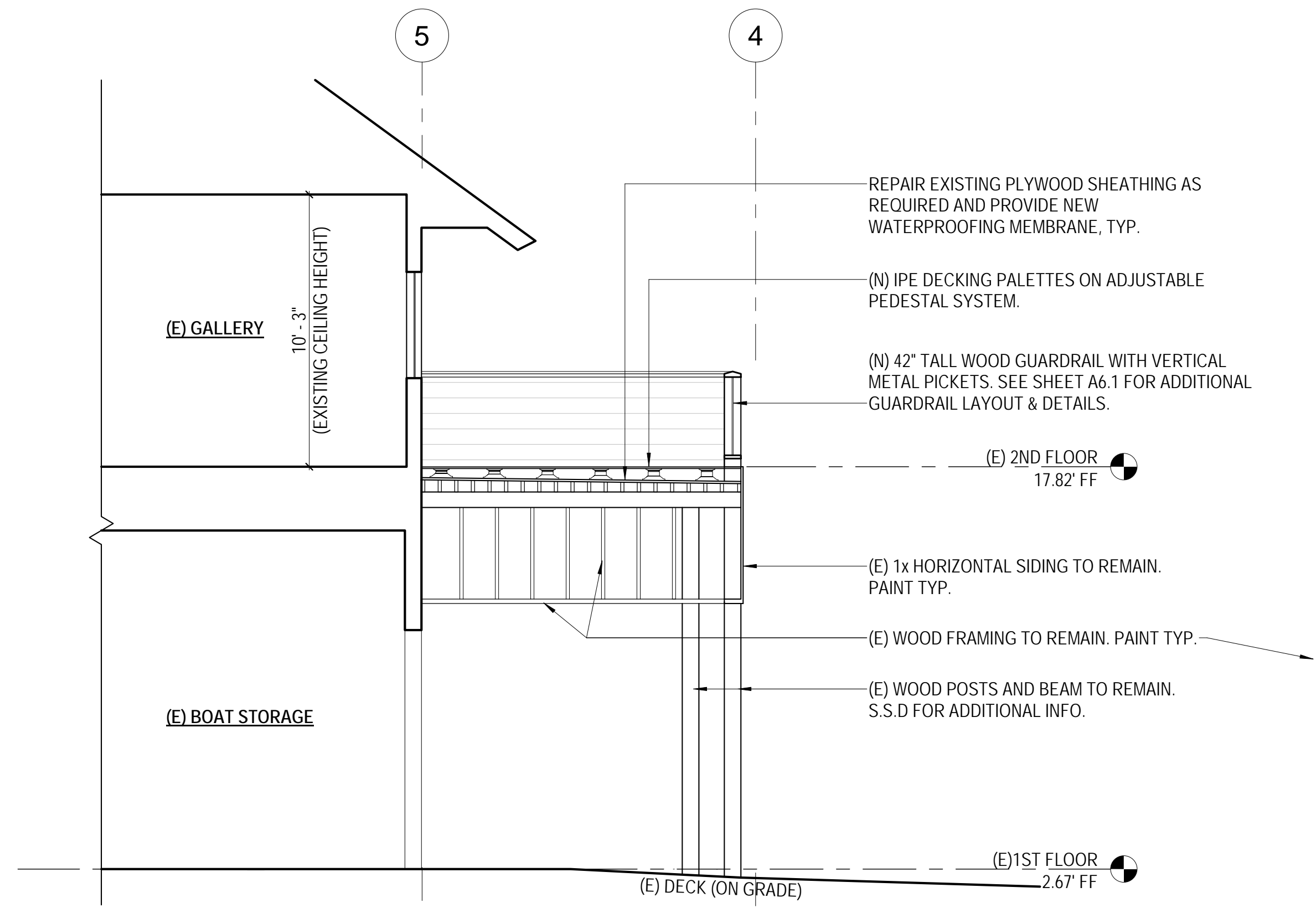
A3.1



4 SITE SECTION AT NEW WEIGHT ROOM AND GALLEY
SCALE: 3/16" = 1'-0"



1 SECTION @ NEW SANCIMINO ROOM DECK
SCALE: 1/4" = 1'-0"



2 SECTION @ NEW STAIB ROOM DECK
SCALE: 1/4" = 1'-0"

DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94109
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
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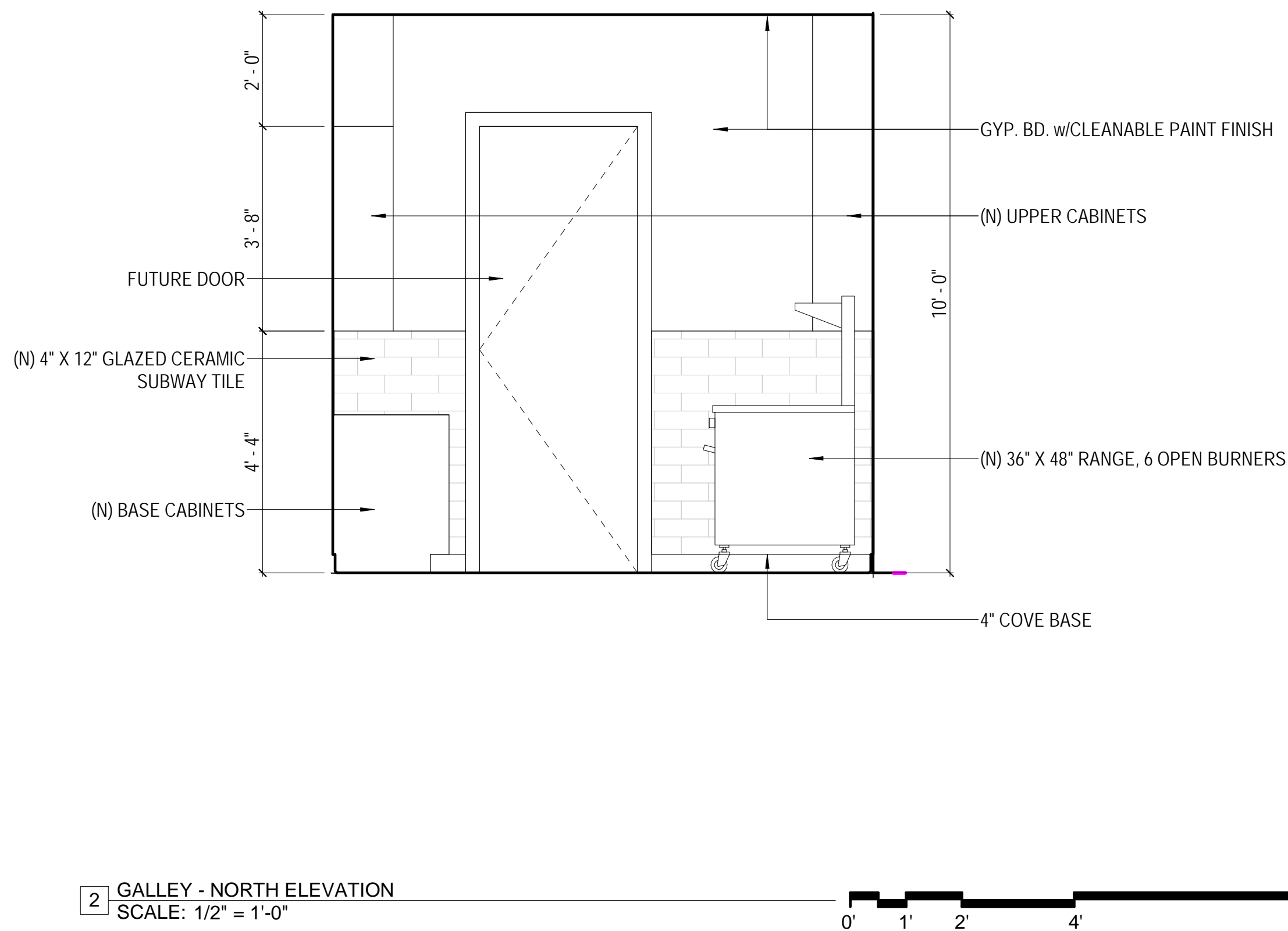
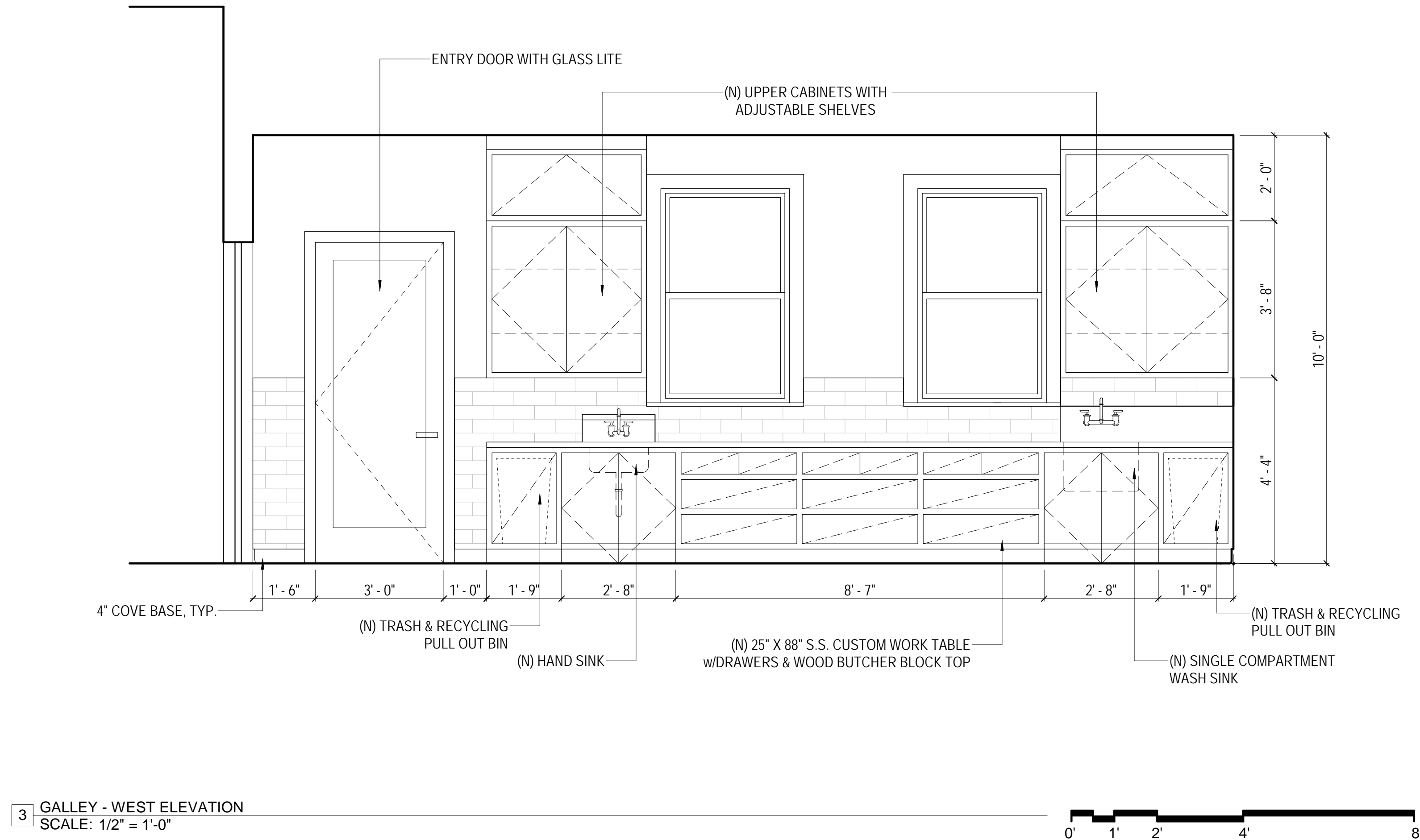
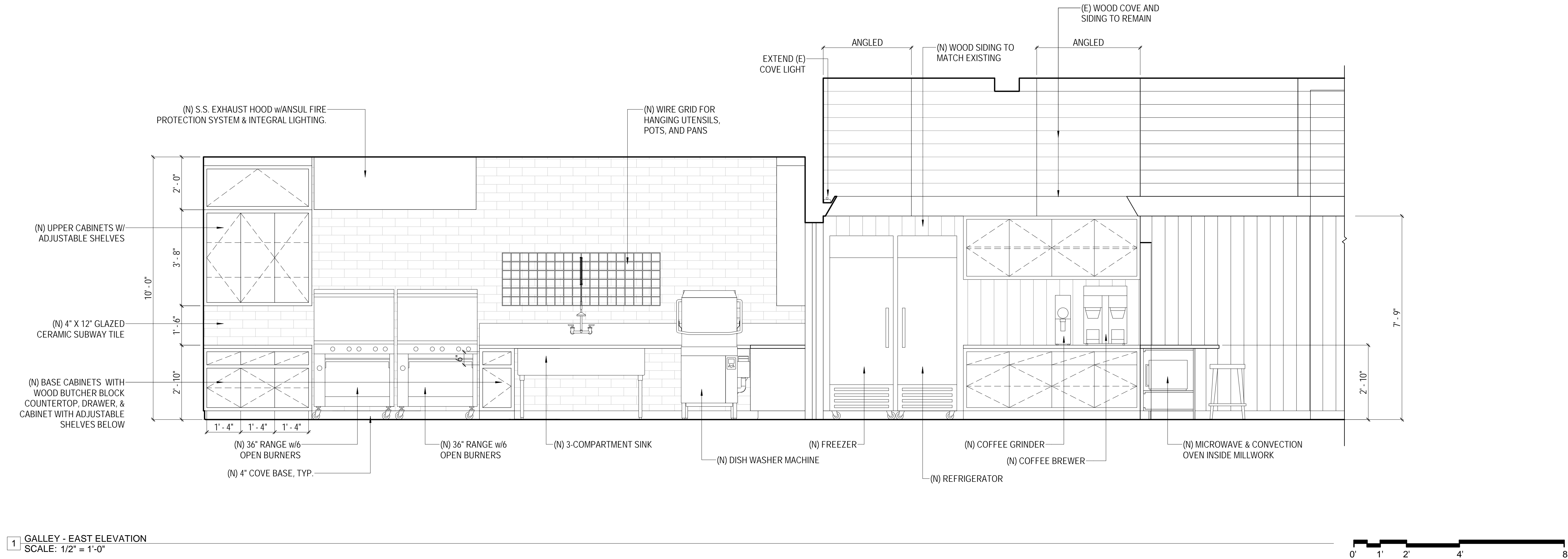
DRAWN BY: TL
DATE: 06.02.23
SHEET TITLE:

INTERIOR
ELEVATIONS

SHEET NUMBER:

A4.1

REV #: DATE:



DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94109
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
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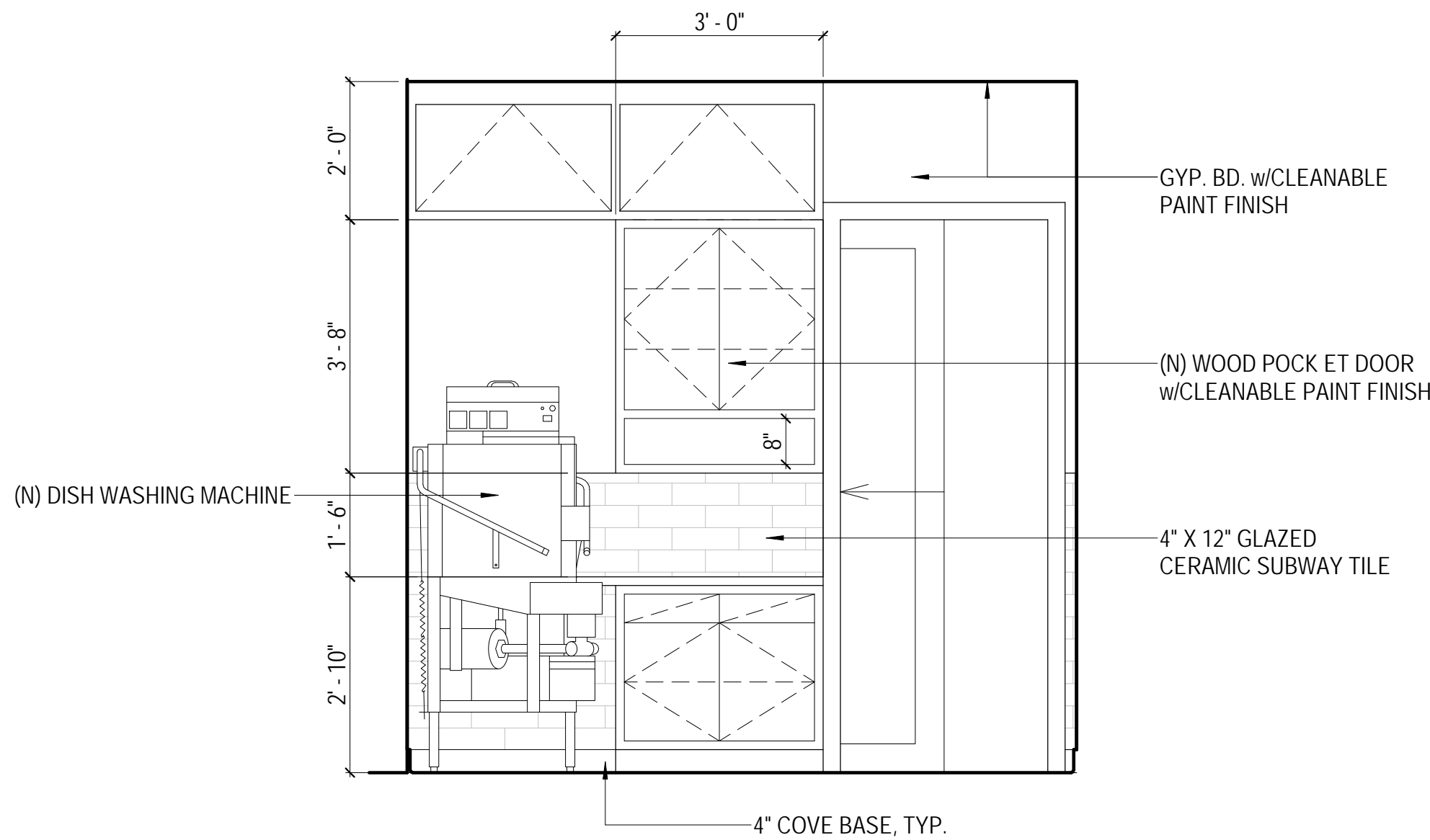
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INTERIOR
ELEVATIONS

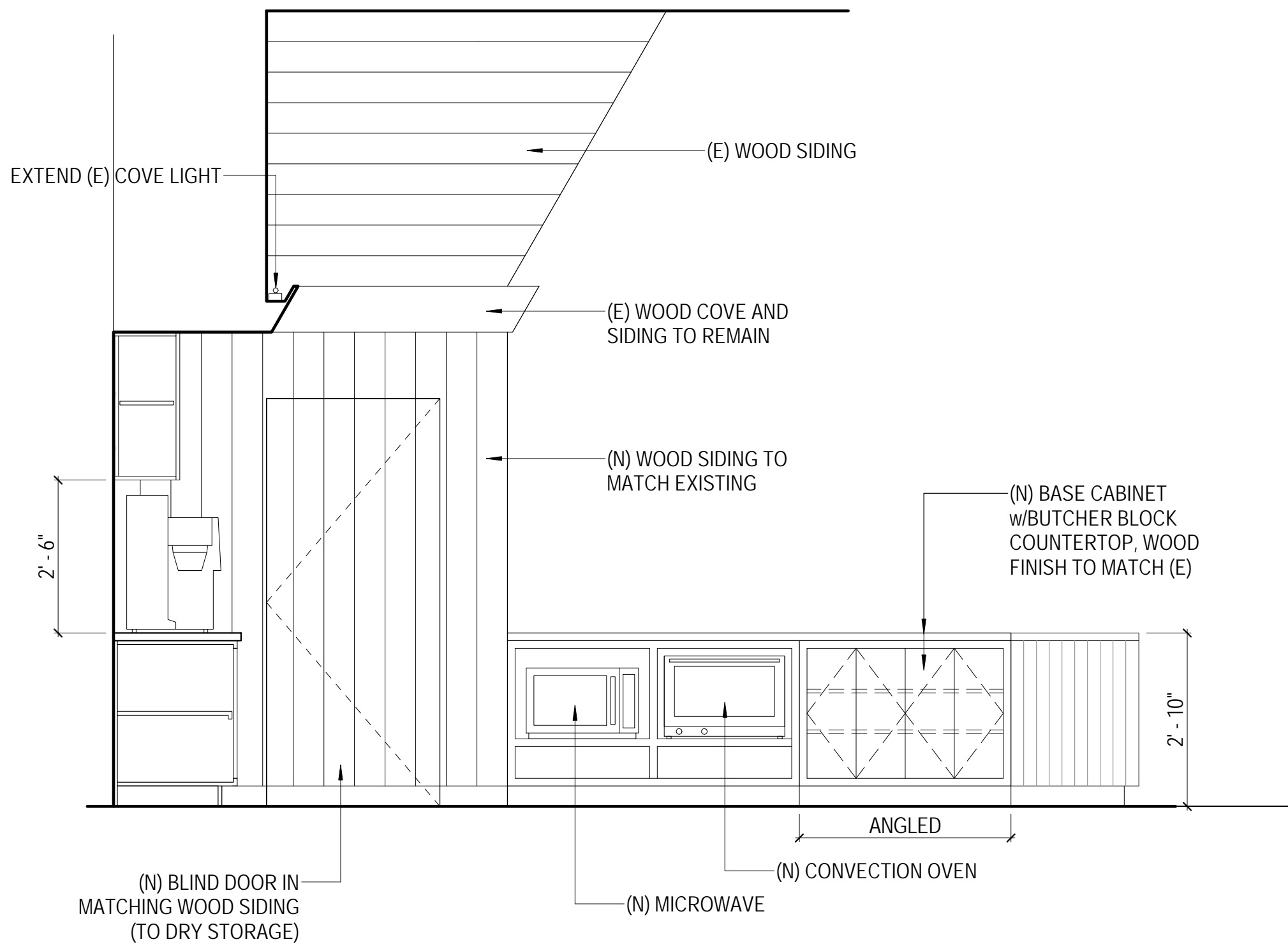
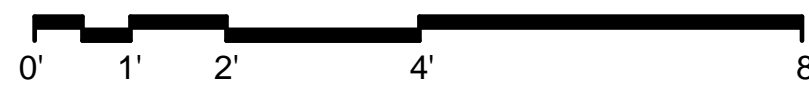
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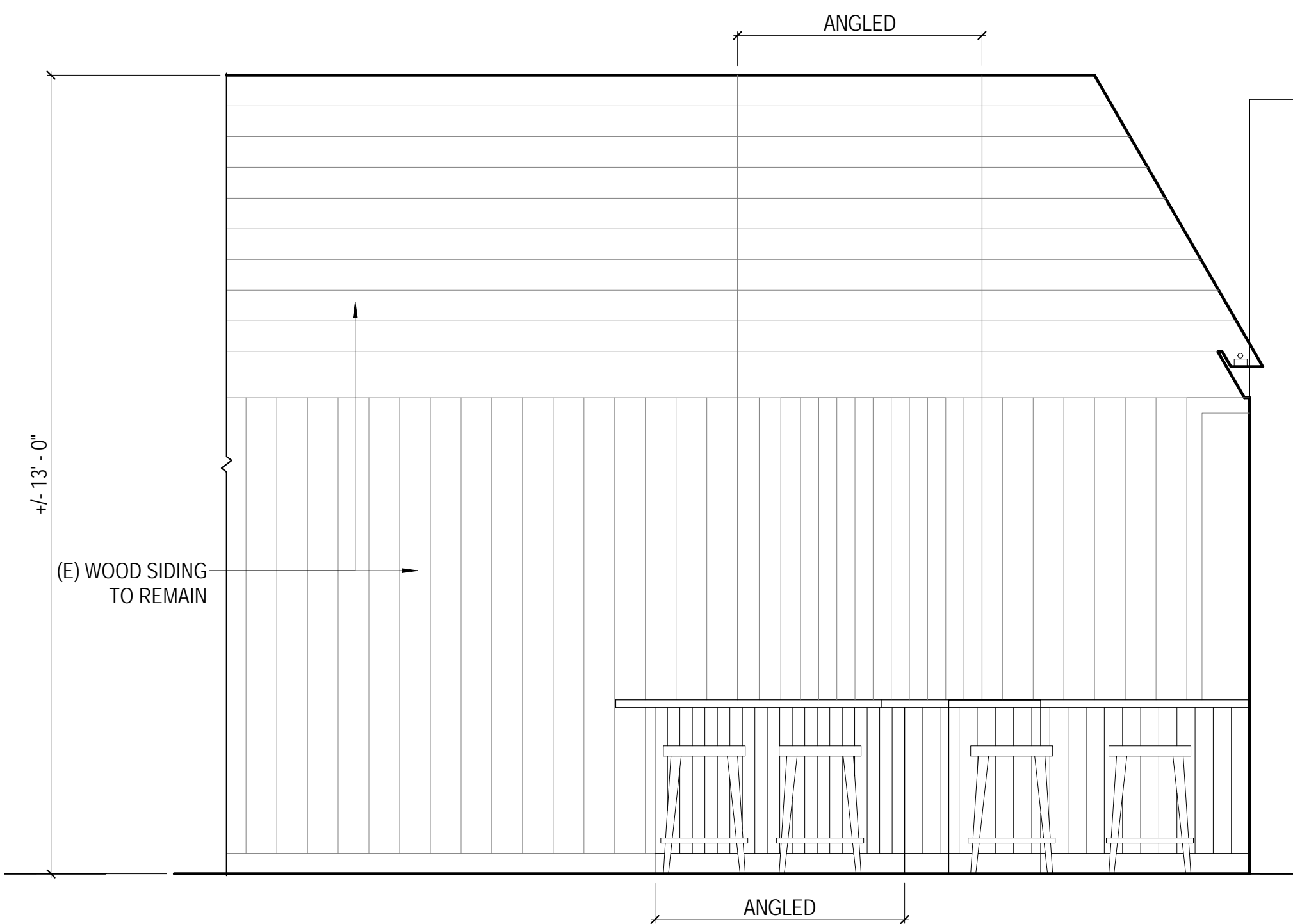
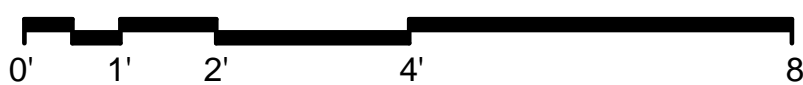
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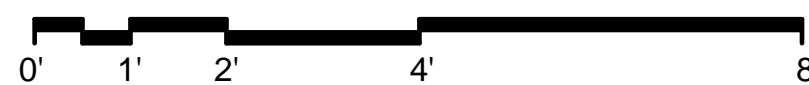
1 GALLEY - SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



3 BAR - INTERIOR ELEVATION - OPTION 2
SCALE: 1/2" = 1'-0"



2 BAR - FRONT ELEVATION - OPTION 2
SCALE: 1/2" = 1'-0"



REV #: _____ DATE: _____

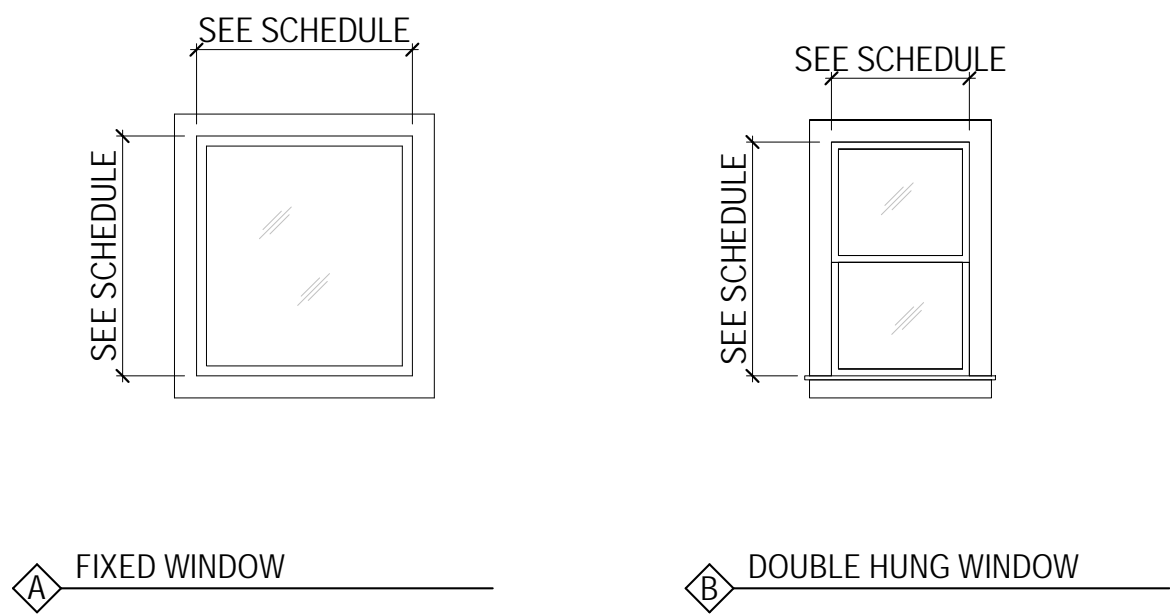
3 WEIGHT ROOM - EAST ELEVATION
SCALE: 1/2" = 1'-0"

WINDOW SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	HEAD HT	MATERIAL	FINISH	TEMPER	NOTES
1	A	4' - 0"	7' - 6"	10' - 0"	WOOD	PAINTED	X	
2	A	4' - 0"	7' - 6"	10' - 0"	WOOD	PAINTED	X	
3	A	8' - 0"	7' - 6"	10' - 0"	WOOD	PAINTED	X	
4	A	8' - 0"	7' - 6"	10' - 0"	WOOD	PAINTED	X	
5	A	4' - 0"	7' - 6"	10' - 0"	WOOD	PAINTED	X	
6	B	3' - 0"	5' - 0"	8' - 9"	WOOD	PAINTED	X	
7	B	3' - 0"	5' - 0"	8' - 9"	WOOD	PAINTED	X	
8	B	3' - 0"	5' - 0"	7' - 6"	WOOD	PAINTED	X	
9	B	3' - 0"	5' - 0"	7' - 6"	WOOD	PAINTED	X	
10	B	3' - 0"	5' - 0"	7' - 6"	WOOD	PAINTED	X	
11	B	3' - 0"	5' - 0"	7' - 6"	WOOD	PAINTED	X	
12	A	4' - 6"	5' - 0"	7' - 6"	WOOD	PAINTED	X	

WINDOW GENERAL NOTES

1. NEW WINDOW OPENINGS TO BE ENERGY EFFICIENT.
2. WINDOW DIMENSIONS INDICATED ABOVE ARE APPROXIMATE FRAME DIMENSIONS. GENERAL CONTRACTOR TO FIELD VERIFY TRUE WINDOW SIZE REQUIREMENTS PRIOR TO ORDERING WINDOWS.
3. ALL WINDOWS ARE TO BE CUSTOM WOOD WINDOWS, UNLESS NOTED OTHERWISE.
4. WINDOW SYMBOLS SHOW VIEW FROM EXTERIOR.

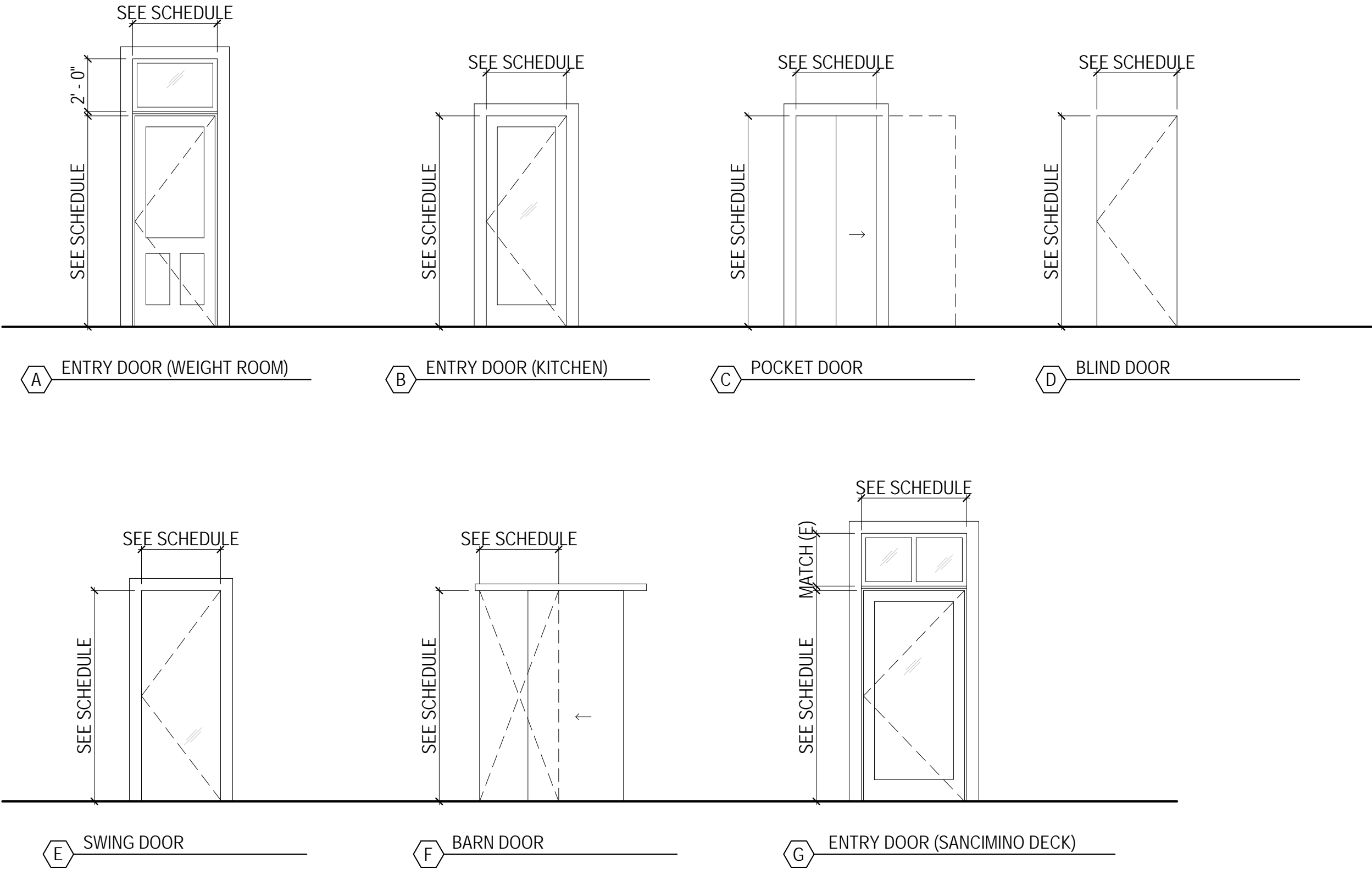


DOOR SCHEDULE

MARK	LOCATION	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	RATING	NOTES
01	(N) GYM	A	3' - 0"	8' - 0"	WOOD	PAINTED	NA	
02	(N) KITCHEN	B	3' - 0"	8' - 0"	WOOD	PAINTED	NA	
03	(N) KITCHEN	C	3' - 0"	8' - 0"	WOOD	PAINTED	NA	
04	(N) STORAGE	D	2' - 10"	8' - 0"	WOOD	PAINTED	NA	
05	(N) OFFICE	C	3' - 0"	8' - 0"	WOOD	PAINTED	NA	
06	(N) MEETING ROOM	D	3' - 8"	8' - 0"	WOOD	PAINTED	NA	
07	(N) MEETING ROOM	B	3' - 0"	7' - 6"	WOOD	PAINTED	NA	
08	(E) LOUNGE	G	4' - 0"	8' - 0"	WOOD	PAINTED	NA	
09	(E) RESTROOM	E	2' - 10"	7' - 6"	WOOD	PAINTED	NA	

DOOR GENERAL NOTES

1. DIMENSIONS INDICATED ARE OF APPROXIMATE LEAF SIZE OR IN SOME INSTANCES, FINISHED OPENING SIZE.
2. STANDARD DOOR THICKNESS TO BE 1-3/4" UNLESS NOTED OTHERWISE.
3. ALL FIRE-RATED DOORS SHALL HAVE SMOKE-TIGHT GASKETS AND SELF-CLOSING DEVICES.



MTA

MARK THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P: (415) 643-5005 F: (415) 496-3336
WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
ADDENDUM 01	07.12.24

DRAWN BY: TL
SHEET TITLE:

DOOR & WINDOW SCHEDULE

SHEET NUMBER:

A5.1



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

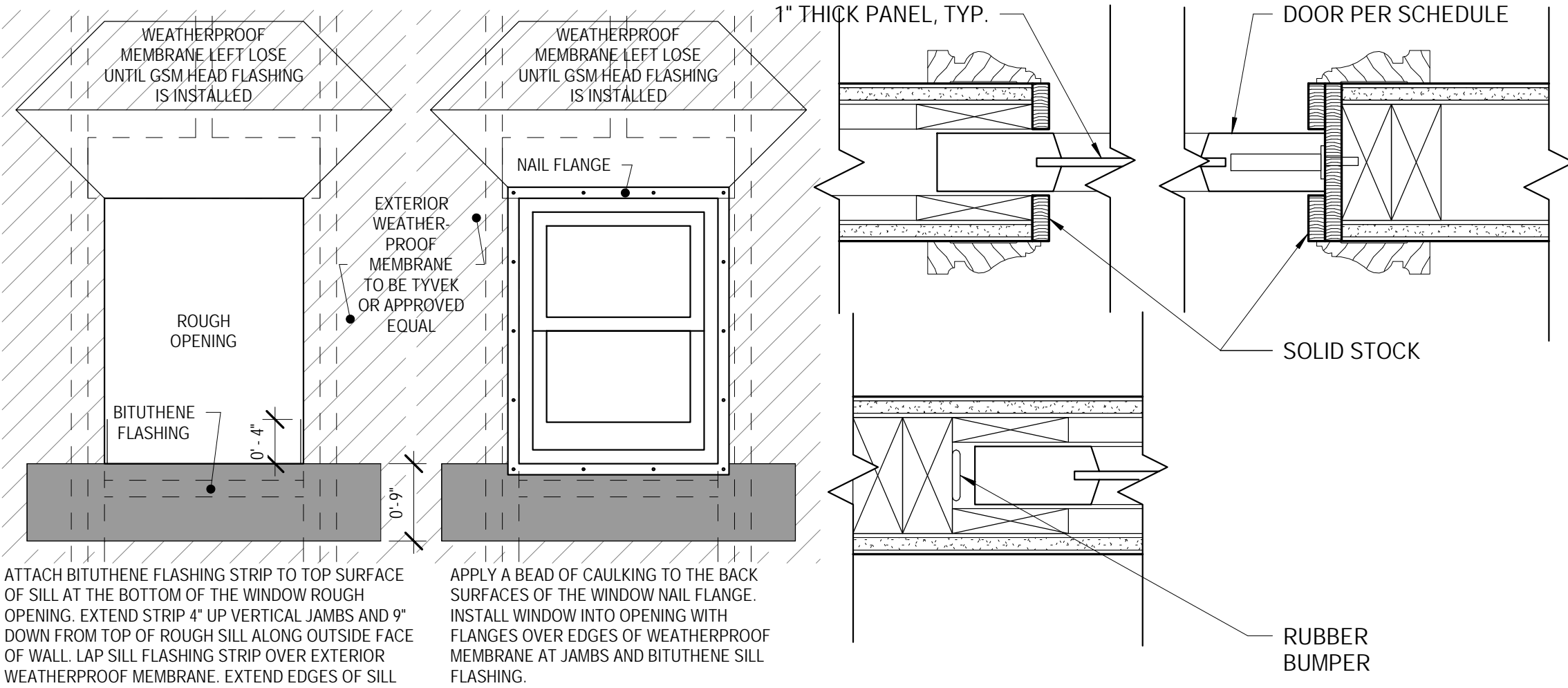
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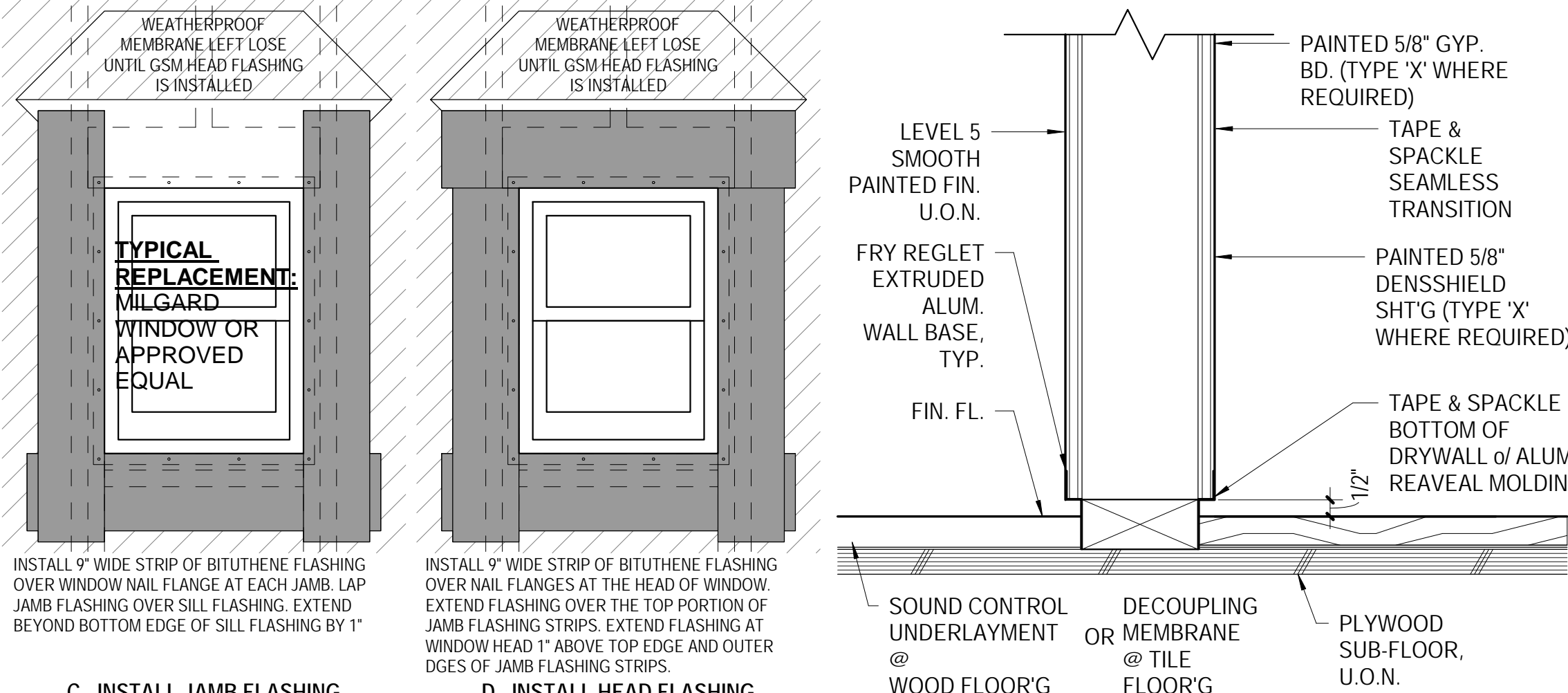
ARCHITECTURAL DETAILS

SHEET NUMBER:

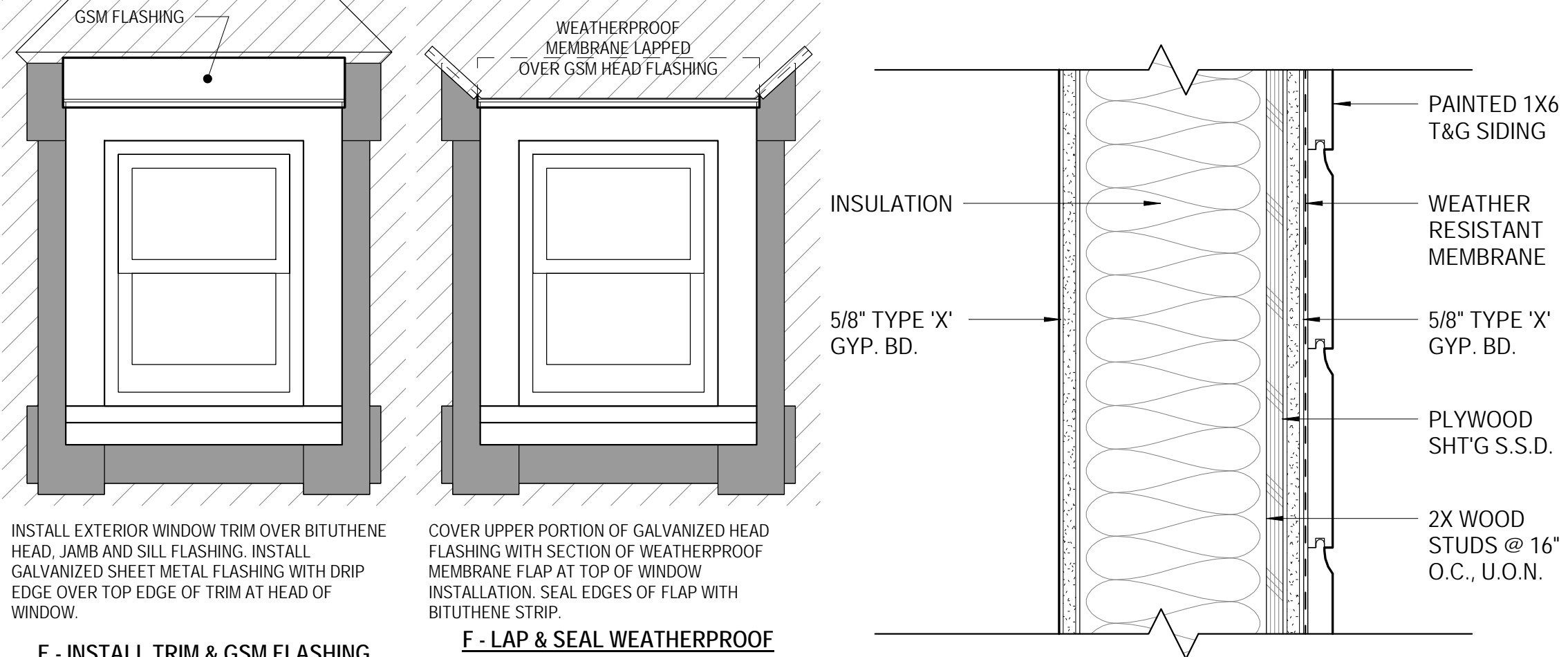
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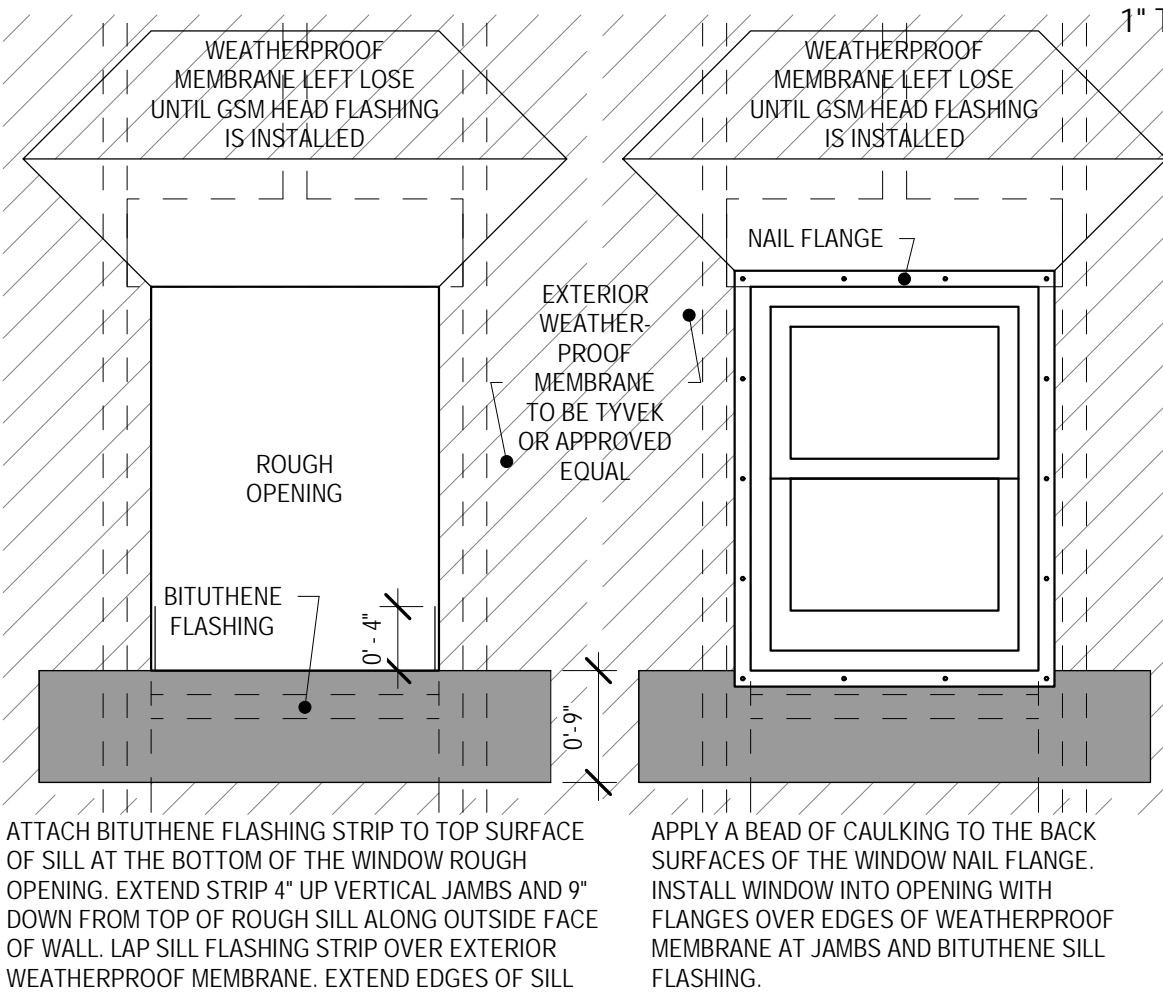
3 TYPICAL POCKET DOOR DETAIL
SCALE: 3" = 1'-0"



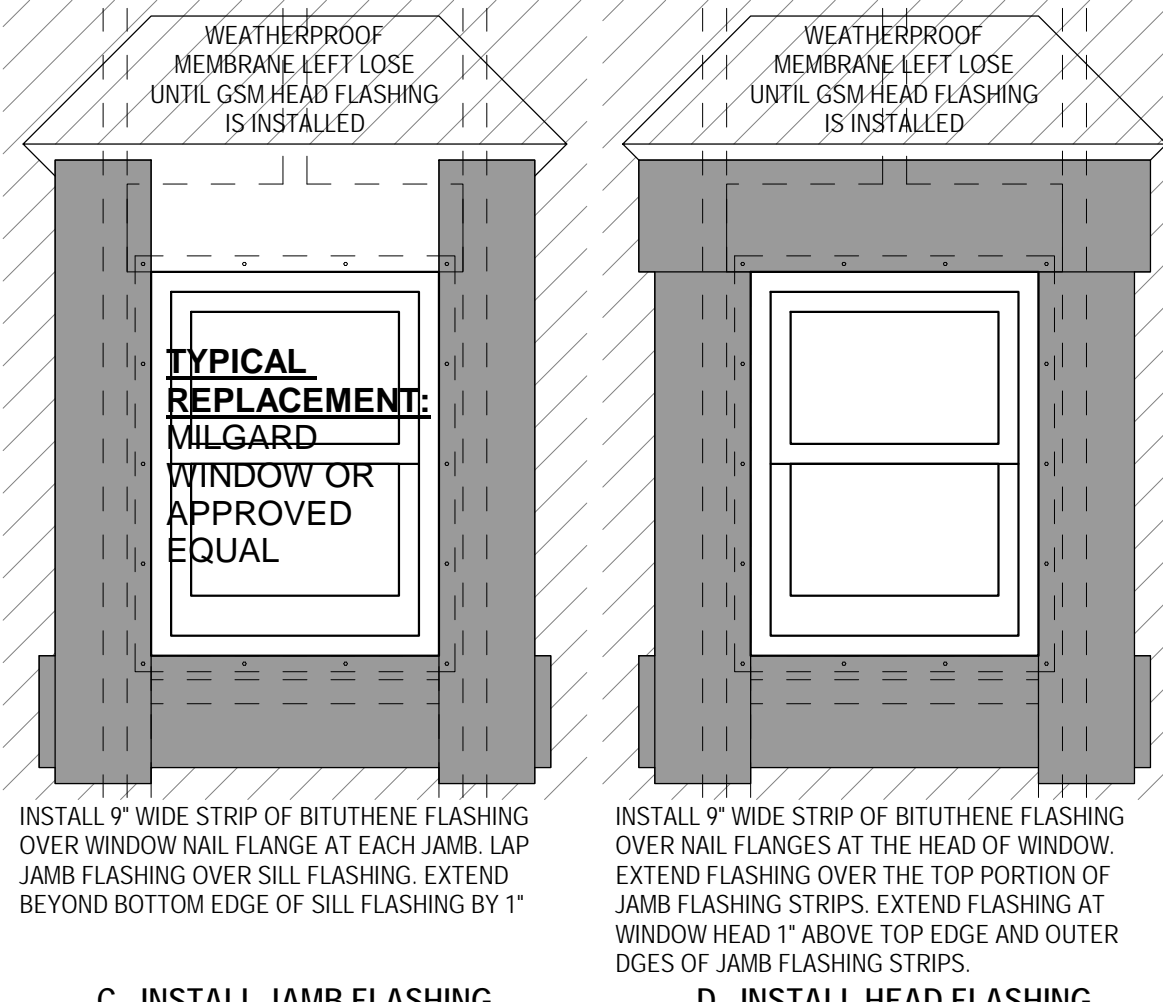
2 TYPICAL INTERIOR PARTITION
SCALE: 3" = 1'-0"



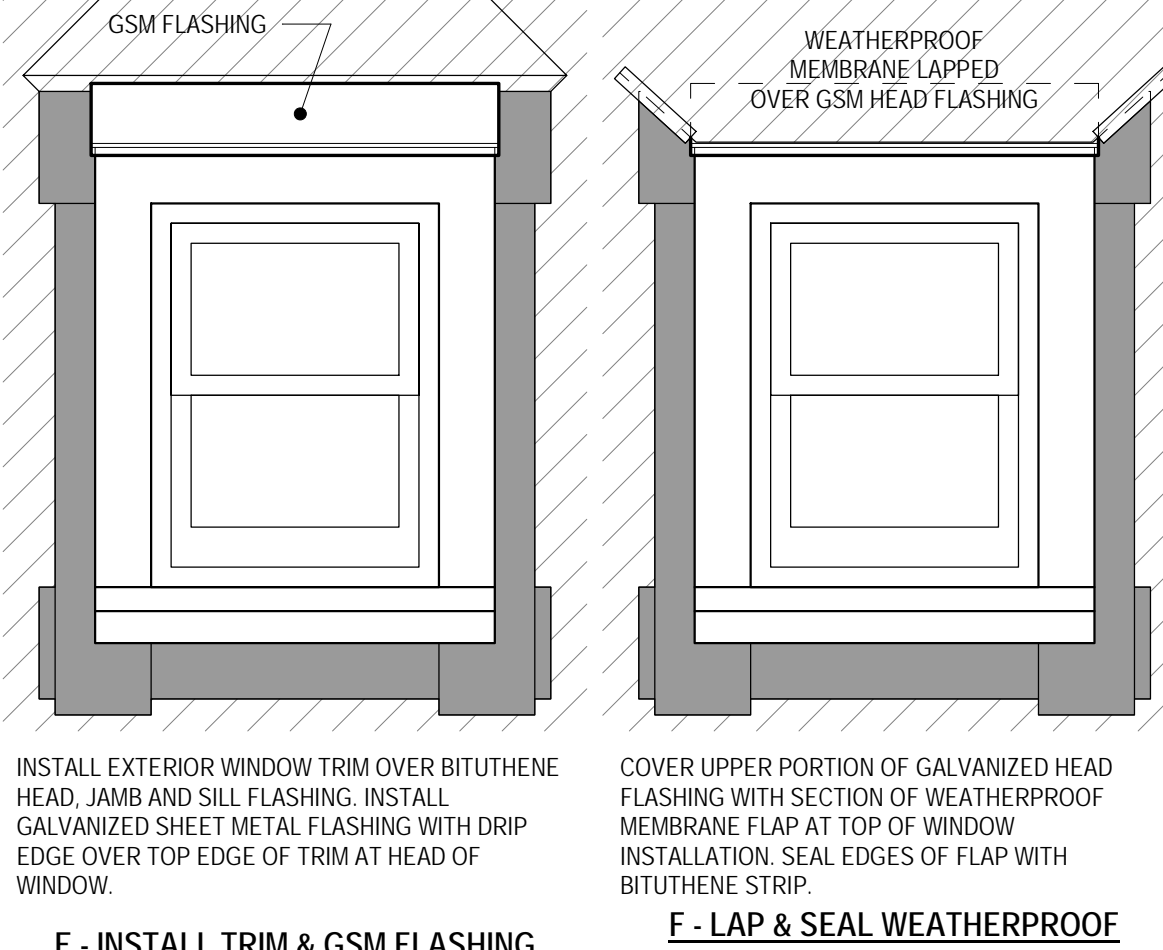
1 WALL - EXTERIOR WALL DETAIL - SIDING
SCALE: 3" = 1'-0"



4 WINDOW - WATERPROOFING, TYP.
SCALE: N.T.S.



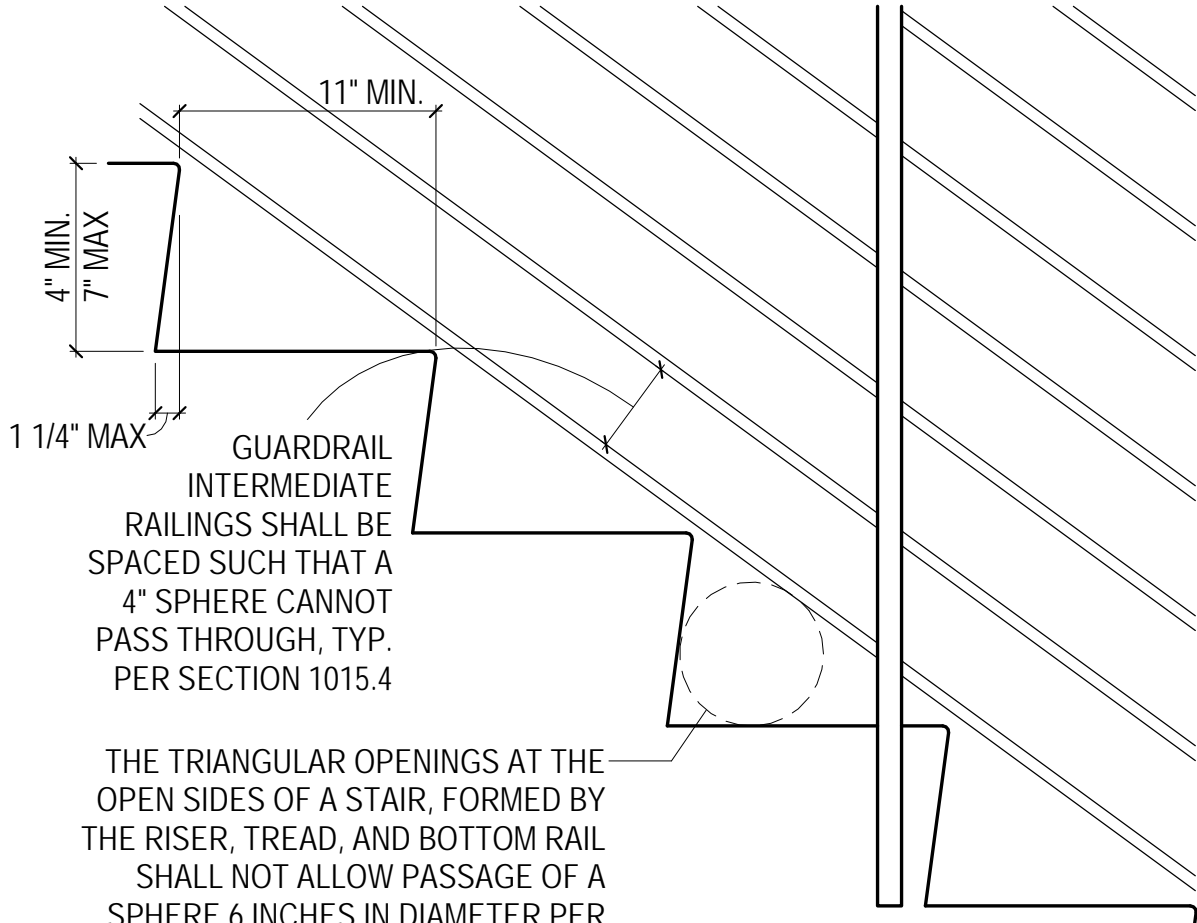
A - INSTALL SILL FLASHING
B - INSTALL WINDOW UNIT



C - INSTALL JAMB FLASHING
D - INSTALL HEAD FLASHING



E - INSTALL TRIM & GSM FLASHING
F - LAP & SEAL WEATHERPROOF MEMBRANE



5 STAIR - HANDRAIL / GUARDRAIL ELEVATION
SCALE: 1 1/2" = 1'-0"

THE TRIANGULAR OPENINGS AT THE OPEN SIDES OF A STAIR, FORMED BY THE RISER, TREAD, AND BOTTOM RAIL SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER PER SECTION 1015.4 - EXCEPTION 2

GUARDRAIL INTERMEDIATE RAILINGS SHALL BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH, TYP. PER SECTION 1015.4

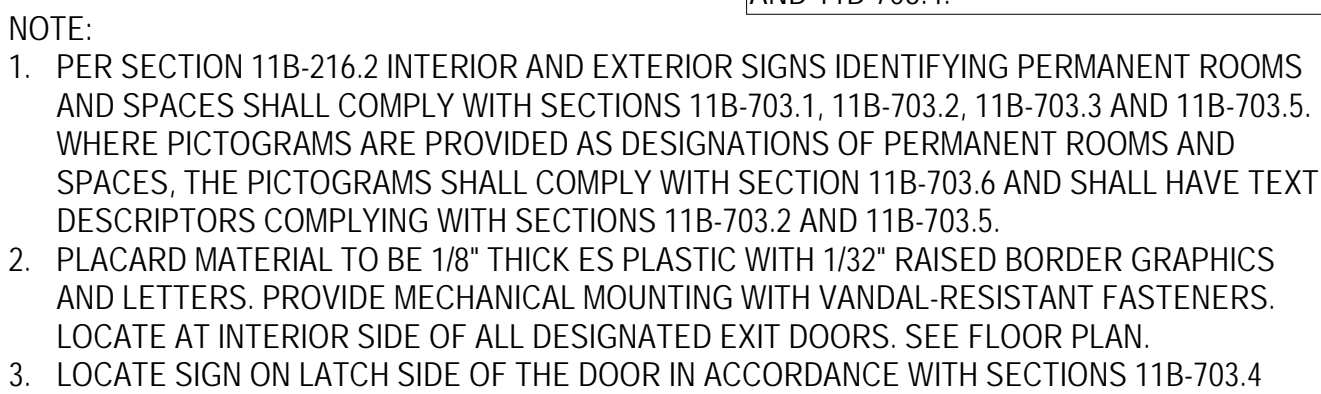
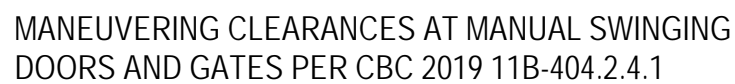


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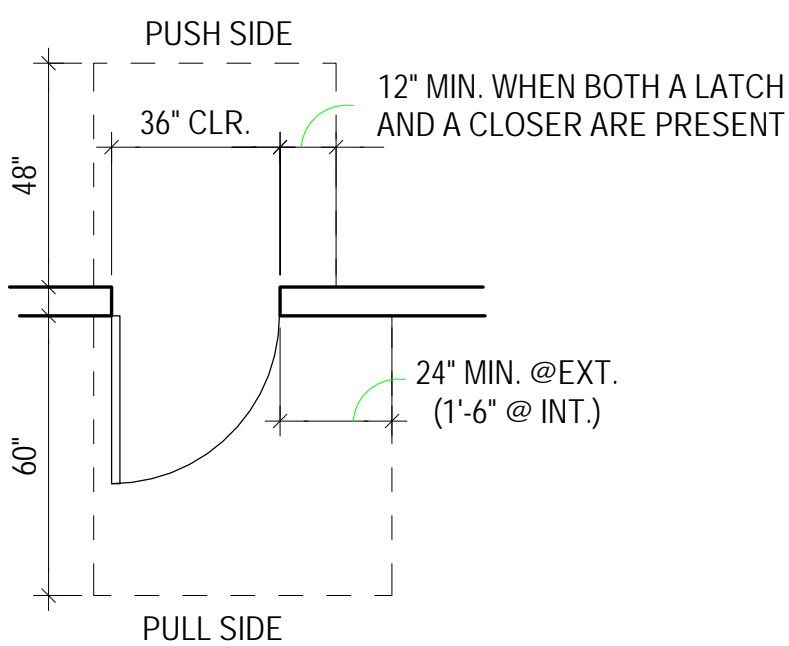
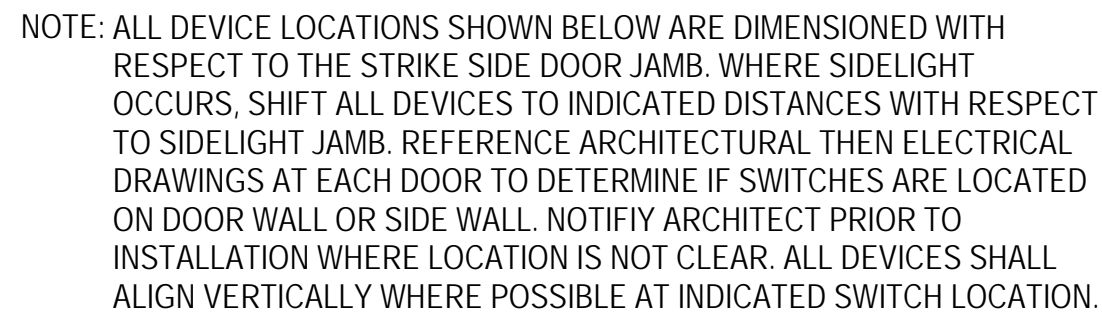
[illegible]

A5.4



2 ACCESSIBLE ROOM
SCALE: 3" = 1'-0"

1. AUTOMATIC DOORS: WHEN AN AUTOMATIC DOORS OPERATOR IS UTILIZED TO OPERATE A PAIR OF DOORS, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
2. FLOOR LEVEL AT DOORS: REGARDLESS OF THE OCCUPANT LOAD, THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR PER 2019 CBC SECTIONS 1010.1.6 AND 11B-404.2.4.4.
3. THRESHOLDS: THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY PER 2019 CBC SECTION 11B-404.2.5 AND SECTION 11B-303.4. CHANGE IN LEVEL BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL. CHANGE IN LEVEL GREATER THAN 1/2 INCH SHALL BE ACCOMPLISHED BY MEANS OF A RAMP.
4. MANUEVERING CLEARANCES AT DOORS: MIN. MANUEVERING CLEARANCES AT DOORS SHALL BE PER CBC 11B-404.2.4. THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR.
5. SWINGING DOORS AND GATES SHALL HAVE MANUEVERING CLEARANCES COMPLYING WITH TABLE 11B-404.2.4.1. DOORWAYS LESS THAN 36 INCHES WIDE WITHOUT DOORS OR GATES, SLIDING DOORS AND FOLDING DOORS SHALL HAVE MANUEVERING CLEARANCES COMPLYING WITH TABLE 11B-404.2.4.2. RECESSED DOORS AND GATES SHALL COMPLY WITH SECTION 11B-404.2.3.
6. THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR THE INTERIOR DOORS.
7. PER CBC SECTIONS 11B-404.2.6 AND 1010.1.8, THE DISTANCE BETWEEN TWO HINGED OR PIVOTED DOORS IN SERIES AND GATES IN SERIES SHALL BE 48 INCHES MINIMUM PLUS THE WIDTH OF DOORS AND GATES SWINGING INTO THE SPACE. DOORS IN A SERIES SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN THE DOORS.
8. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE SHALL BE PER CBC 11B-404.2.9: 5 LBS MAX. AT INTERIOR DOORS, 5 LBS MAX. FOR SLIDING OR FOLDING DOORS, 5 LBS MAX. FOR EXTERIOR HINGED DOORS. AT REQUIRED FIRE DOORS, THE MINIMUM OPENING FORCE SHALL NOT EXCEED 15 LBS. DOORS & GATES EQUIPPED WITH SELF-CLOSING DEVICES SHALL BE PER CBC 11B-404.2.9.
9. HAND OPERATED DOOR HARDWARE SHALL BE CENTERED BETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR PER CBC 11B-404.2.7. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND WHICH ARE IN THE PATH OF TRAVEL SHALL BE OPERABLE WITH ONE HAND BY LEVER TYPE HARDWARE, PANIC BAR, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 LBS. MAX. PER CBC 11B-309.4.
10. SMOOTH SURFACE: PER CBC 11B-404.2.10 THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENING BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
11. ALL EXIT DOORS TO SWING IN THE DIRECTION OF TRAVEL AND BE OPERABLE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE
12. REGARDLESS OF THE OCCUPANT LOAD SERVED, EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

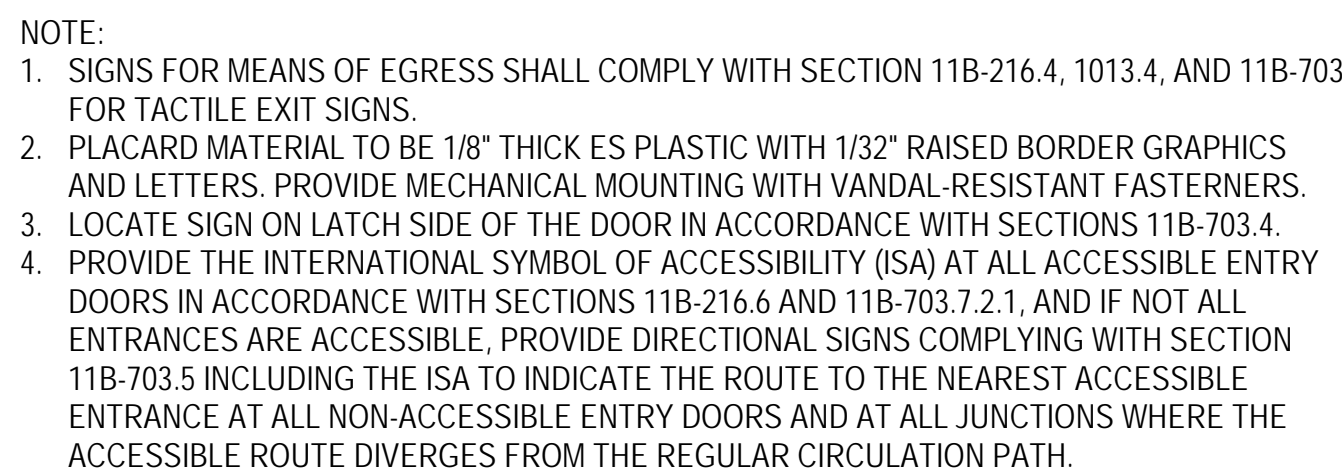


DOOR OPERATION
 * TYPE OF HARDWARE: (PUSH/PULL/LEVER)
 * MAX. EFFORT FOR EXT. DOORS = 5 LBS.
 * MAX. EFFORT FOR INT. DOORS= 5 LBS.
 * REQUIRED FIRE DOORS, MAX EFFORT = 15

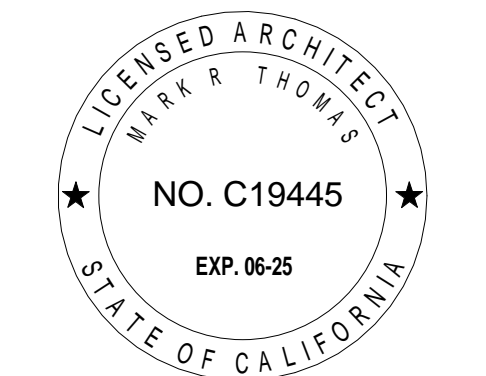
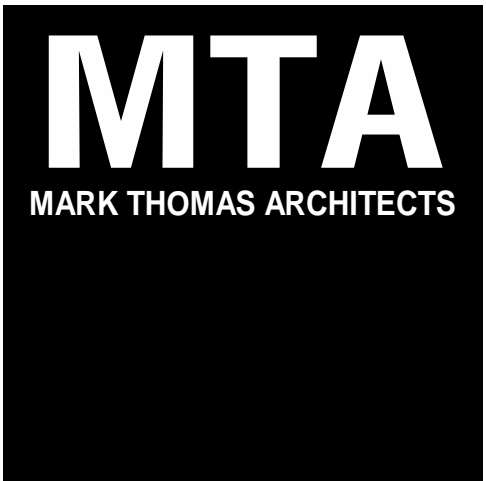
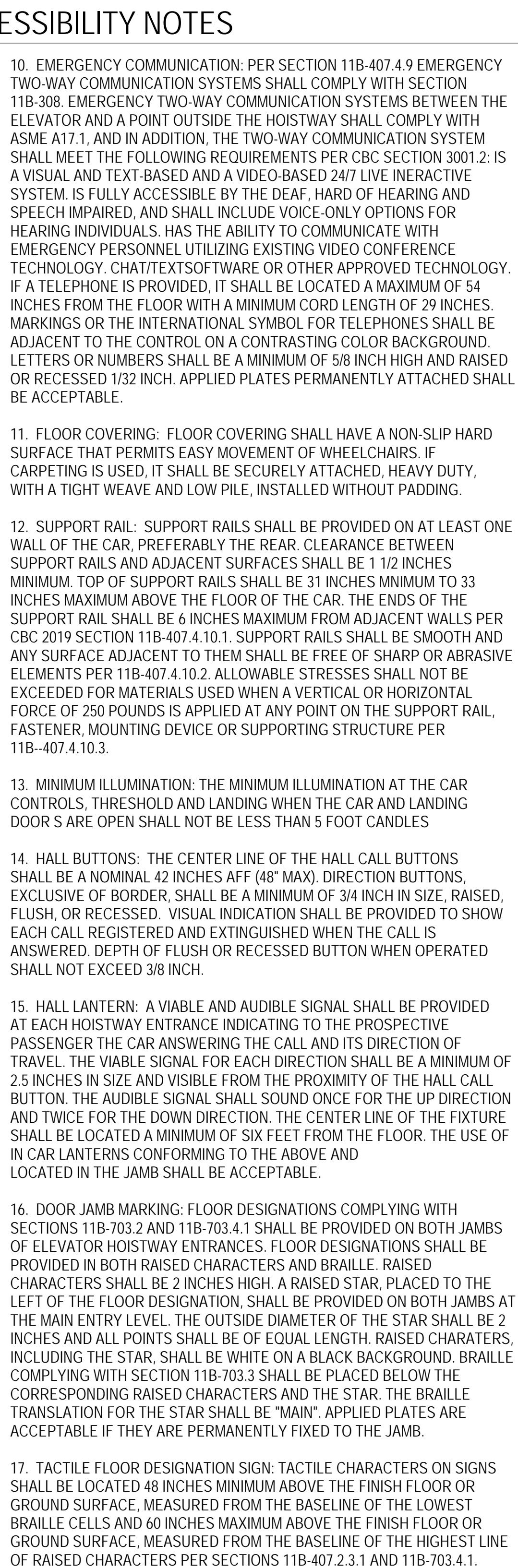
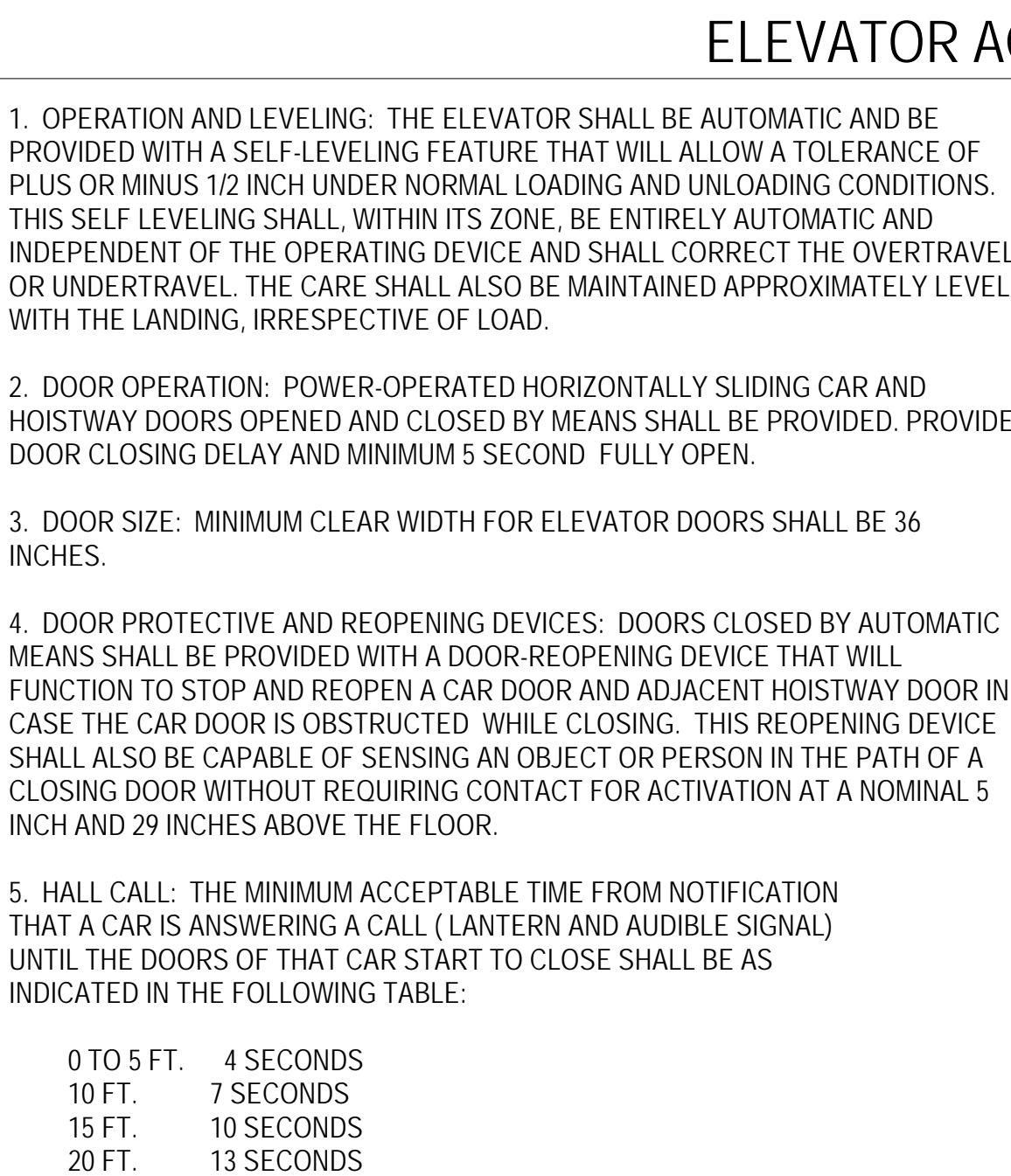
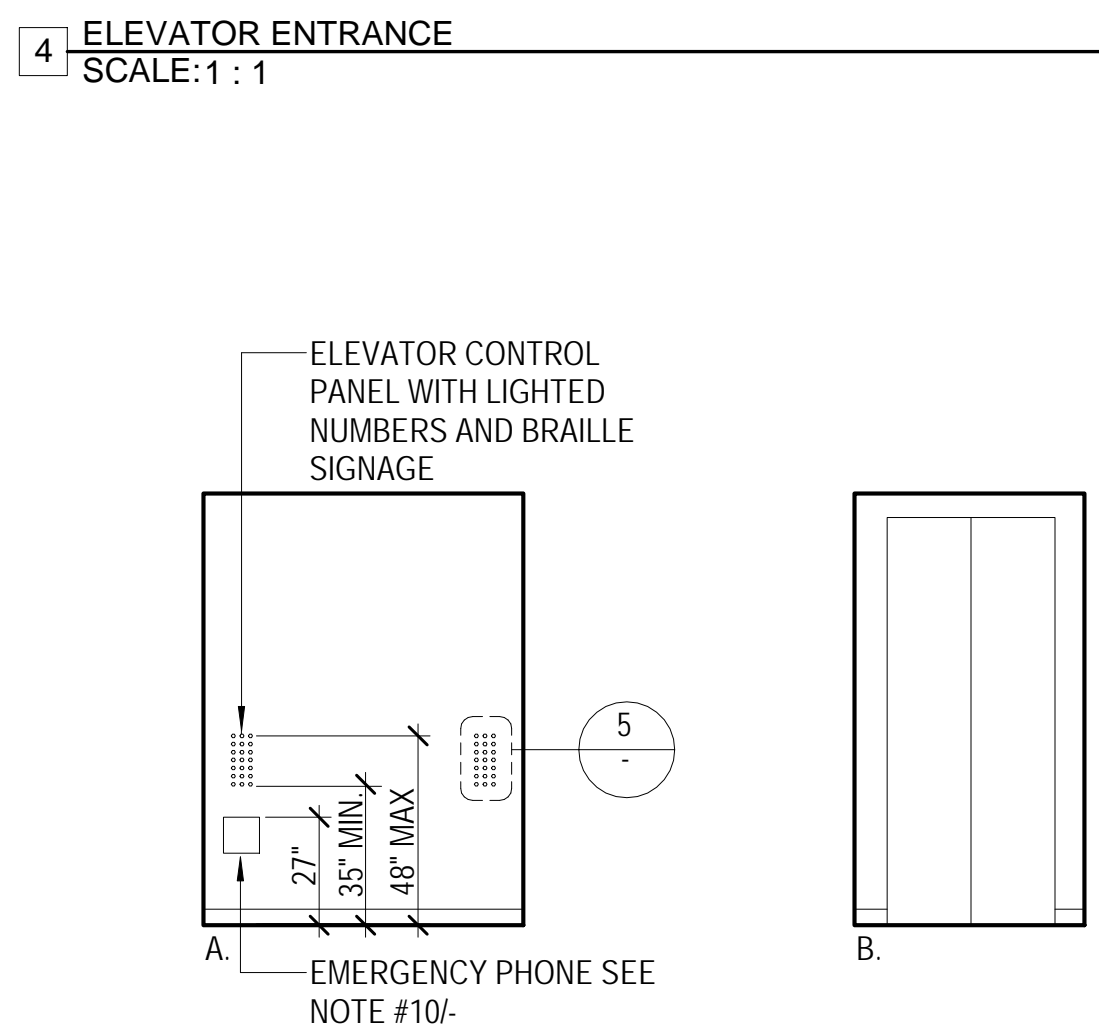
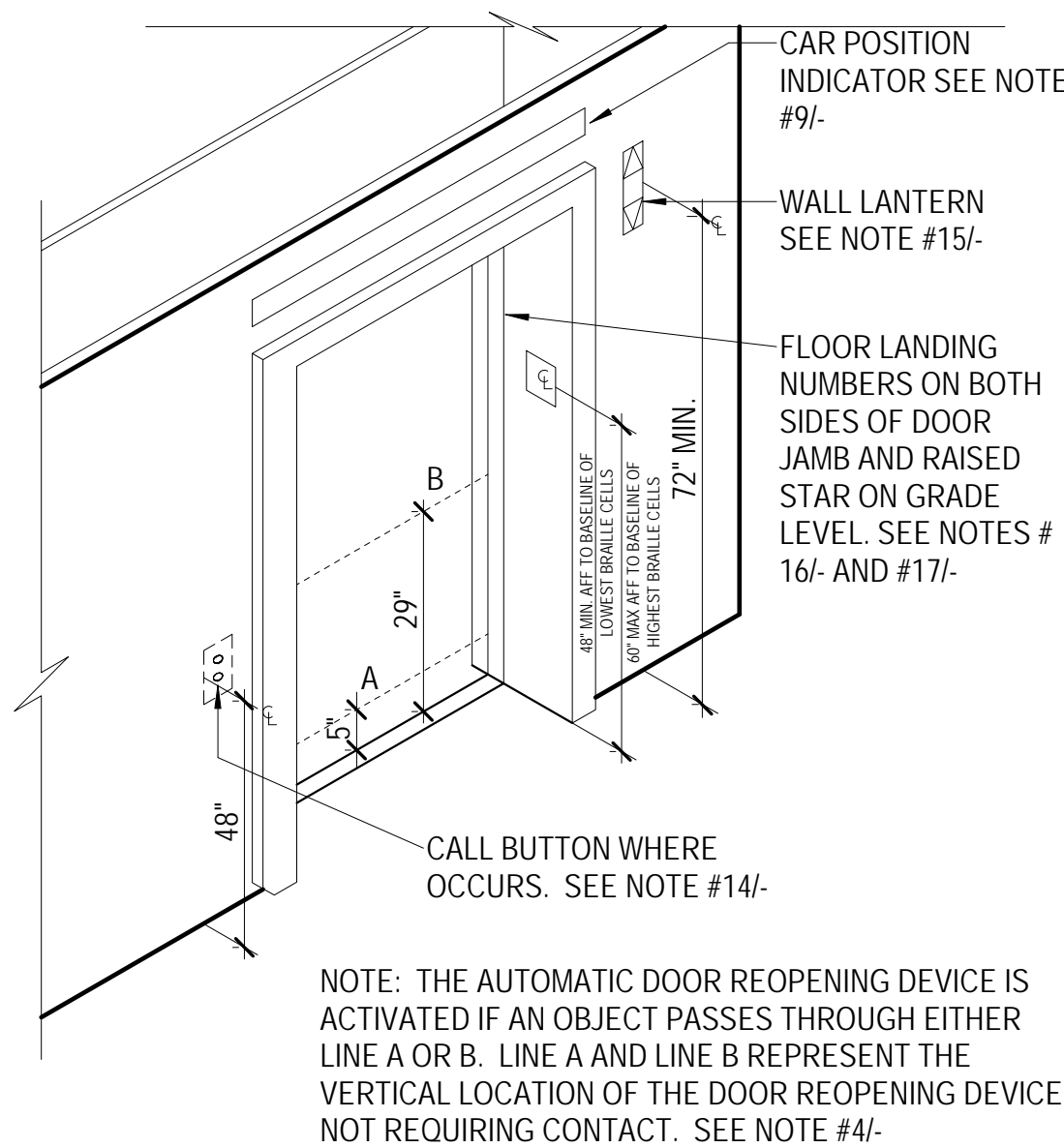
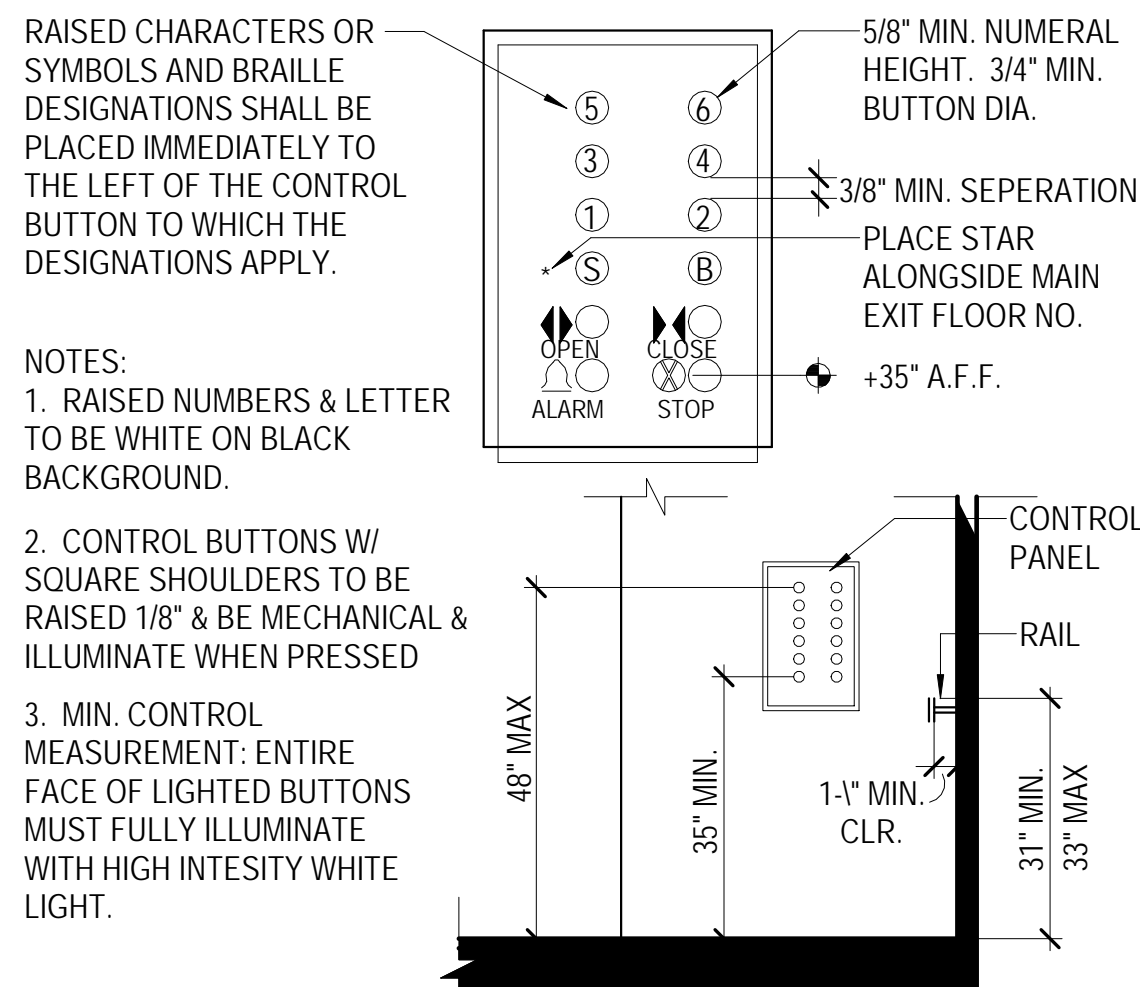
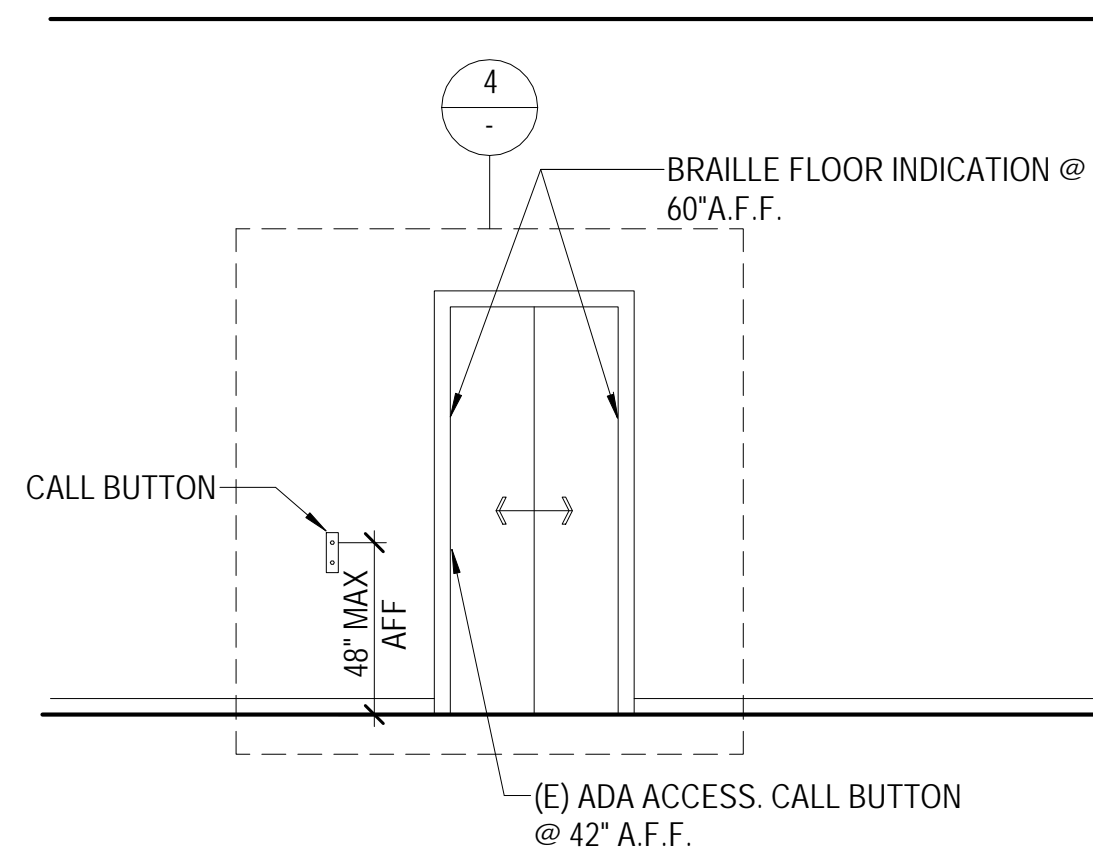
HARDWARE HEIGHT
4" MIN. - 44" MAX.

FLOOR TRANSITION
* 1/2" MAX. THRESHOLD
* 1/4" FT. MAX. SLOPE

EXTERIOR



SCALE: 3" = 1'-0"



DOLPHIN CLUB

ALTERATIONS & ADDITION

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STREET
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94100
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ADDENDUM 01	07.12.24

DRAWN BY:	TL
SHEET TITLE:	

ELEVATOR DETAILS

SHEET NUMBER:

A5.5

DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

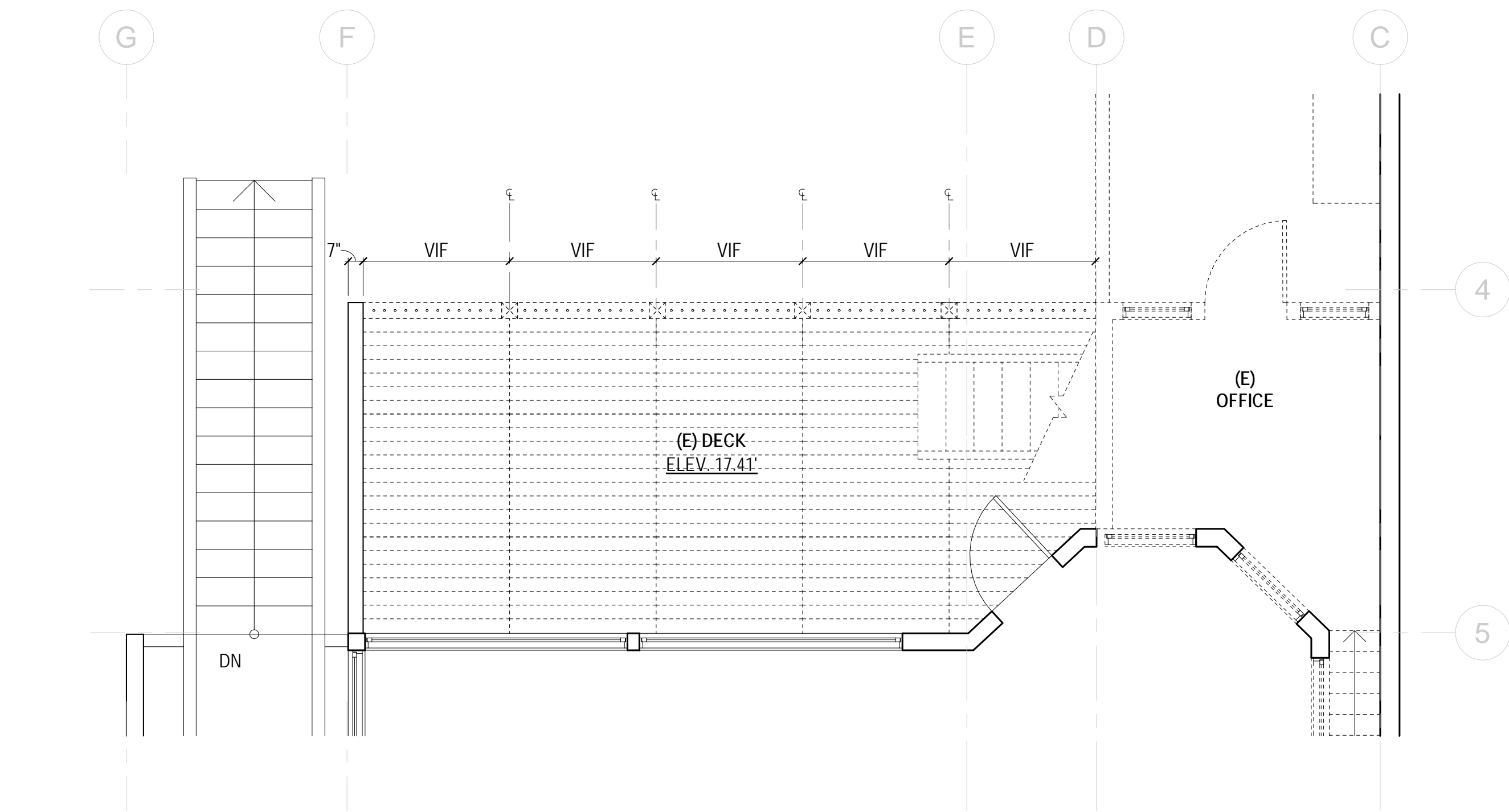
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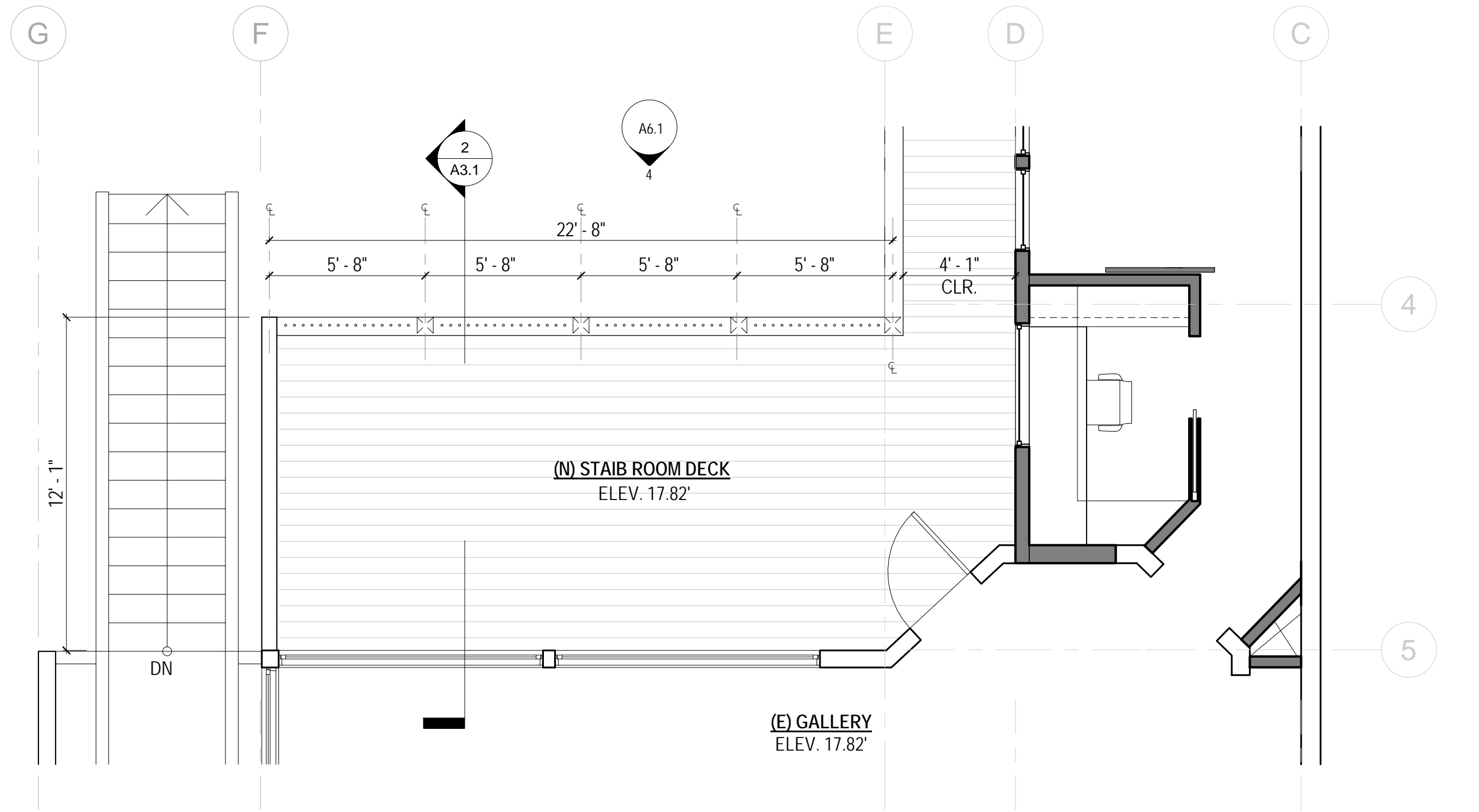
GUARDRAIL
LAYOUT &
DETAILS

SHEET NUMBER:

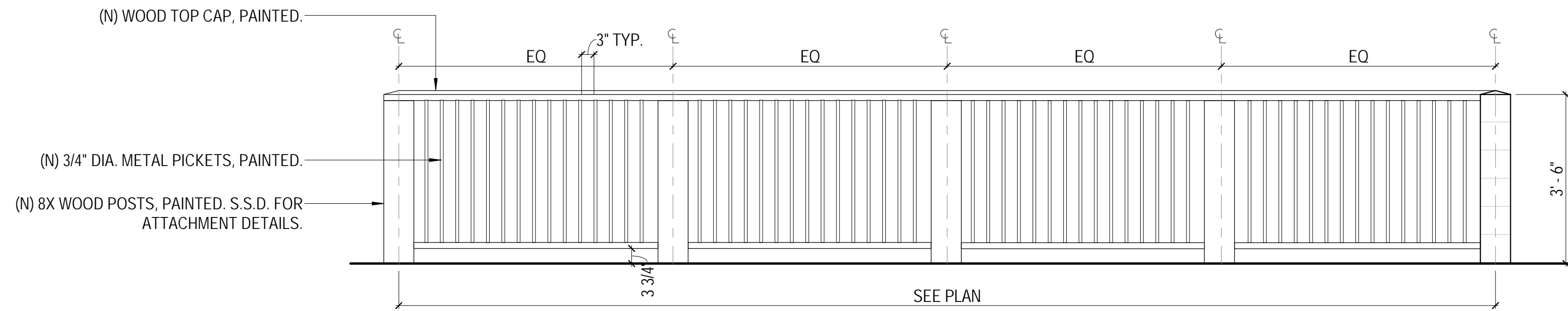
A6.1



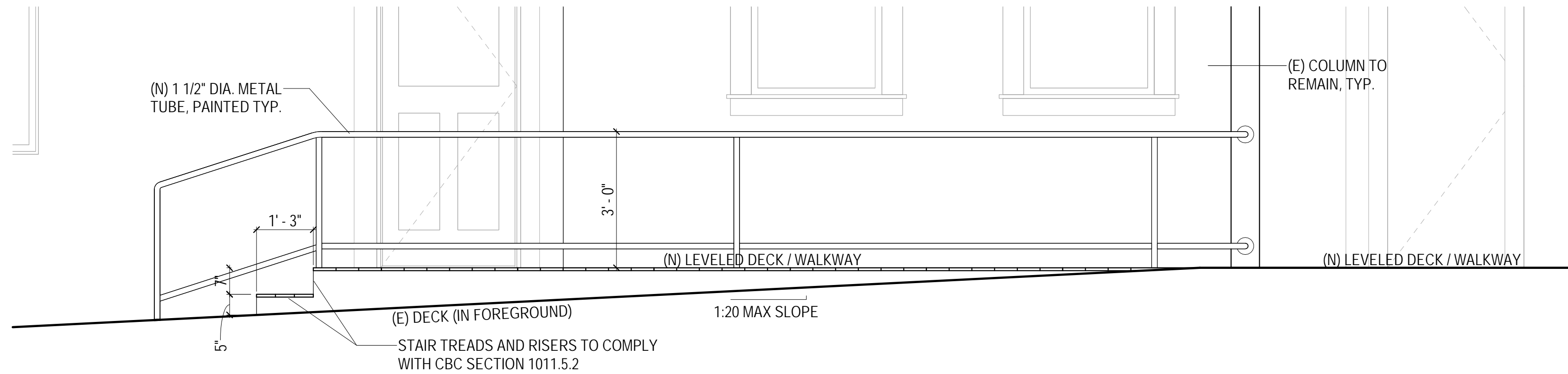
1 FLOOR 02 - PARTIAL EXISTING / DEMOLITION FLOOR PLAN - STAIB DECK
SCALE: 1/4" = 1'-0"



3 FLOOR 02 - PARTIAL PROPOSED FLOOR PLAN - STAIB DECK
SCALE: 1/4" = 1'-0"



4 NEW STAIB ROOM DECK - NORTH GUARDRAIL ELEVATION
SCALE: 1/2" = 1'-0"



2 METAL TUBE HANDRAIL ELEVATION
SCALE: 1/2" = 1'-0"

DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
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94100
BLOCK: 0405 LOT: 004

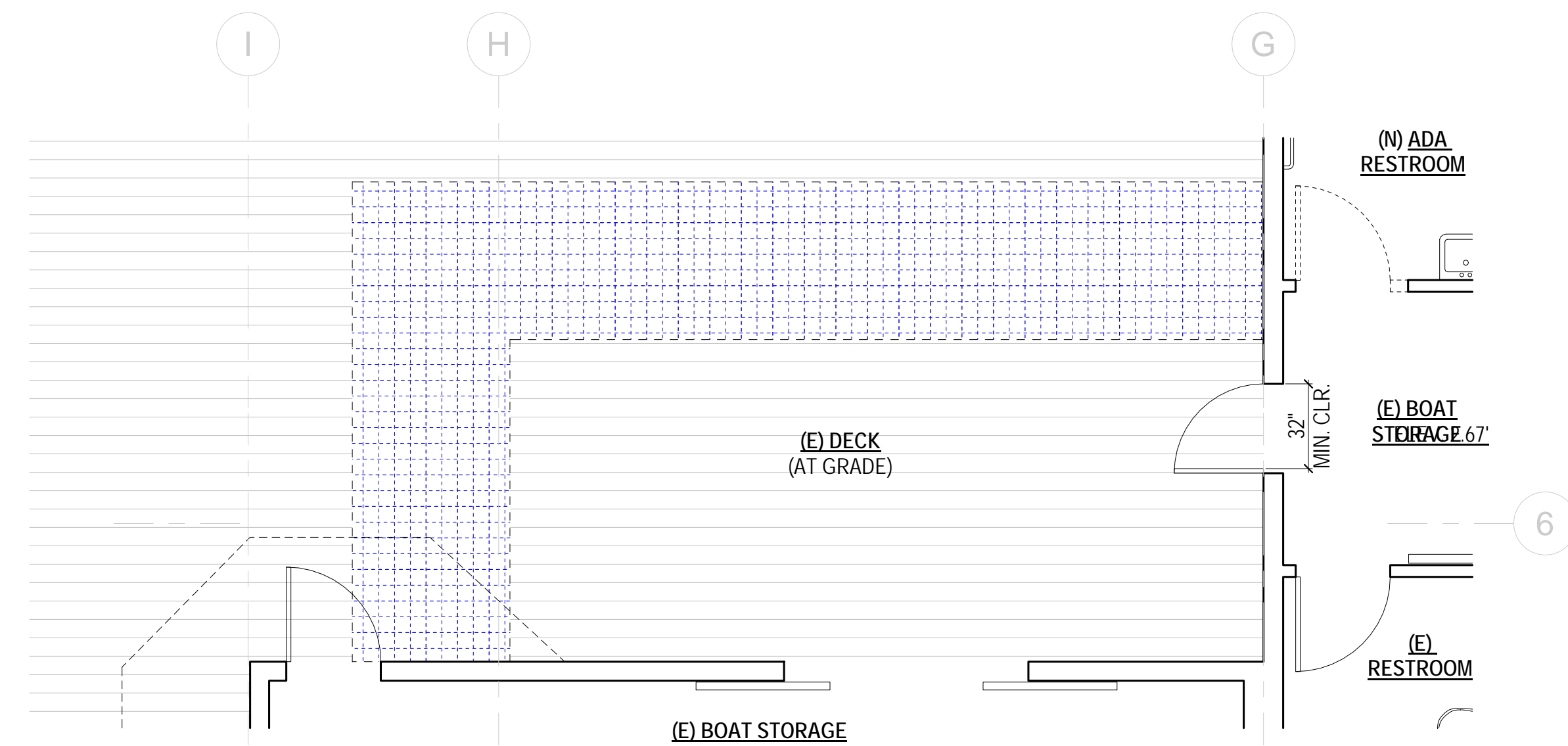
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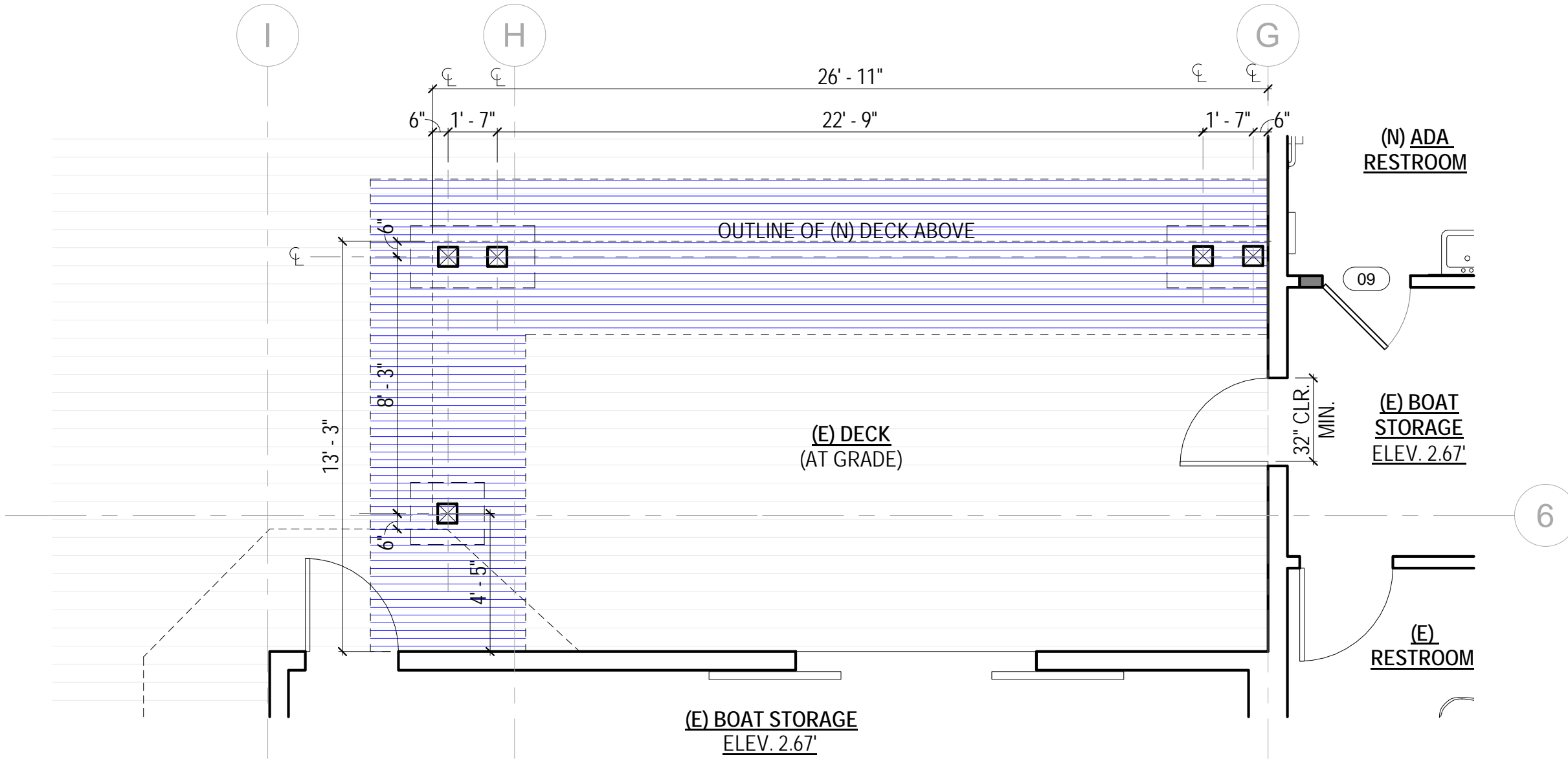
GUARDRAIL
LAYOUT &
DETAILS

SHEET NUMBER:

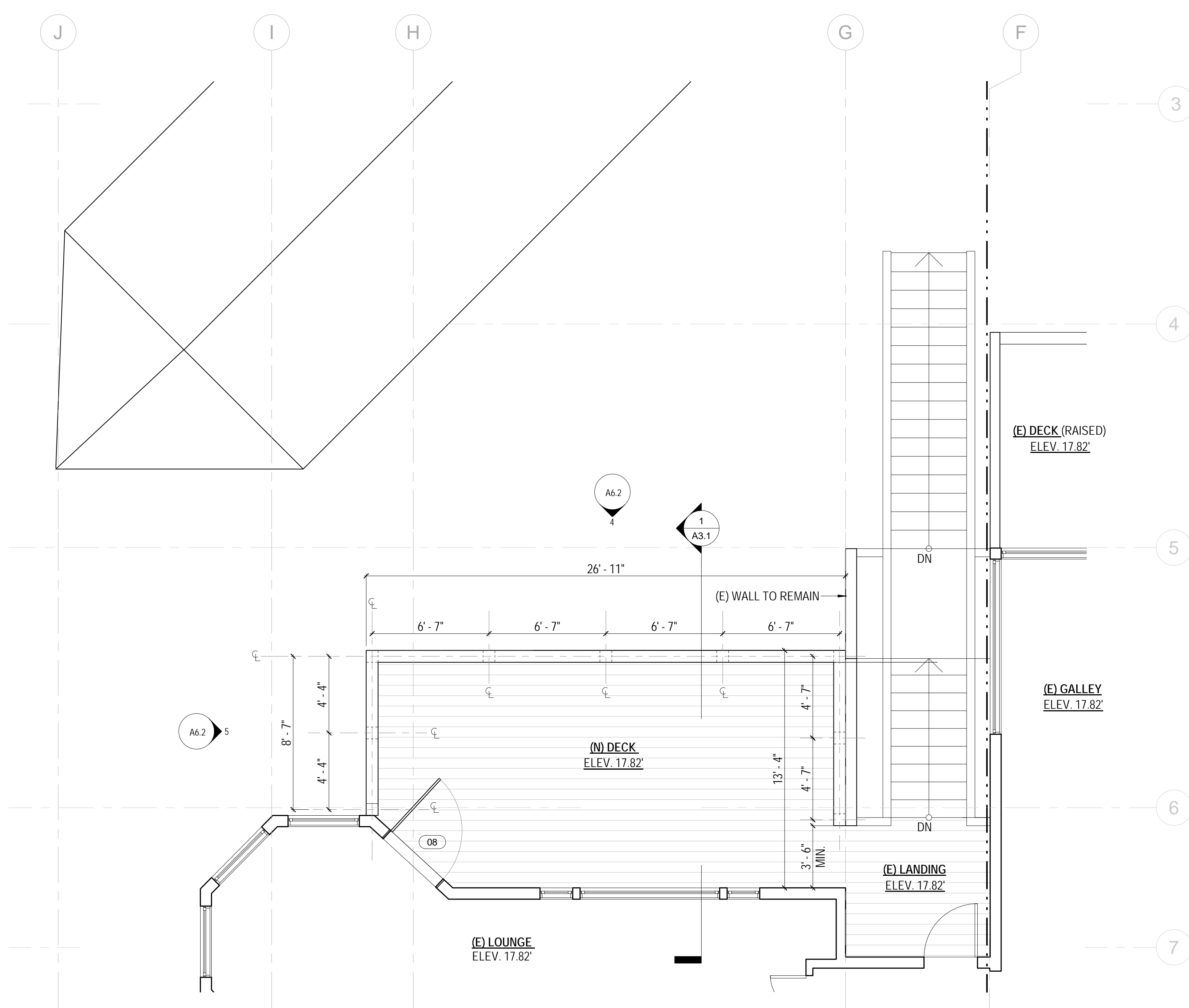
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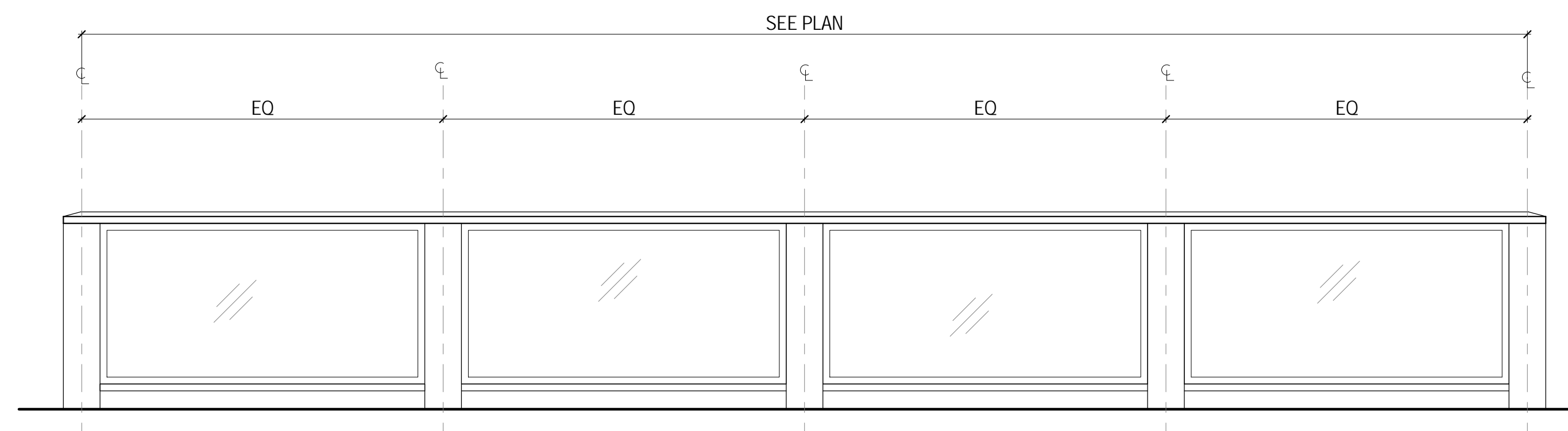
1 FLOOR 01 - PARTIAL EXISTING/DEMOLITION PLAN - NEW SANCIMINO DECK
SCALE: 1/4" = 1'-0"



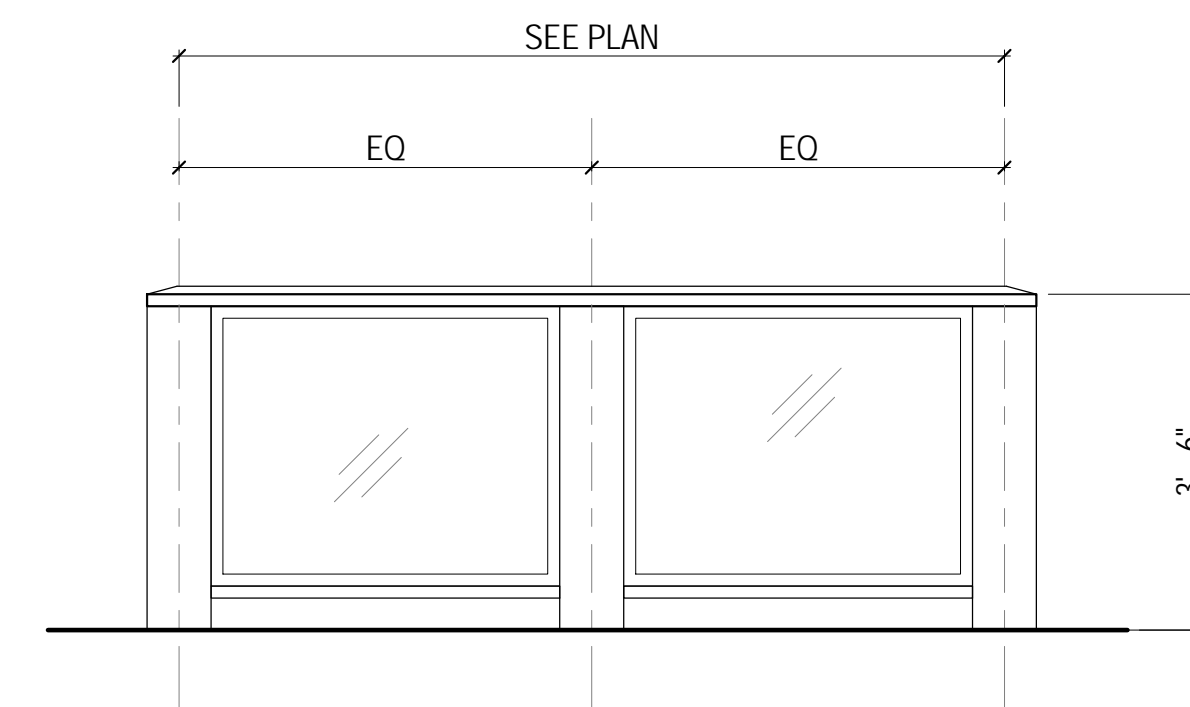
2 FLOOR 01 - PARTIAL PROPOSED FLOOR PLAN - NEW SANCIMINO DECK
SCALE: 1/4" = 1'-0"



3 FLOOR 02 - PARTIAL PROPOSED FLOOR PLAN - NEW SANCIMINO DECK
SCALE: 1/4" = 1'-0"



4 NEW SANCIMINO ROOM DECK - NORTH GUARDRAIL ELEVATION
SCALE: 1/2" = 1'-0"



5 NEW SANCIMINO ROOM DECK - WEST GUARDRAIL ELEVATION
SCALE: 1/2" = 1'-0"

DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

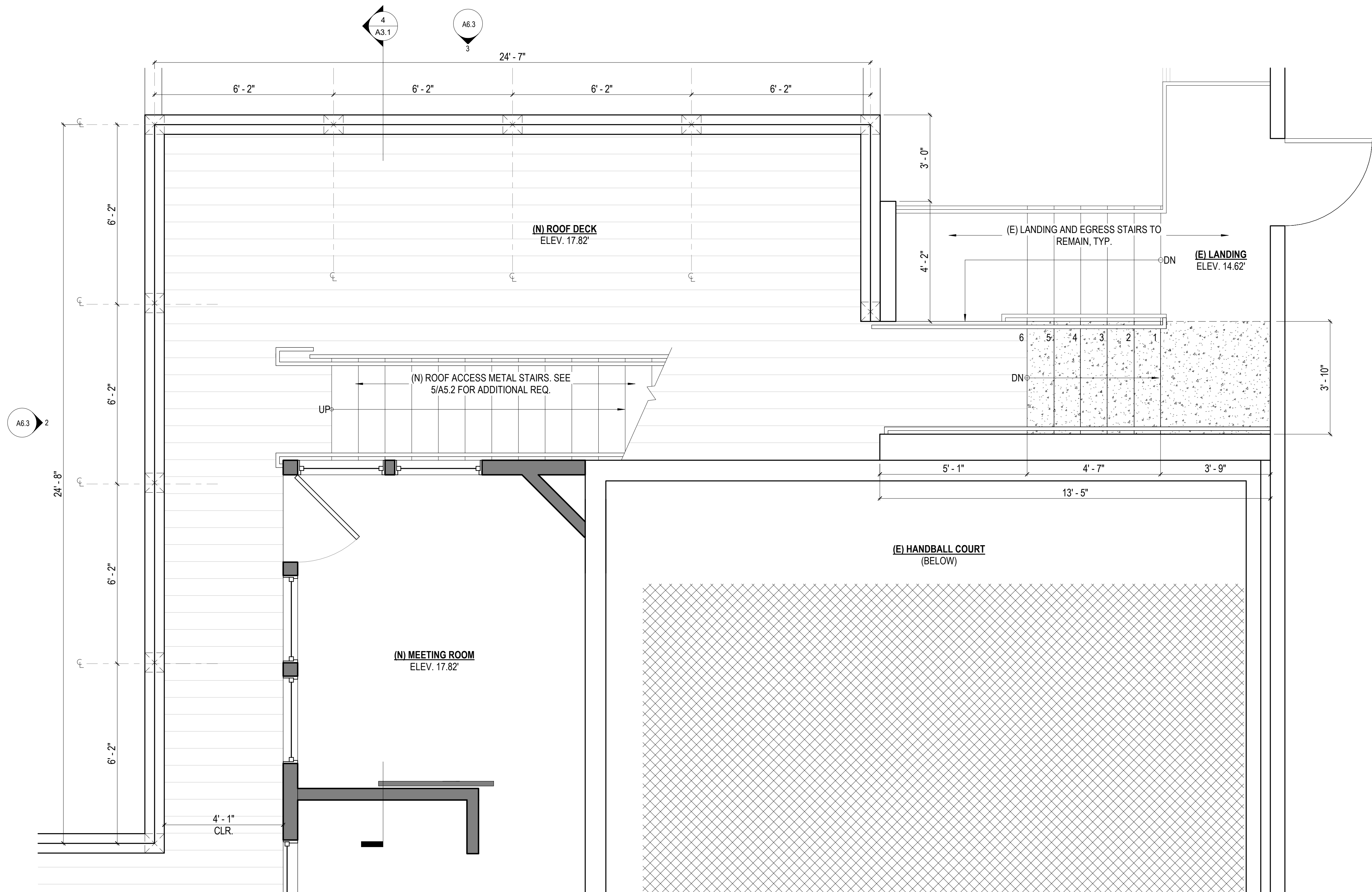
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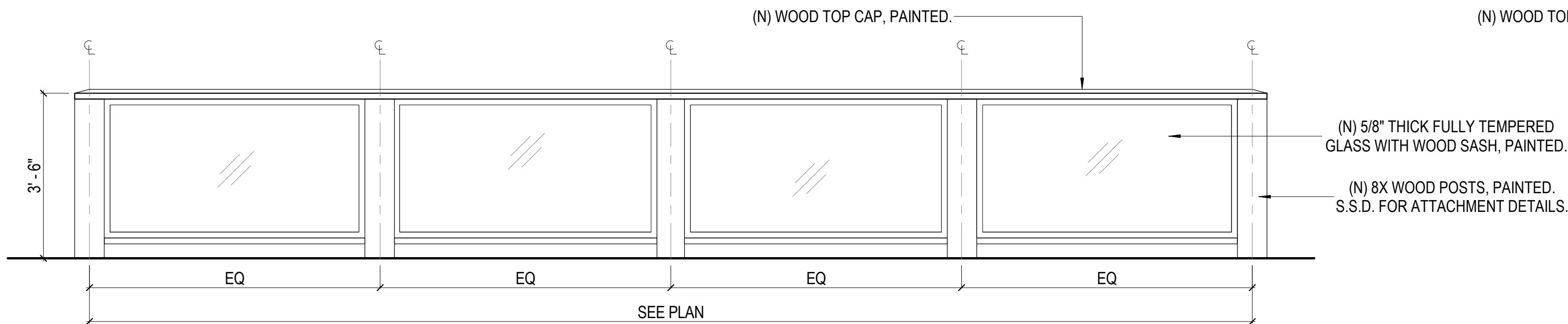
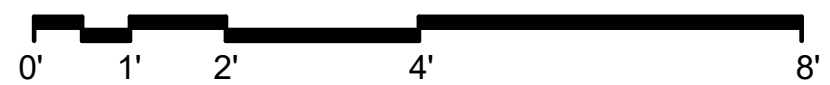
GUARDRAIL LAYOUT & DETAILS

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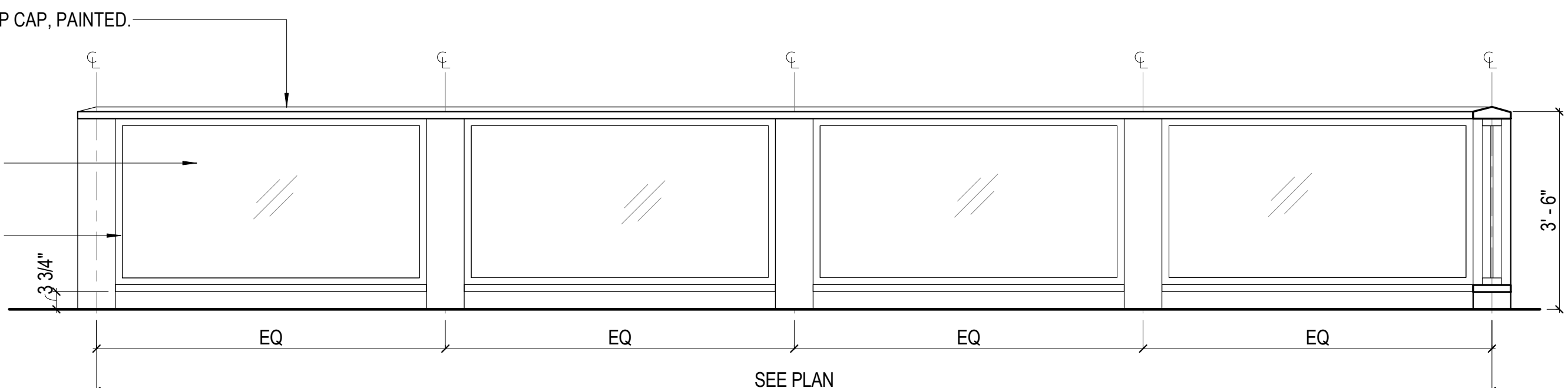
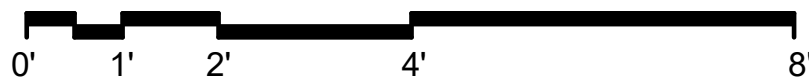
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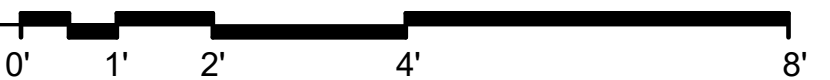
1 FLOOR 02 - PARTIAL PROPOSED FLOOR PLAN - NEW ROOF DECK
SCALE: 1/2" = 1'-0"



3 NEW ROOF DECK - NORTH GUARDRAIL ELEVATION
SCALE: 1/2" = 1'-0"



2 NEW ROOF DECK - WEST GUARDRAIL ELEVATION
SCALE: 1/2" = 1'-0"



- NEW WALL
- DEMOLISHED WALL
- EXISTING WALL
- NEW 1-HOUR RATED WALL

DOLPHIN CLUB

ALTERATIONS & ADDITION

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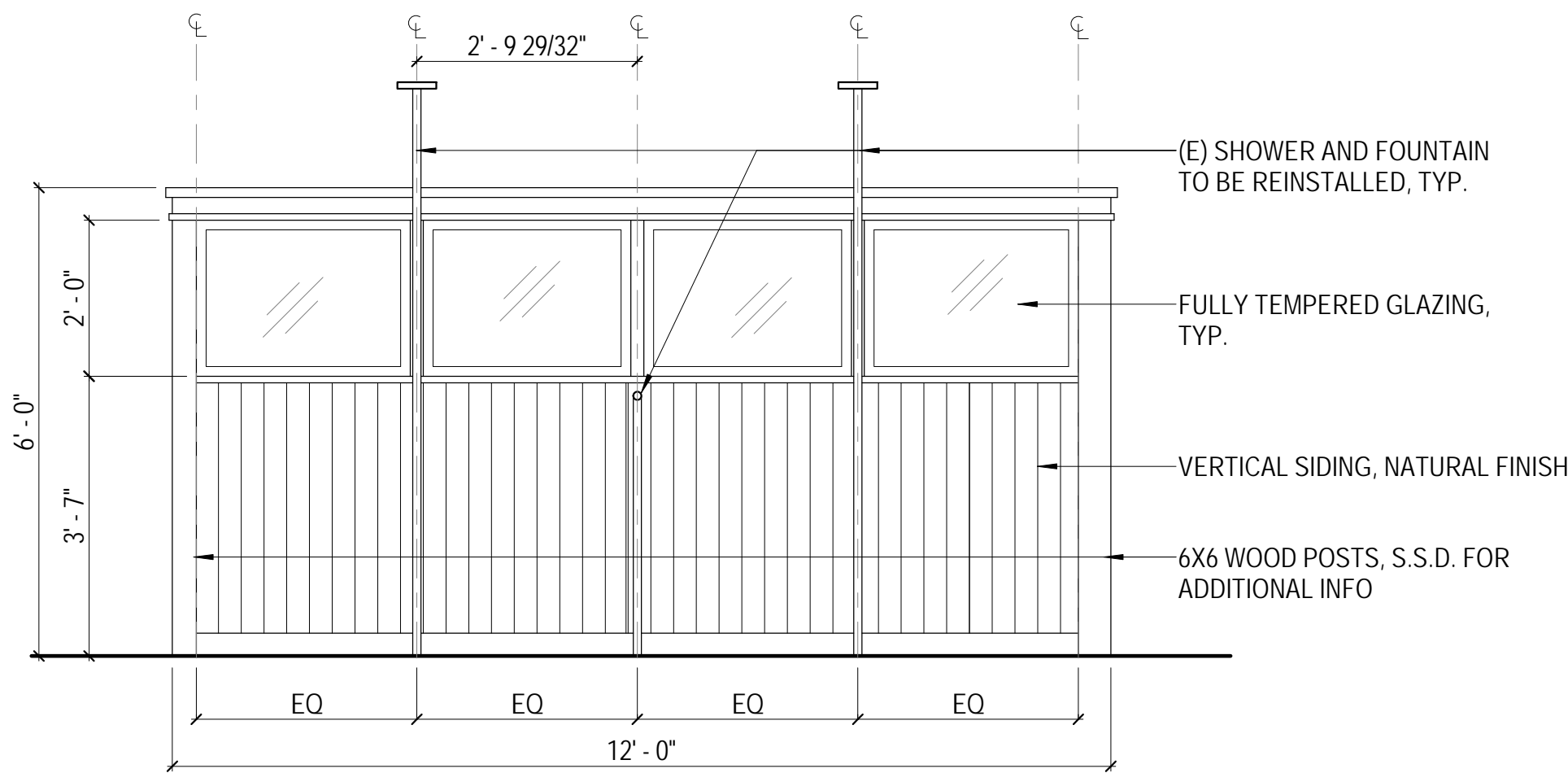
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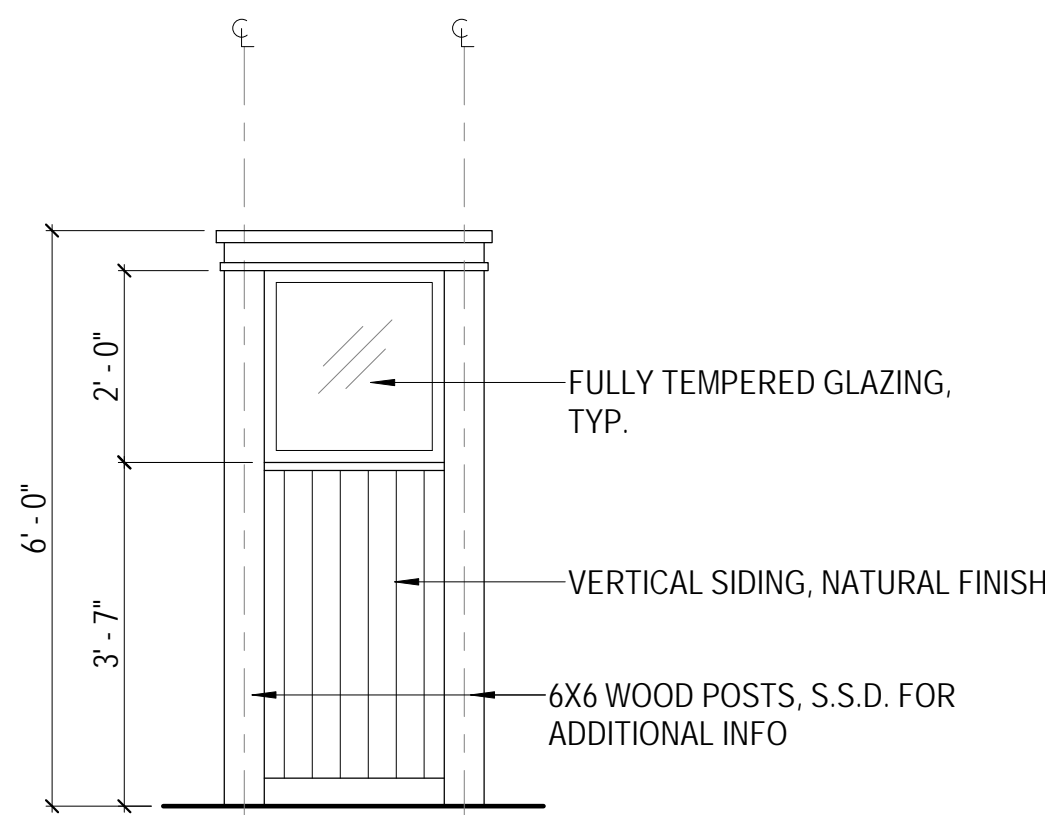
WINDSCREEN LAYOUT & ELEVATIONS

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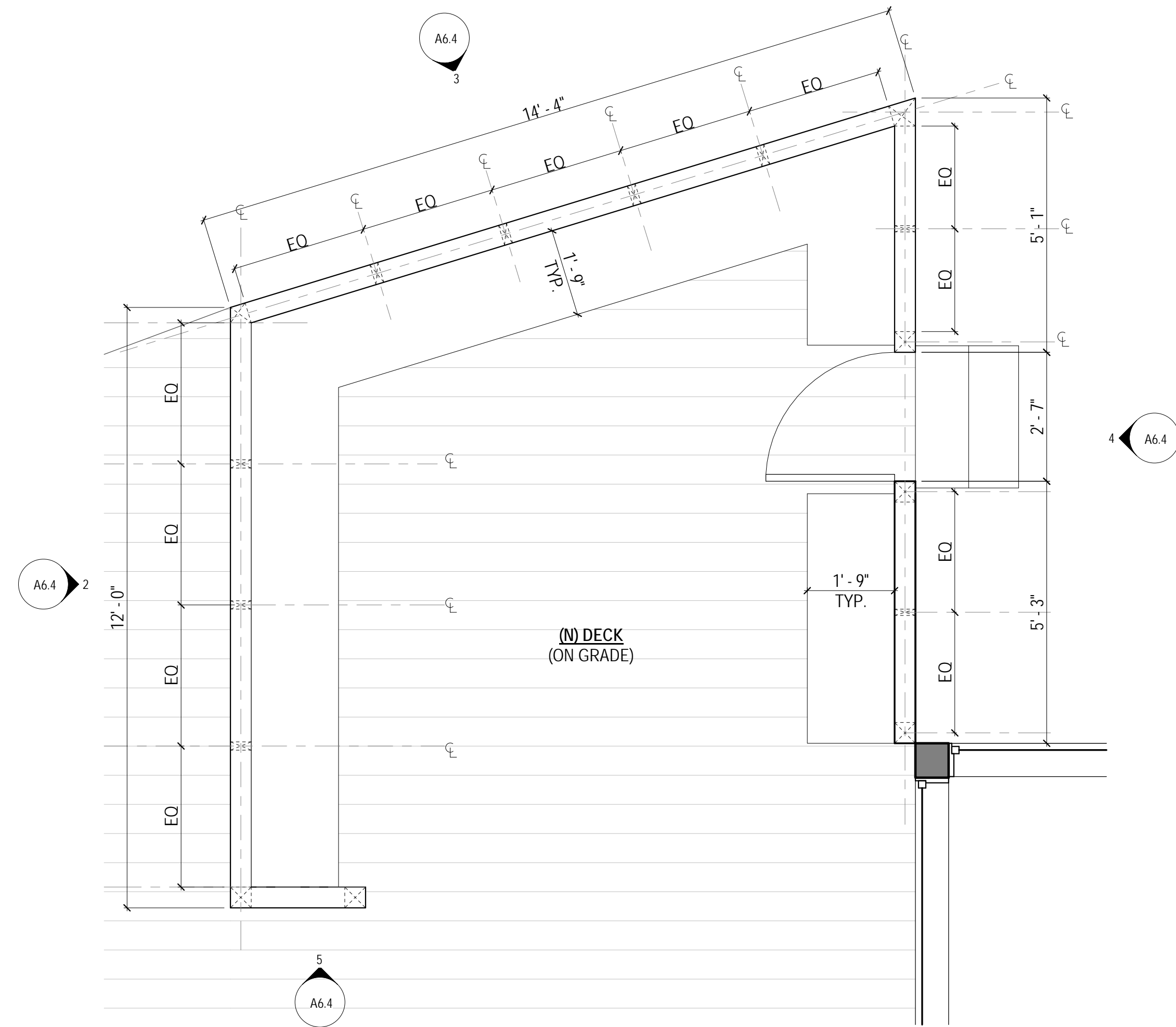
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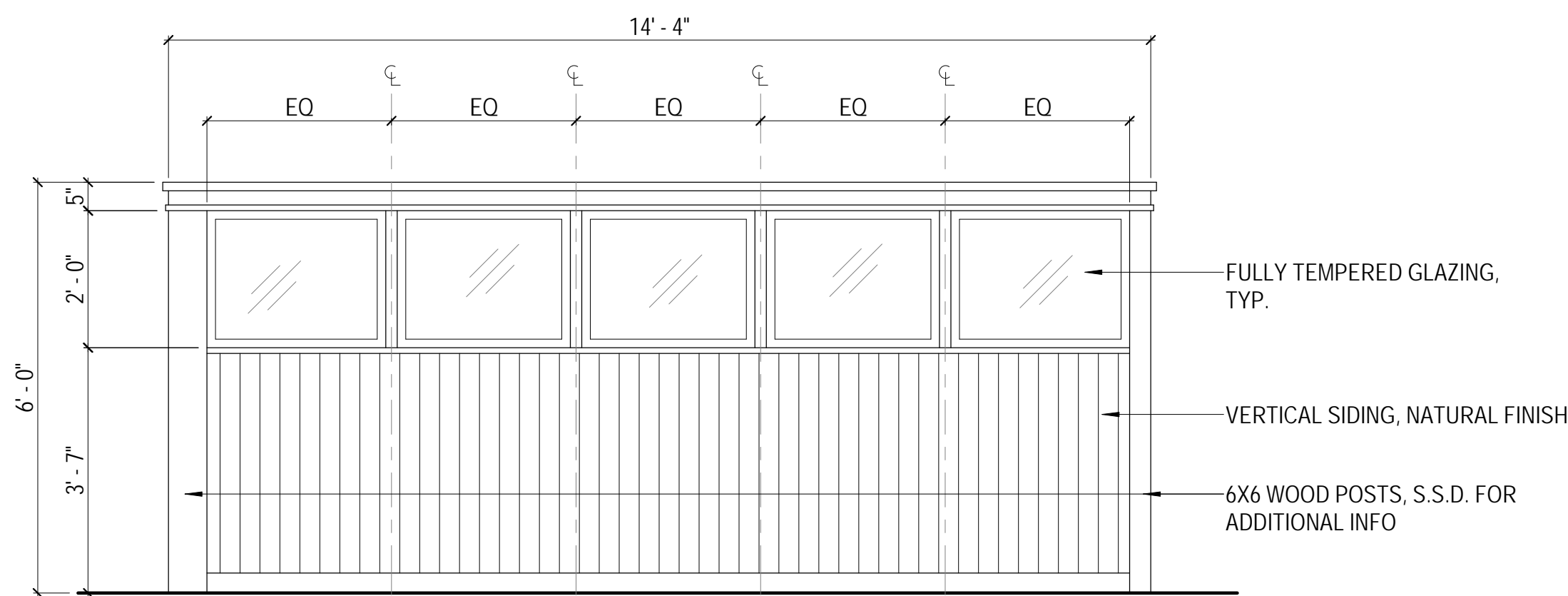
2 WINDSCREEN - WEST ELEVATION
SCALE: 1/2" = 1'-0"



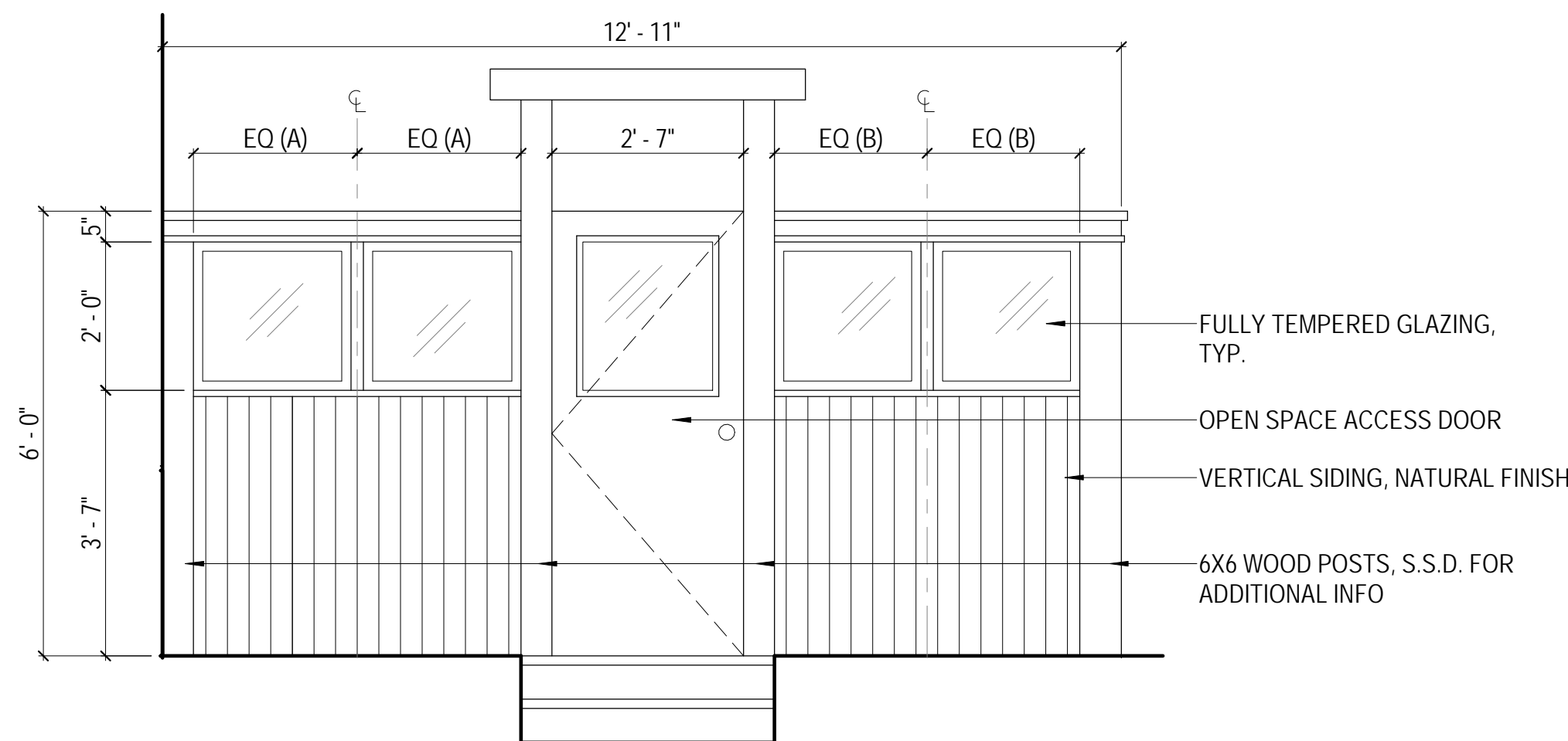
5 WINDSCREEN - SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



1 FLOOR 01 - PARTIAL PROPOSED FLOOR PLAN - WINDSCREENS
SCALE: 1/2" = 1'-0"

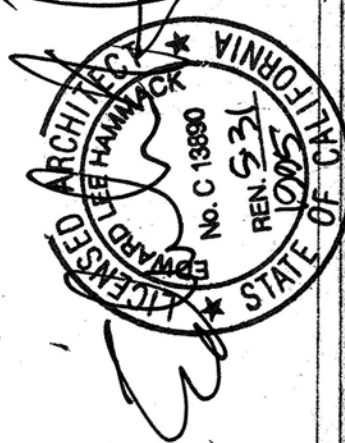


3 WINDSCREEN - NORTH ELEVATION
SCALE: 1/2" = 1'-0"



4 WINDSCREEN - EAST ELEVATION
SCALE: 1/2" = 1'-0"

RECEIVED
DEC 30 1994
BUREAU OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR MICROFILMING
ACCEPTED



DOLPHIN SWIMMING CLUB
ORGANIZED 1977
SAN FRANCISCO
LOCKER ROOM & SHOWER EXPANSION



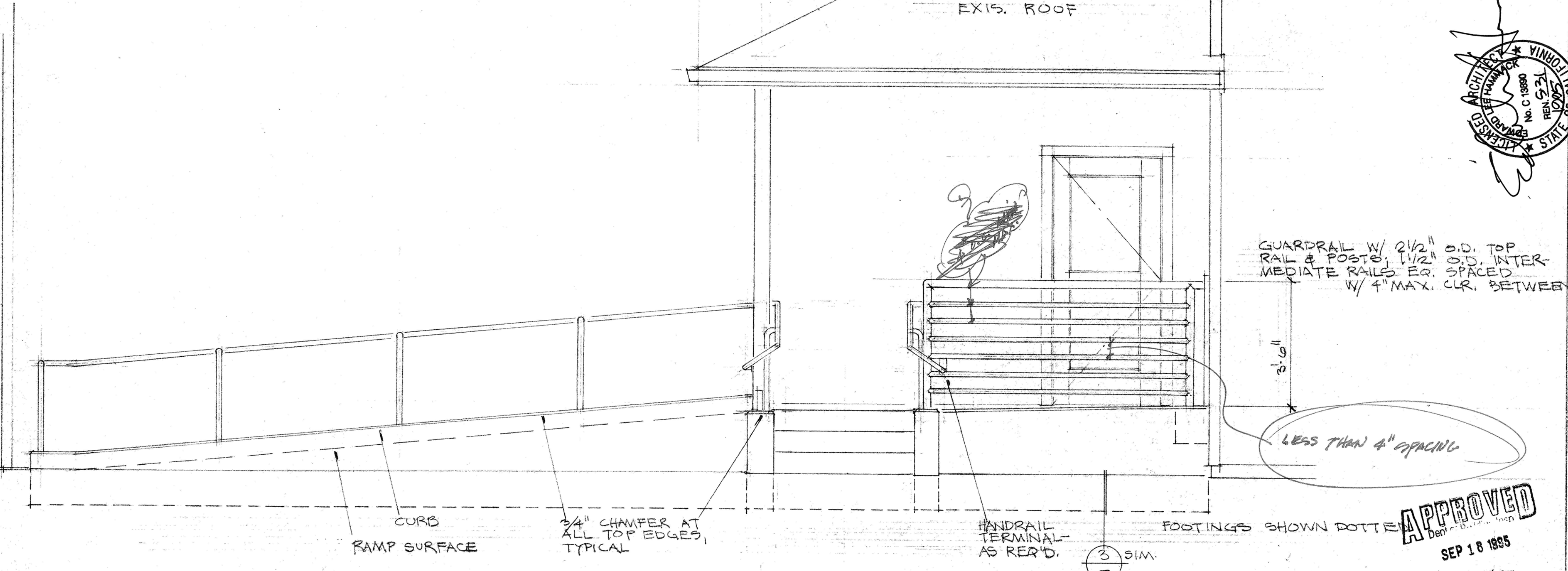
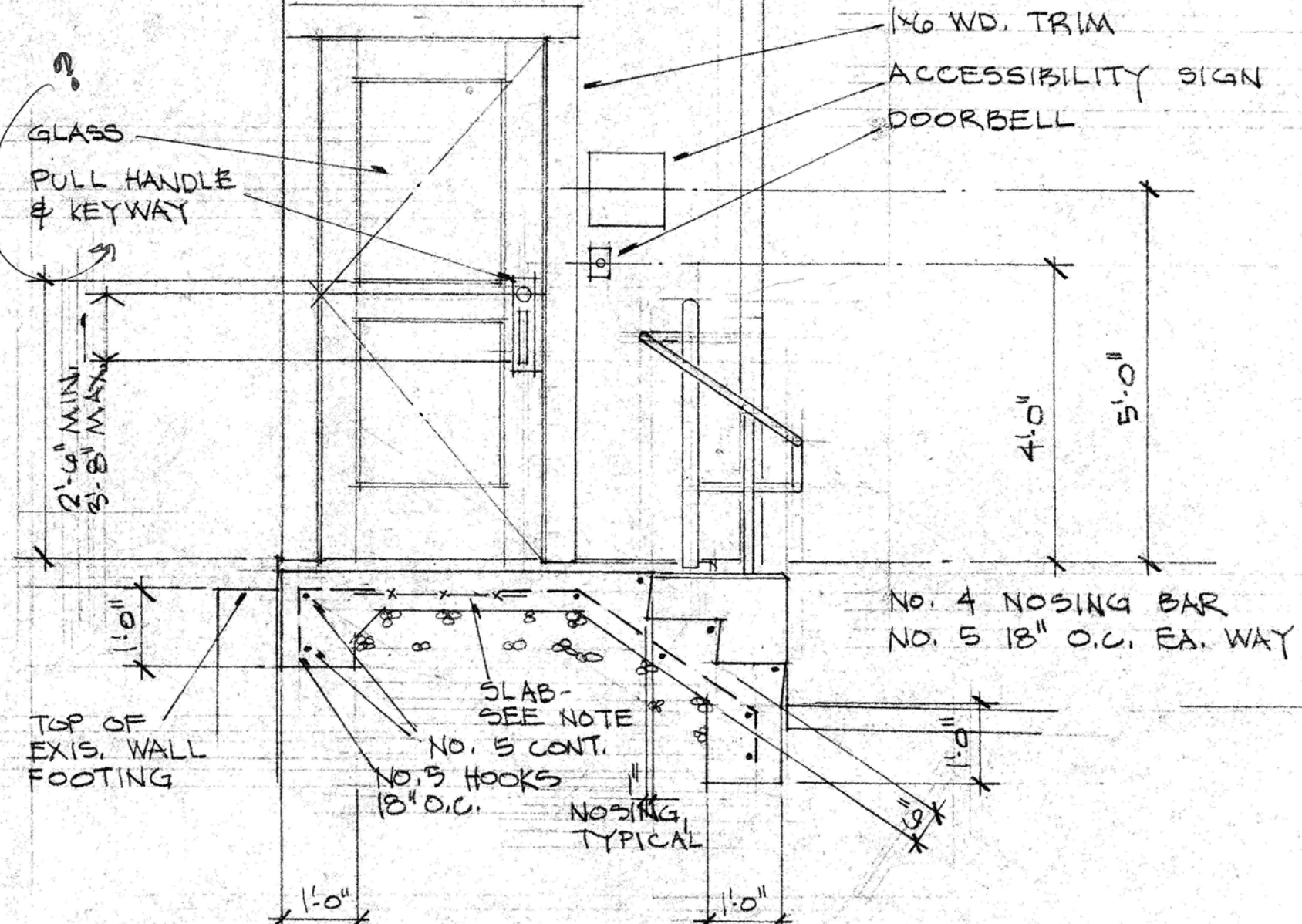
PHASE 1
NEW MEN'S
SHOWERS

LARGE-SCALE PLANS -
GROUND FLOOR ACCESS-
IBILITY UPGRADES

ISSUE DATE:
CORRECTIONS
21 DEC. 94
(NEW SHEET)

SHT. NO.

**REF
1**

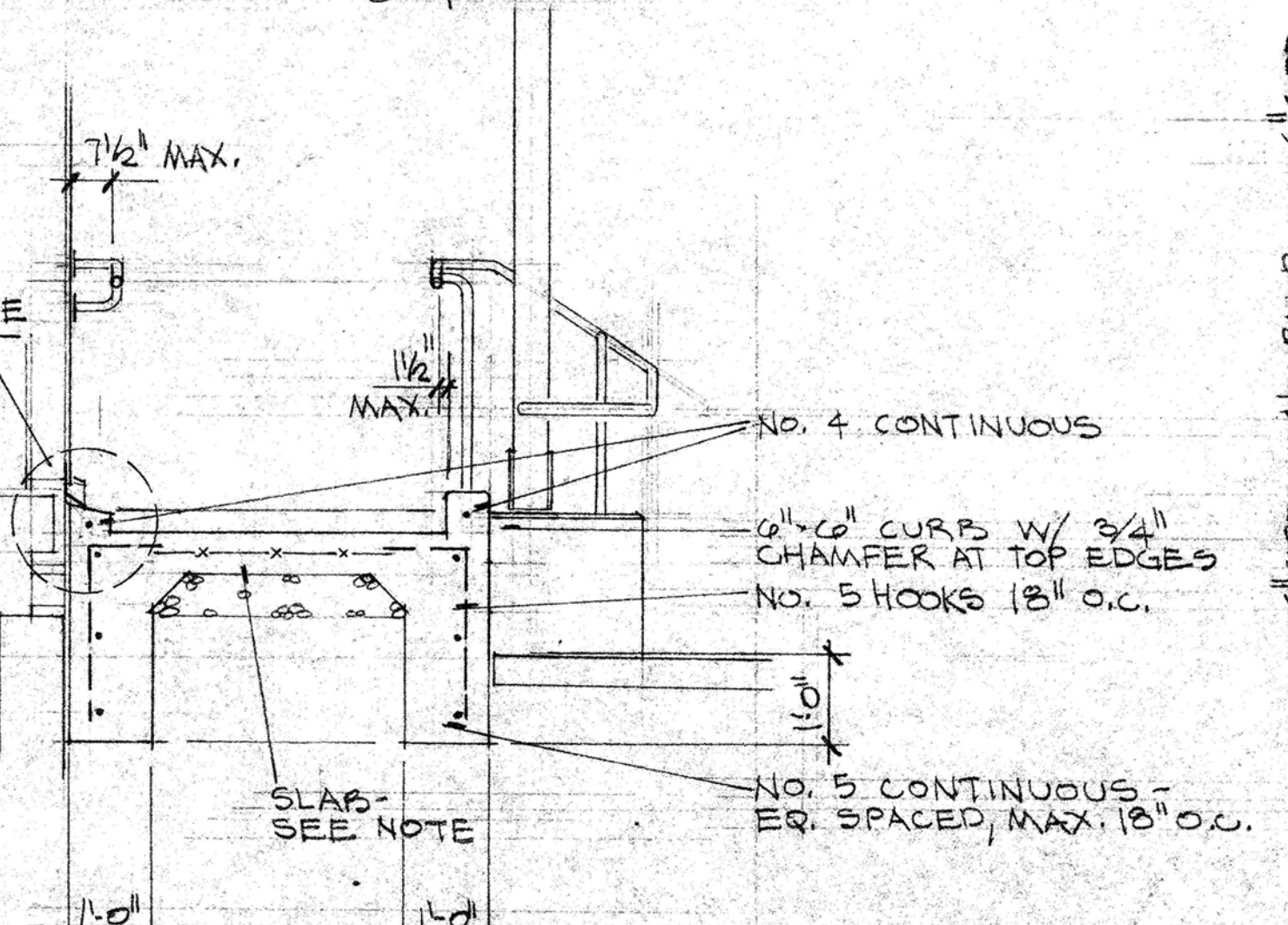
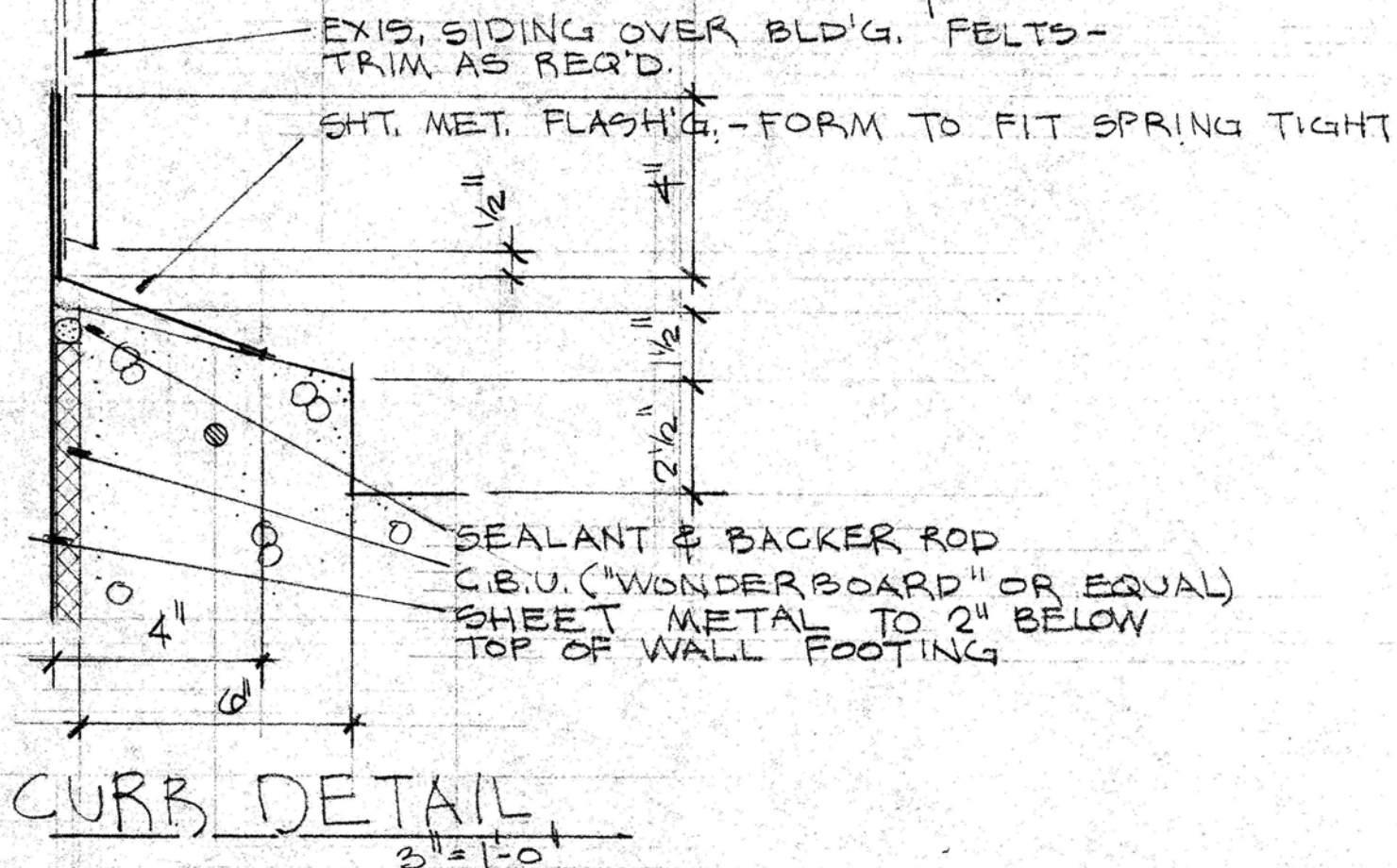


② FRONT ELEVATION - ENTRY

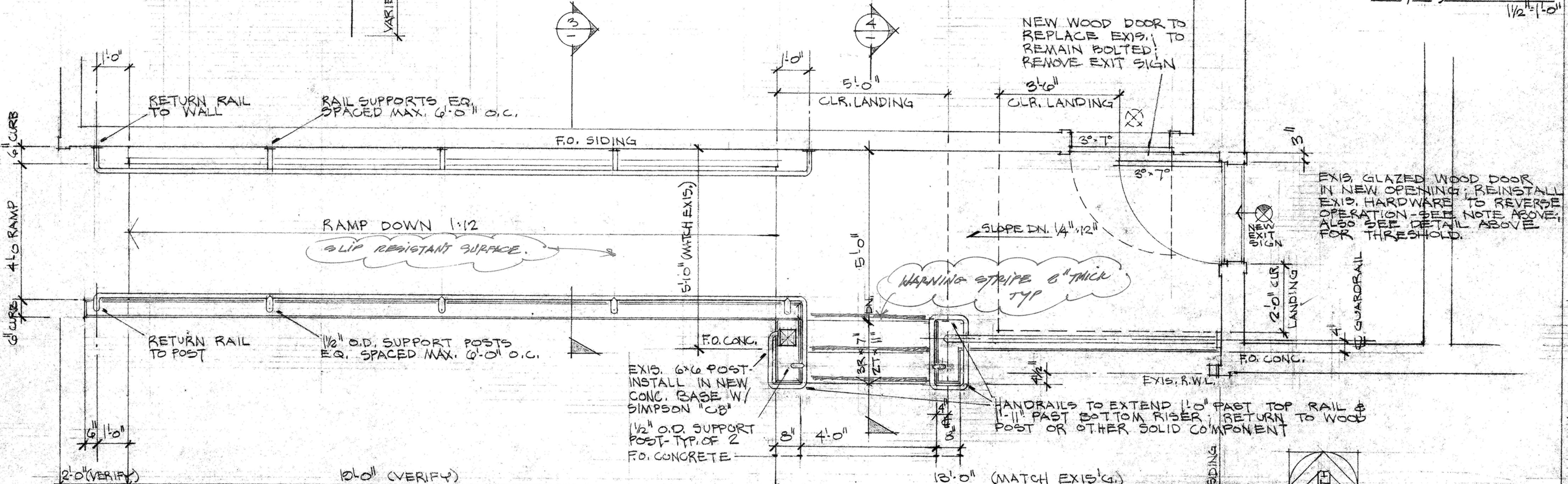
NOTES:

- HANDRAILS TO BE 1 1/2" O.D. STL. HOT-DIP GALVANIZED, AT 3'-0" ABV. RAMP/NOSING, TO PROJECT INTO CLR. WIDTH 3" MAX.
- CONC. SLABS TO BE 6" THICK WITH 4"x6" 1.0"x1.0" WELDED WIRE MESH OVER 6" DRAIN ROCK; FINISH FOR SLIP RESISTANCE; REFER TO SHT. 51 FOR ADD'L. INFO.
- REINF. HOOKS, 1'-0" VARIES
- REPAIR SIDEWALK AREAS DAMAGED BY CONSTRUCTION.
- ENTRY DOOR HARDWARE: PANIC BAR, INSIDE; PULL HANDLE & KEYWAY, TO REMAIN LOCKED, OUTSIDE - BOW KEYS PER SEC. 3304(G.1) AVAILABLE ON REQUEST; CLOSER WITH MAX. 8 1/2# OPERATING FORCE; WEATHERSTRIP & DOOR BOTTOM; SEE DETAIL AT RIGHT FOR THRESHOLD.

④ SECTION



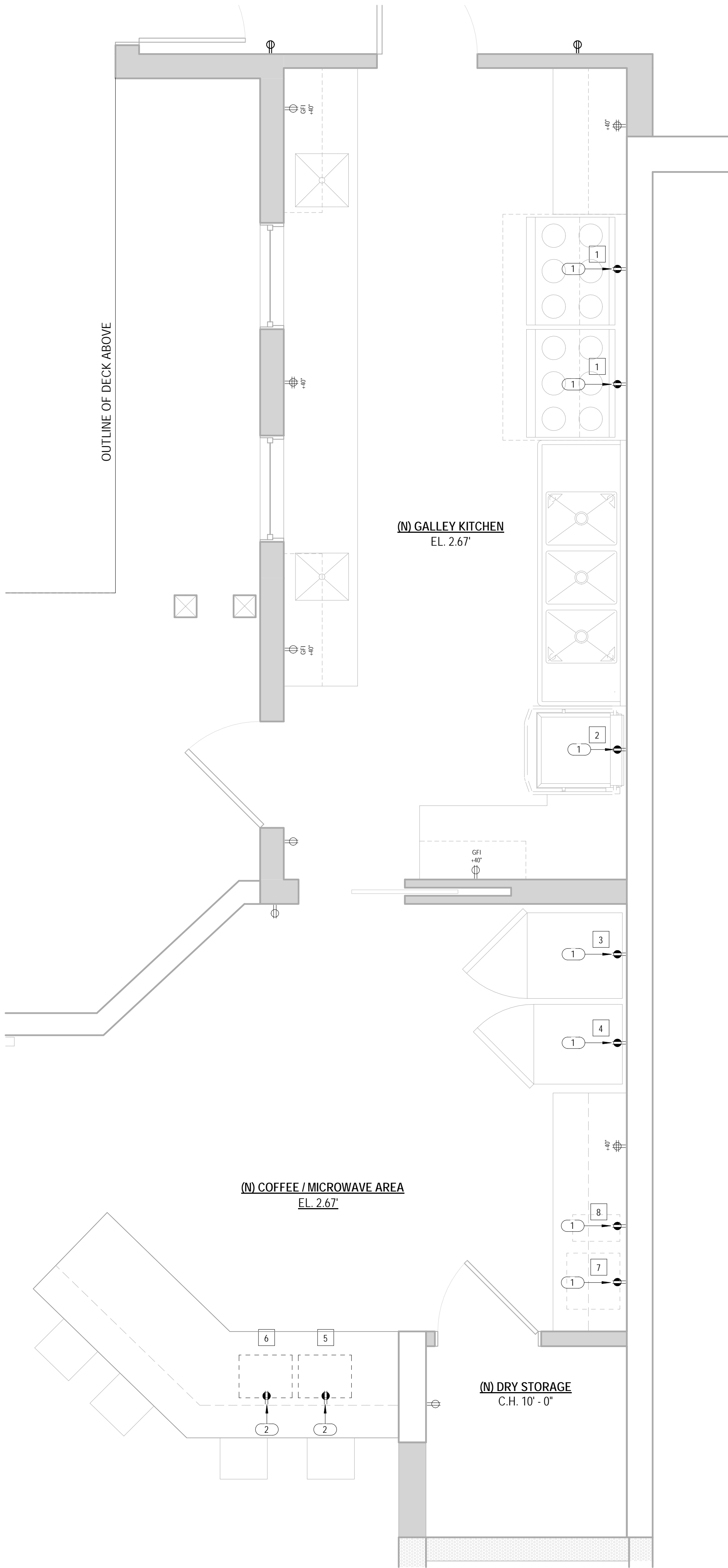
③ SECTION



① PLAN - ENTRY



SCALE: 1/2" = 1'-0"



1 ENLARGED PLAN - GALLEY - POWER SIGNAL PLAN
SCALE: 1/2" = 1'-0"

SHEET NOTE

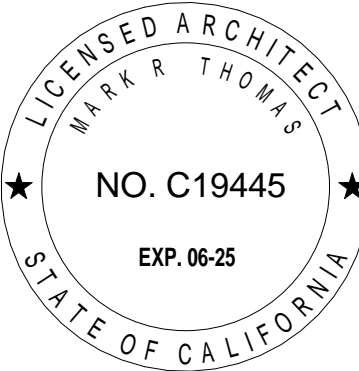
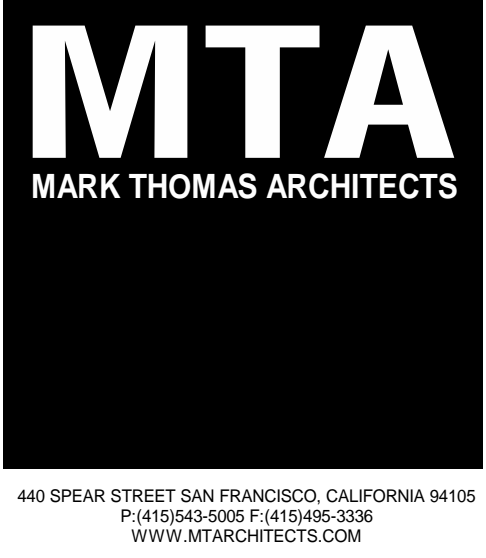
1. REFER TO A0.2 FOR GENERAL NOTES.
2. REFER TO A0.3 FOR SYMBOL LEGEND.
3. REFER TO DETAIL E2.1 FOR TYPICAL DEVICE MOUNTING HEIGHTS.
4. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
5. SEE E2.1 FOR WALL SWITCH LOCATIONS.
6. TELE / DATA CABLING PROVIDED BY TENANT UNDER SEPARATE CONTRACT. VERIFY OUTLET AND CONDUIT REQUIREMENTS WITH TENANT'S VENDOR. GC TO PROVIDE CONDUIT, BACK BOX, AND TAGGED PULL STRINGS
7. FURNITURE IS SHOWN FOR REFERENCE ONLY AND IS NOT IN CONTRACT. GC TO VERIFY FURNITURE POWER AND SIGNAL REQUIREMENTS AND LOCATIONS WITH FURNITURE VENDOR PRIOR TO BEGINNING WORK. GC TO CUT FURNITURE WHIPS TO APPROPRIATE LENGTHS AND TO CONNECT WHIPS TO FURNITURE POWER IN FEEDS.
8. COVER PLATES, SWITCHES, AND OUTLETS TO BE WHITE IN COLOR, UON. AT MILLWORK, SPECIALTY FINISH AND ACCENT WALL LOCATIONS, CONFIRM COLOR W/ ARCHITECT.
9. GC TO LAYOUT FLOOR CORE LOCATIONS FOR ARCHITECT'S REVIEW ON SITE PRIOR TO BEGINNING WORK.
10. MOUNT ALL TELEPHONE / DATA / ELECTRICAL RECEPTACLES ABOVE WORK SURFACES HORIZONTALLY.
11. ALL OUTLETS AT WET LOCATIONS TO BE GFI DEVICES.
12. PROVIDE OUTLET BOX WITH 3/4" CONDUIT STUBBED TO PLENUM 6" ABOVE CEILING AT WALL MOUNTED TELEPHONE AND DATA OUTLETS IN FULL HEIGHT OR ACOUSTICAL PARTITIONS.
13. PROVIDE CONDUIT FROM FLOOR TELEPHONE AND DATA RISER CLOSET TO TENANT'S TERMINAL BOARD LOCATION. SIZE AND ROUTING TO BE COORDINATED WITH TENANT'S CABLING VENDOR.
14. OFFSET ALL WALL MOUNTED OUTLETS SHOWN BACK TO BACK ON PLAN TO AVOID BACK TO BACK INSTALLATION. OUTLETS IN ACOUSTICALLY TREATED WALLS SHALL BE LOCATED IN SEPARATE STUD BAYS OR ACOUSTICALLY SEALED.
15. LOCATE WALL OUTLETS AT DIMENSION NOTED OR ON STUD WITHIN 12" OF LOCATION SHOWN ON DOCUMENT IF NOT NOTED.
16. HORIZONTAL DIMENSION ARE TO THE CENTER LINE OF SINGLE OUTLETS AND THE MID-POINT OF MULTI - GANG DEVICES.
17. MAINTAIN 3" CLEAR AT FLOOR OUTLETS ADJACENT TO WALL UON.
18. WHERE FLOOR MONUMENTS ARE SHOWN NEXT TO EACH OTHER, LOCATE THEM AS CLOSE TOGETHER AS PRACTICAL.
19. ARCHITECTURAL DRAWINGS OVER-RIDE ENGINEERING DOCUMENTS FOR THE LOCATIONS OF OUTLETS.
20. PROVIDE ABOVE CEILING POWER FOR EQUIPMENT LOCATED AT CEILING. REFER TO E2.1 FOR LOCATIONS.
21. AV EQUIPMENT PROVIDED AND INSTALLED BY TENANT'S VENDOR. GC TO PROVIDE ASSOCIATED POWER, SIGNAL, AND CONDUIT. GC TO VERIFY REQUIREMENTS WITH AV VENDOR.
22. SECURITY CAMERAS AND CARD READERS BY TENANT'S SECURITY VENDOR. GC TO PROVIDE ASSOCIATED POWER, SIGNAL, AND CONDUIT. VERIFY REQUIREMENTS AND LOCATIONS WITH TENANT'S SECURITY VENDOR PRIOR TO COMPLETING WORK.

KEYNOTES E1.1

1	COORDINATE OUTLET LOCATION WITH MFR'S SPECIFICATIONS, TYP.
2	(N) MILLWORK MOUNTED ELECTRICAL OUTLETS, TYP. COORDINATE OUTLET LOCATON WITH MFR'S SPECIFICATIONS, TYP.

EQUIPMENT SCHEDULE

NUM	DESCRIPTION	COMMENTS
1	(N) 36" RANGE W/ 6 OPEN BURNERS	
2	(N) COMMERCIAL DISHWASHER	
3	EXISTING FREEZER	
4	EXISTING REFRIGERATOR	
5	(N) MICROWAVE	
6	(N) CONVECTION OVEN	
7	(N) COFFEE MACHINE	
8	(N) COFFEE GRINDER	



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94109
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
ADDENDUM 01	07.12.24

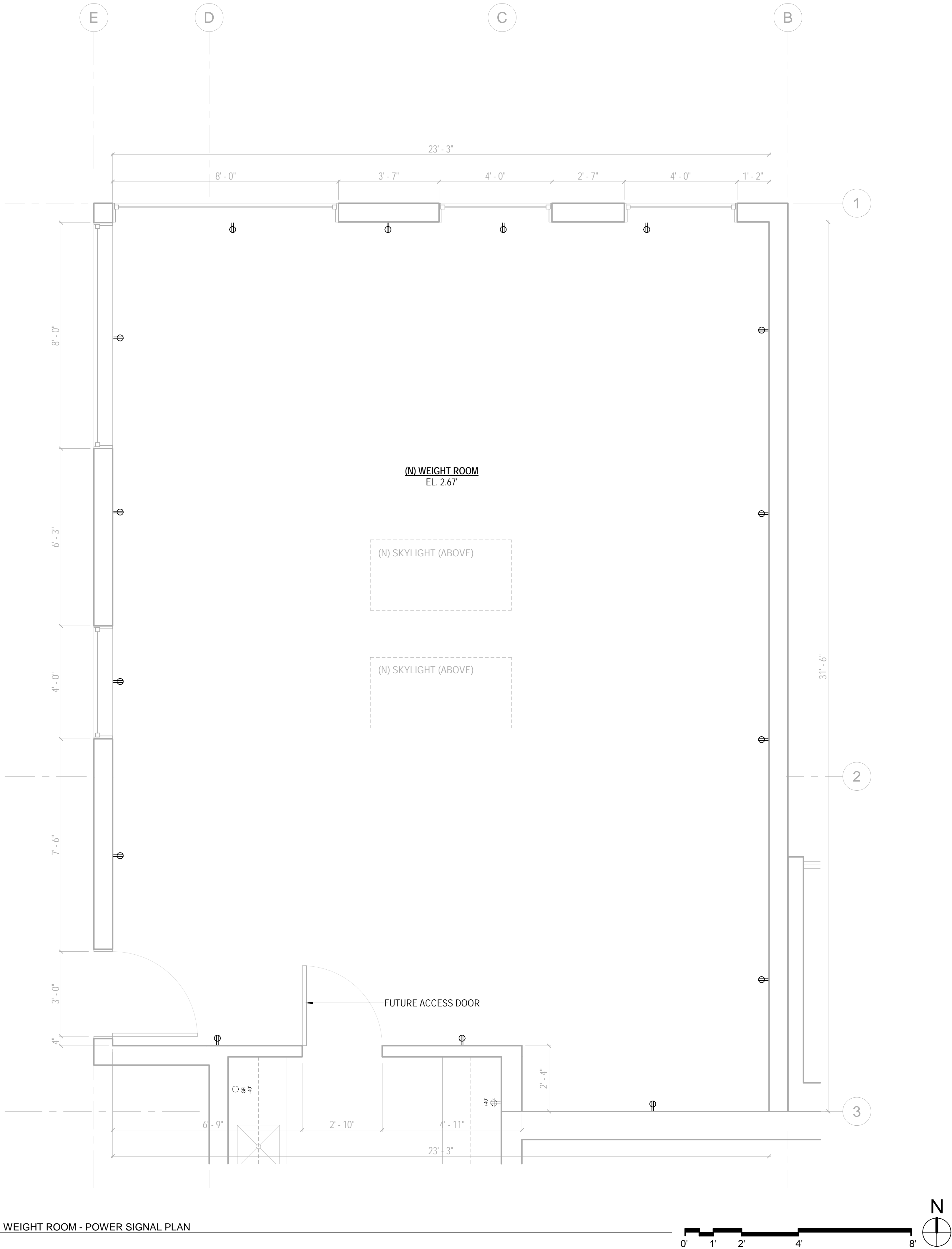
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DATE:	06.02.23
SHEET TITLE:	

GALLEY POWER SIGNAL PLAN

SHEET NUMBER:

E1.1

REV #: DATE:



1 ENLARGED PLAN - WEIGHT ROOM - POWER SIGNAL PLAN
SCALE: 1/2" = 1'-0"

SHEET NOTE

1. REFER TO A0.2 FOR GENERAL NOTES.
2. REFER TO A0.3 FOR SYMBOL LEGEND.
3. REFER TO DETAIL E2.1 FOR TYPICAL DEVICE MOUNTING HEIGHTS.
4. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
5. SEE E2.1 FOR WALL SWITCH LOCATIONS.
6. TELE / DATA CABLING PROVIDED BY TENANT UNDER SEPARATE CONTRACT. VERIFY OUTLET AND CONDUIT REQUIREMENTS WITH TENANT'S VENDOR. GC TO PROVIDE CONDUIT, BACK BOX, AND TAGGED PULL STRINGS
7. FURNITURE IS SHOWN FOR REFERENCE ONLY AND IS NOT IN CONTRACT. GC TO VERIFY FURNITURE POWER AND SIGNAL REQUIREMENTS AND LOCATIONS WITH FURNITURE VENDOR PRIOR TO BEGINNING WORK. GC TO CUT FURNITURE WHIPS TO APPROPRIATE LENGTHS AND TO CONNECT WHIPS TO FURNITURE POWER IN FEEDS.
8. COVER PLATES, SWITCHES, AND OUTLETS TO BE WHITE IN COLOR, UON. AT MILLWORK, SPECIALTY FINISH AND ACCENT WALL LOCATIONS, CONFIRM COLOR W/ ARCHITECT.
9. GC TO LAYOUT FLOOR CORE LOCATIONS FOR ARCHITECT'S REVIEW ON SITE PRIOR TO BEGINNING WORK.
10. MOUNT ALL TELEPHONE / DATA / ELECTRICAL RECEPTACLES ABOVE WORK SURFACES HORIZONTALLY.
11. ALL OUTLETS AT WET LOCATIONS TO BE GFI DEVICES.
12. PROVIDE OUTLET BOX WITH 3/4" CONDUIT STUBBED TO PLENUM 6" ABOVE CEILING AT WALL MOUNTED TELEPHONE AND DATA OUTLETS IN FULL HEIGHT OR ACOUSTICAL PARTITIONS.
13. PROVIDE CONDUIT FROM FLOOR TELEPHONE AND DATA RISER CLOSET TO TENANT'S TERMINAL BOARD LOCATION. SIZE AND ROUTING TO BE COORDINATED WITH TENANT'S CABLING VENDOR.
14. OFFSET ALL WALL MOUNTED OUTLETS SHOWN BACK TO BACK ON PLAN TO AVOID BACK TO BACK INSTALLATION. OUTLETS IN ACOUSTICALLY TREATED WALLS SHALL BE LOCATED IN SEPARATE STUD BAYS OR ACOUSTICALLY SEALED.
15. LOCATE WALL OUTLETS AT DIMENSION NOTED OR ON STUD WITHIN 12" OF LOCATION SHOWN ON DOCUMENT IF NOT NOTED.
16. HORIZONTAL DIMENSION ARE TO THE CENTER LINE OF SINGLE OUTLETS AND THE MID-POINT OF MULTI - GANG DEVICES.
17. MAINTAIN 3" CLEAR AT FLOOR OUTLETS ADJACENT TO WALL UON.
18. WHERE FLOOR MONUMENTS ARE SHOWN NEXT TO EACH OTHER, LOCATE THEM AS CLOSE TOGETHER AS PRACTICAL.
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KEYNOTES E1.2

1	COORDINATE OUTLET LOCATION WITH MFR'S SPECIFICATIONS, TYP.
2	(N) MILLWORK MOUNTED ELECTRICAL OUTLETS, TYP. COORDINATE OUTLET LOCATON WITH MFR'S SPECIFICATIONS, TYP.

EQUIPMENT SCHEDULE

NUM	DESCRIPTION	COMMENTS
1	(N) 36" RANGE W/ 6 OPEN BURNERS	
2	(N) COMMERCIAL DISHWASHER	
3	EXISTING FREEZER	
4	EXISTING REFRIGERATOR	
5	(N) MICROWAVE	
6	(N) CONVECTION OVEN	
7	(N) COFFEE MACHINE	
8	(N) COFFEE GRINDER	

MTA
MARK THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P: (415) 643-5005 F: (415) 496-3336
WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94109
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
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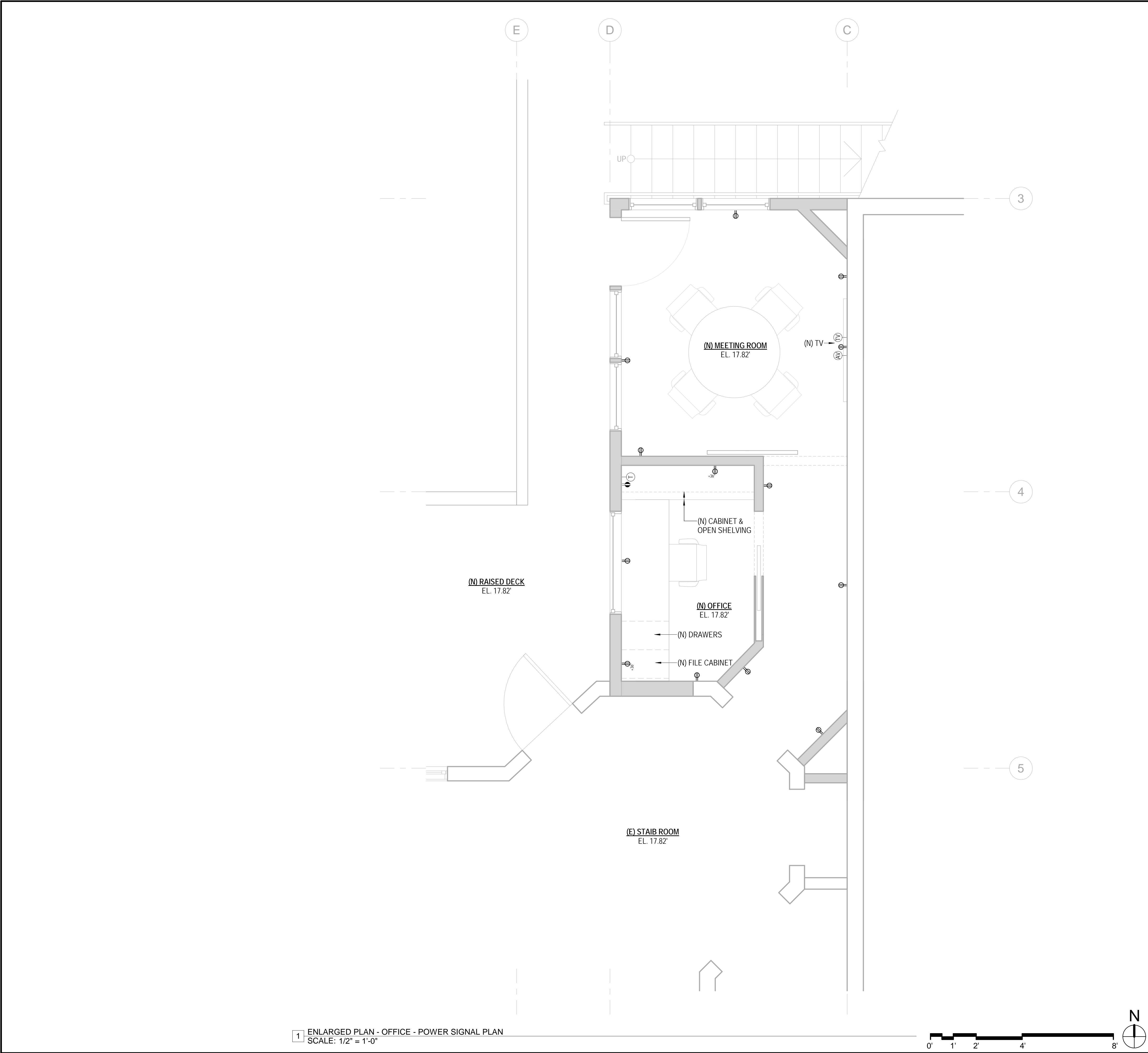
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DATE:	06.02.23
SHEET TITLE:	

WEIGHT ROOM
POWER SIGNAL
PLAN

SHEET NUMBER:

E1.2

REV #: DATE:



- SHEET NOTE
1. REFER TO A0.2 FOR GENERAL NOTES.

2. REFER TO A0.3 FOR SYMBOL LEGEND.

3. REFER TO DETAIL E2.1 FOR TYPICAL DEVICE MOUNTING HEIGHTS.

4. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.

5. SEE E2.1 FOR WALL SWITCH LOCATIONS.

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KEYNOTES E1.2

1	COORDINATE OUTLET LOCATION WITH MFR'S SPECIFICATIONS, TYP.
2	(N) MILLWORK MOUNTED ELECTRICAL OUTLETS, TYP. COORDINATE OUTLET LOCATON WITH MFR'S SPECIFICATIONS, TYP.

EQUIPMENT SCHEDULE

NUM	DESCRIPTION	COMMENTS
1	(N) 36" RANGE W/ 6 OPEN BURNERS	
2	(N) COMMERCIAL DISHWASHER	
3	EXISTING FREEZER	
4	EXISTING REFRIGERATOR	
5	(N) MICROWAVE	
6	(N) CONVECTION OVEN	
7	(N) COFFEE MACHINE	
8	(N) COFFEE GRINDER	



DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94109
BLOCK: 0405 LOT: 004

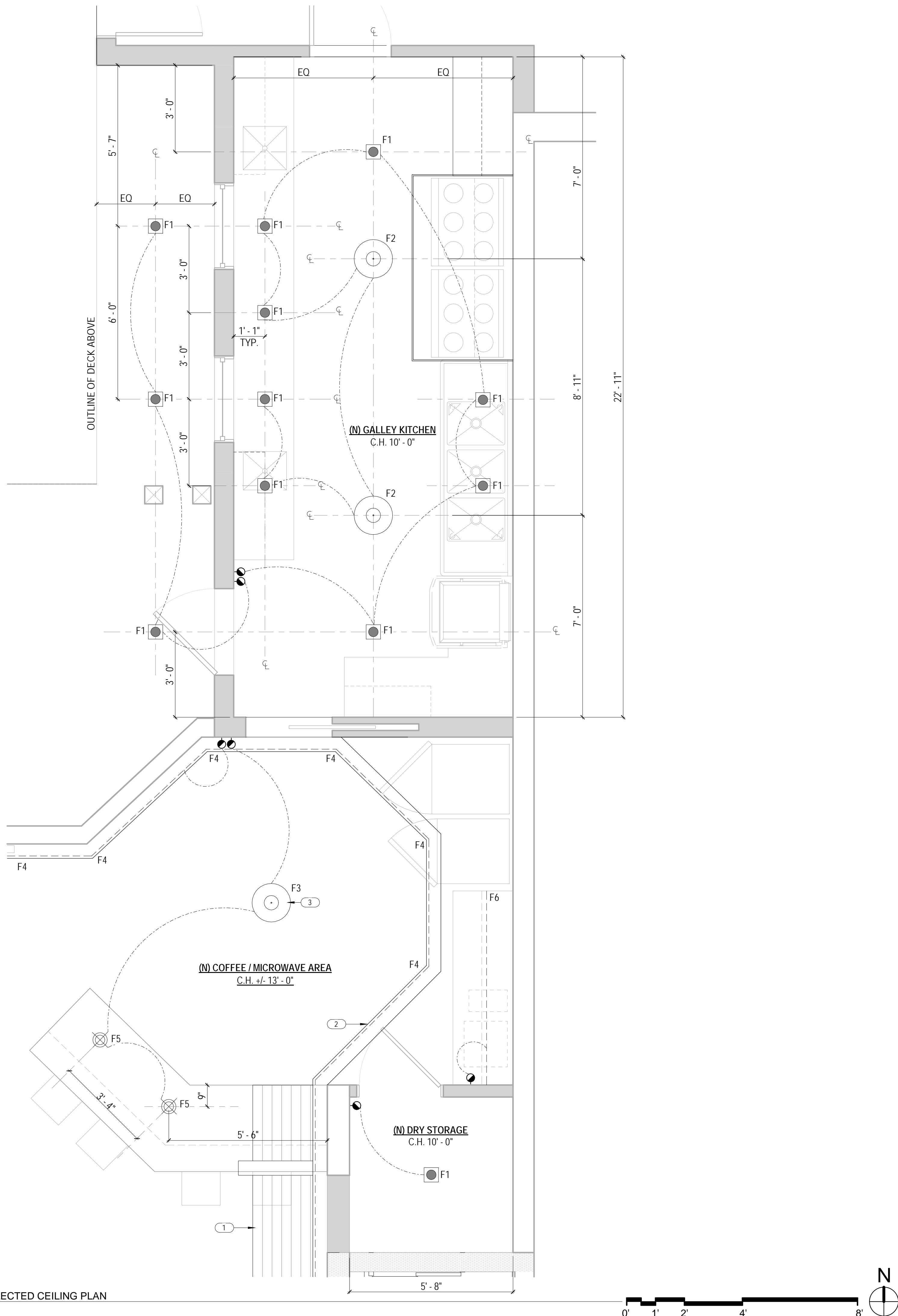
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SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
ADDENDUM 01	07.12.24
DRAWN BY:	TL
DATE:	06.02.23
SHEET TITLE:	

OFFICE POWER
SIGNAL PLAN

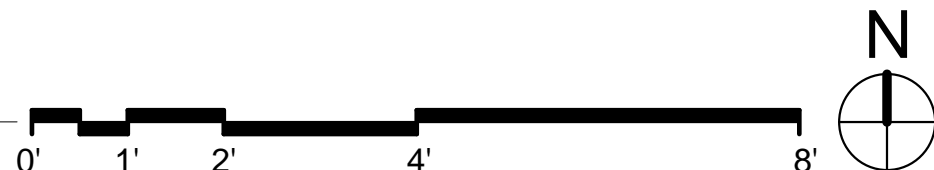
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E1.3

REV #: DATE:



1 ENLARGED PLAN - GALLEY - REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"



LIGHTING SCHEDULE

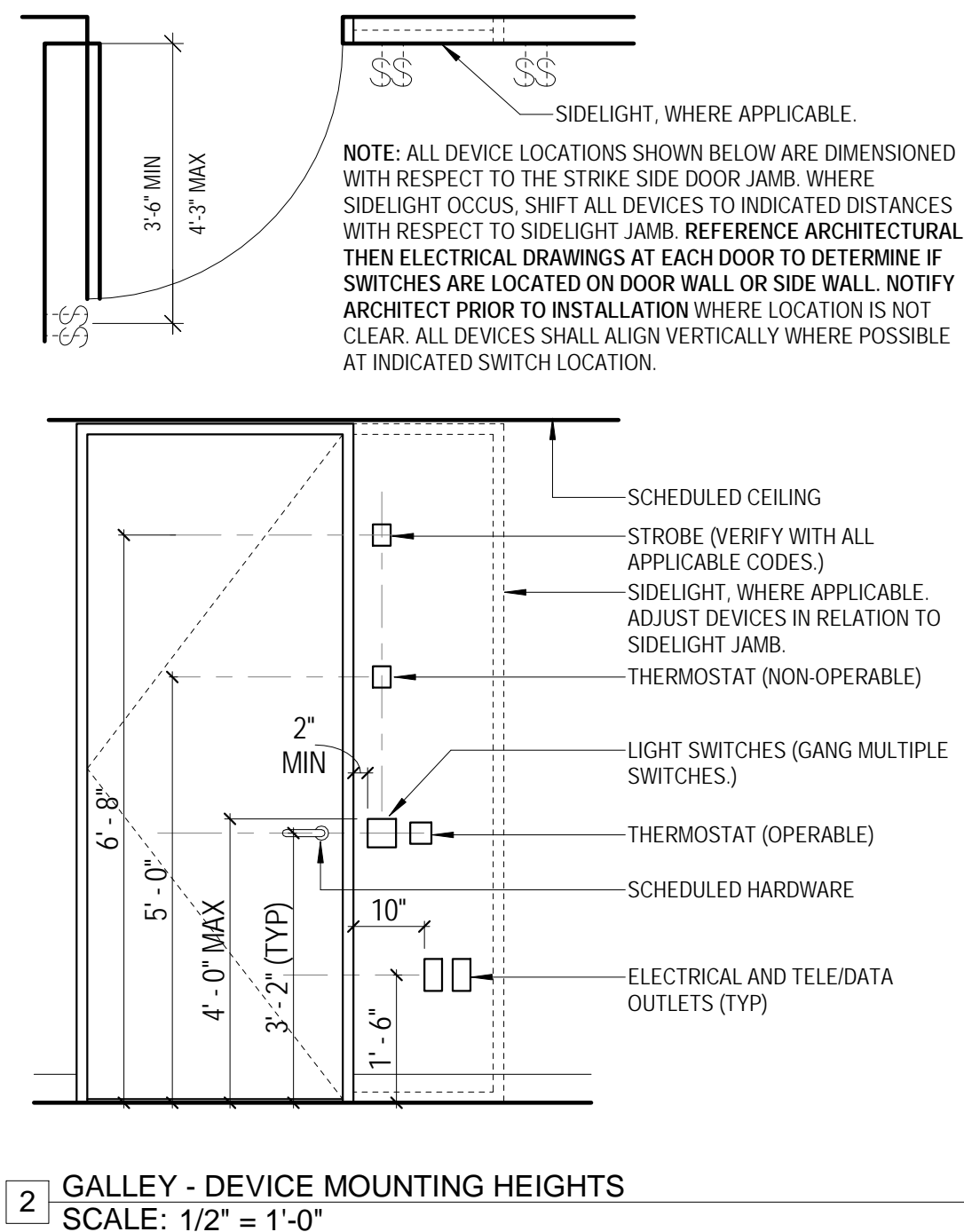
F1	4" SQUARE RECESSED DOWNLIGHTS
F2	OWNER PROVIDED LED PENDANT FIXTURE
F3	OWNER PROVIDED LED PENDANT FIXTURE
F4	LINEAR LED COVE FIXTURE
F5	OWNER PROVIDED LED PENDANT FIXTURE
F6	LINEAR LED UNDERCABINET FIXTURE
F7	LINEAR LED DIRECT / INDIRECT PENDANT FIXTURE
F8	OWNER PROVIDED LED PENDANT FIXTURE
F9	OWNER PROVIDED LED SURFACE MOUNT FIXTURE
F10	OWNER PROVIDED WALL SCONCE FIXTURE

SHEET NOTES

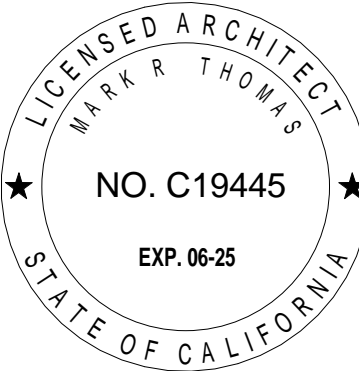
- REFER TO A0.2 FOR GENERAL NOTES.
- REFER TO A0.3 FOR SYMBOL LEGEND.
- REFER TO A6.2 FOR GENERAL CEILING DETAILS.
- REFER TO A4.1 FOR GYPSUM BOARD CEILING FINISHES.
- REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- GYPSUM BOARD CEILING HEIGHT IS 10'-0" AFF, UON
- ALL DIMENSIONS FOR LIGHT FIXTURES ARE TO FIXTURE CENTER LINE, UON.
- CEILING GRILLES AND DIFFUSERS TO BE WHITE IN COLOR, UON.
- GANG ALL SWITCH PLATE COVERS WHERE PRACTICAL.
- THERMOSTAT LOCATIONS TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- LOCATION OF ALL NEW DRYWALL CEILING RELATED ITEMS INCLUDING, BUT NOT LIMITED TO, STROBES, SMOKE DETECTORS, SPRINKLERS, ACCESS PANELS, AIR GRILLES, LIGHTS, ETC. TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO BEGINNING OF WORK.
- PROVIDE CONCEALED TYPE SPRINKLER HEADS AT DRYWALL CEILINGS. CAPS TO BE WHITE, UON.
- PROVIDE DIMMABLE WALL WASHERS AND DOWN LIGHTS IN, UON.
- SEE DETAIL 2/- FOR TYPICAL LIGHT SWITCH MOUNTING HEIGHT.
- AT OPEN CEILINGS: PATCH (E) FIREPROOFING AND PAINT UNDERSIDE OF ALL EXPOSED DECK/FIREPROOFED DECK/ITEMS INCLUDING PIPES, SPRINKLER LINES AND CONDUIT ABOVE 10'-0" BLACK.
- AT OPEN CEILINGS: ALL EXPOSED DUCTWORK TO BE PAINTED HARD DUCT AND HAVE CLEAR JOINT SEALER. ALL EXPOSED DUCTS TO BE HUNG WITH STRAPS. NO. 8 GAUGE GALVANIZED STEEL WIRE IS NOT ACCEPTABLE. NO FLEX DUCT TO BE INSTALLED IN EXPOSED AREAS. NO DUCTS IN EXPOSED AREAS TO RECEIVE INSULATION WRAP.
- AT OPEN CEILINGS: ALL EXPOSED CONDUIT, SPRINKLER LINES AND HVAC DUCT TO RUN PERPENDICULAR TO OFFICE AND EXTERIOR WALLS. GANG EXPOSED CONDUIT RUNS TIGHT TO ONE ANOTHER AND ALIGNED W/ DUCT RUNS OR CABLE TRAY RUNS TO PROVIDE AN ALIGNED AND COLLECTED GROUPING APPEARANCE. RUN CONDUIT AS TIGHT AS POSSIBLE TO UNDERSIDE OF (E) BEAMS.
- ALL DRYWALL ACCESS PANELS TO INCLUDE A DRYWALL PANEL SYSTEM.
- ALL J-BOXES LOCATED IN EXPOSED CEILINGS ARE TO BE COORDINATED IN FIELD W/ ARCHITECT.

KEYNOTES E2.1

1	EXISTING SLOPED HORIZONTAL WOOD SOFFIT TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.
2	EXISTING WOOD COVE TO REMAIN. REPAIR AS REQUIRED TO HOUSE NEW LED STRIP LIGHTING.
3	CENTER SCHEDULED PENDANT FIXTURE AT CENTER OF HEXAGON.



2 GALLEY - DEVICE MOUNTING HEIGHTS
SCALE: 1/2" = 1'-0"



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94109
BLOCK: 0405 LOT: 004

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REVISION 01	09.15.22
REVISION 02	03.29.23
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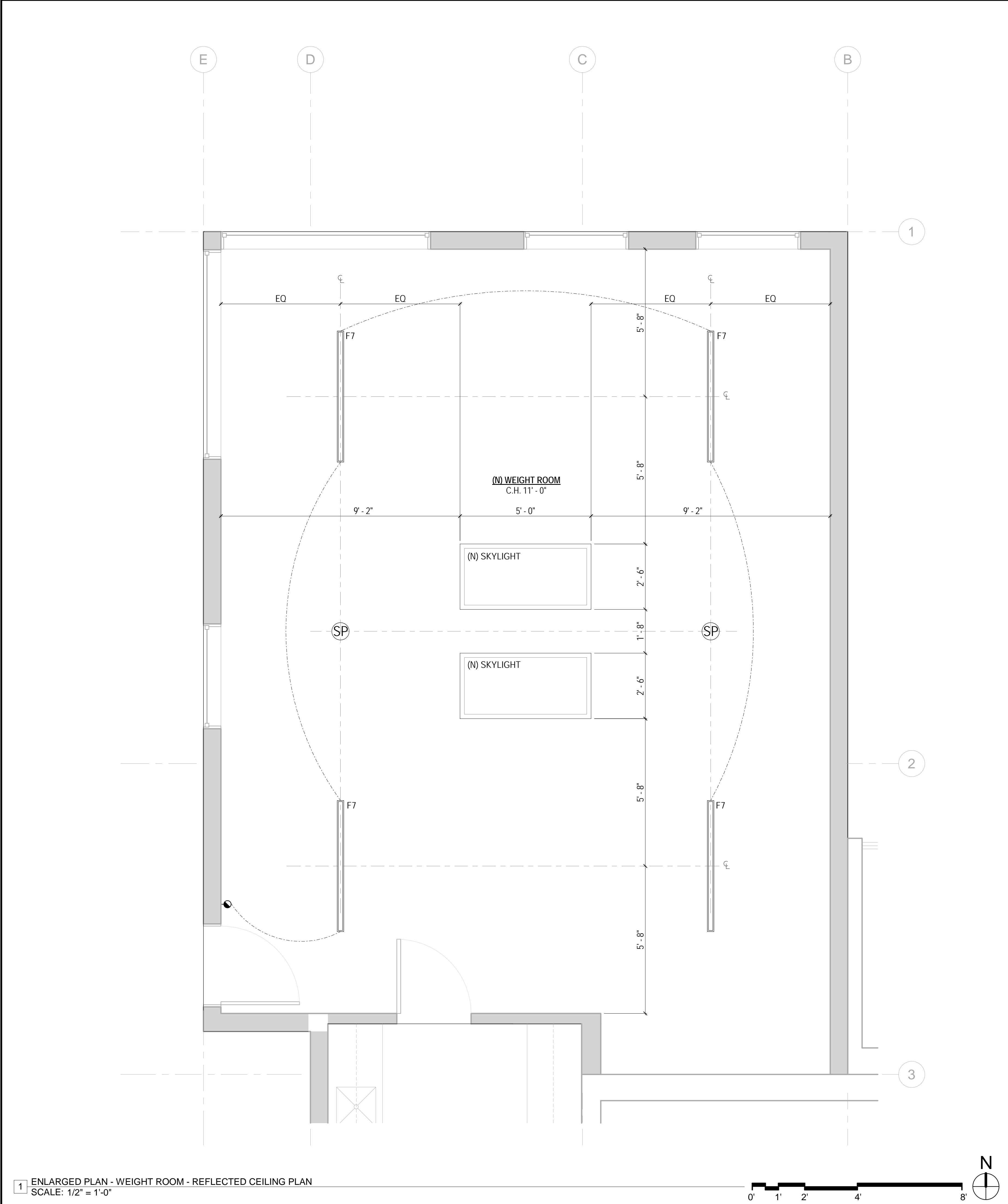
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DATE:	06.02.23
SHEET TITLE:	

GALLEY REFLECTED CEILING PLAN

SHEET NUMBER:

E2.1

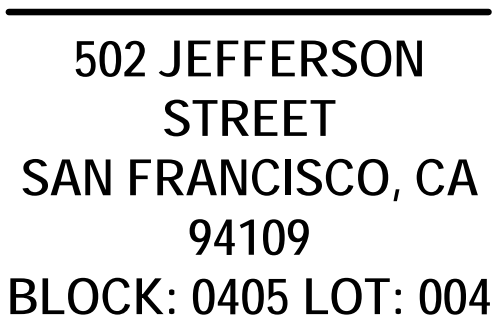
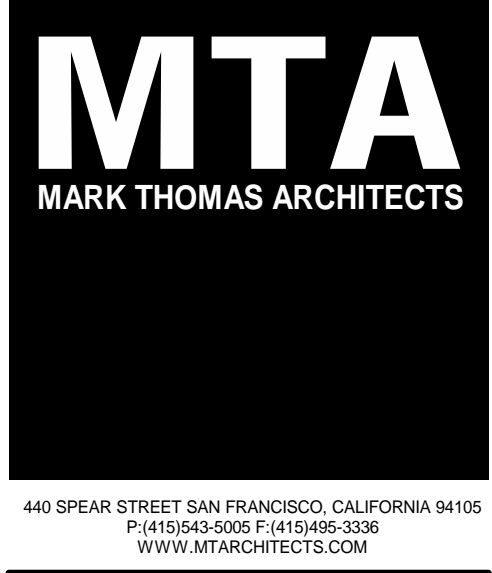
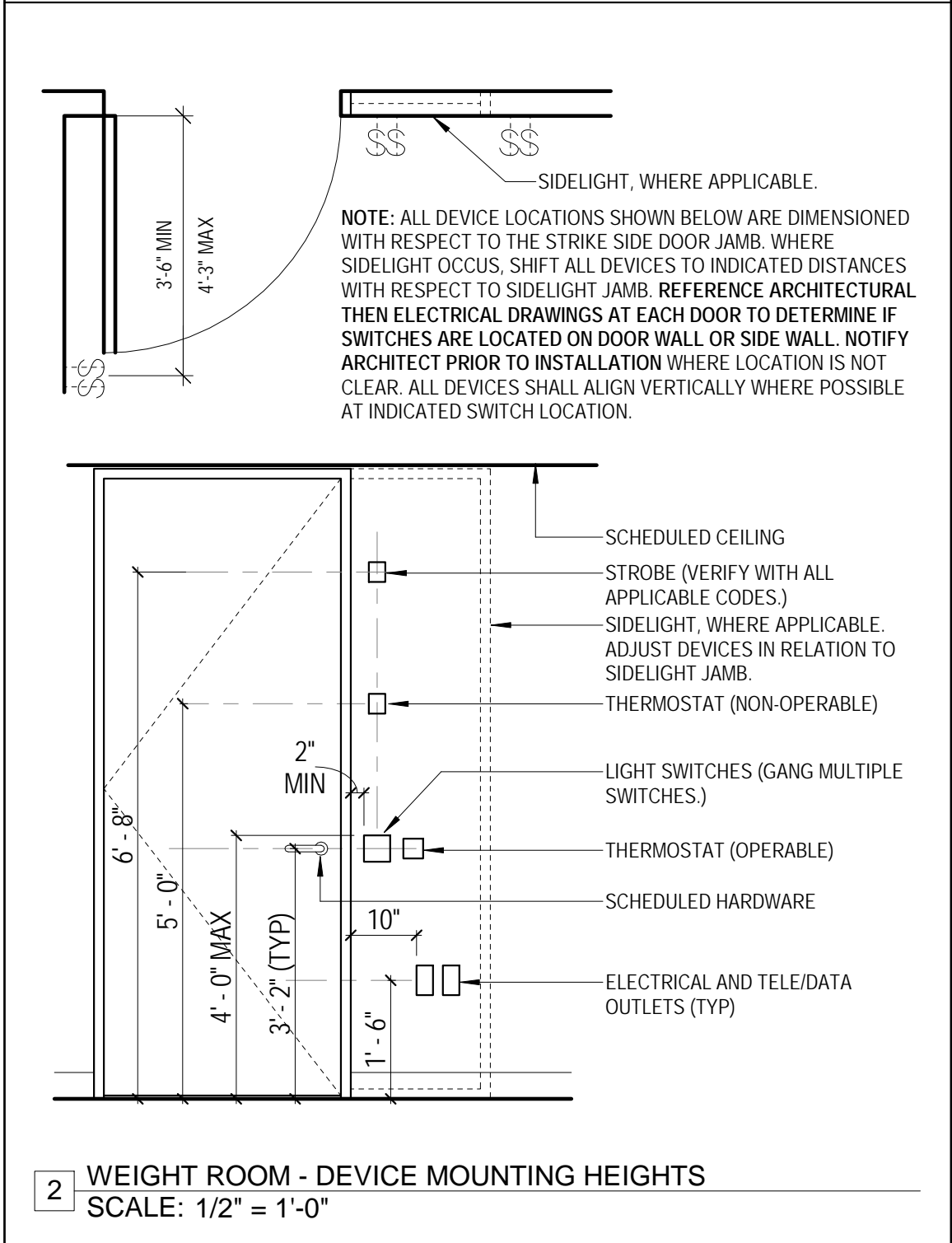
REV #: DATE:



LIGHTING SCHEDULE	
F1	4" SQUARE RECESSED DOWNLIGHTS
F2	OWNER PROVIDED LED PENDANT FIXTURE
F3	OWNER PROVIDED LED PENDANT FIXTURE
F4	LINEAR LED COVE FIXTURE
F5	OWNER PROVIDED LED PENDANT FIXTURE
F6	LINEAR LED UNDERCABINET FIXTURE
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F8	OWNER PROVIDED LED PENDANT FIXTURE
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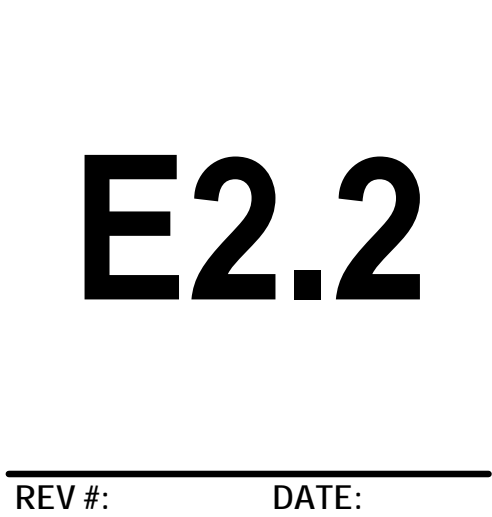
SHEET NOTES	
1.	REFER TO A0.2 FOR GENERAL NOTES.
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3.	REFER TO A6.2 FOR GENERAL CEILING DETAILS.
4.	REFER TO A4.1 FOR GYPSUM BOARD CEILING FINISHES.
5.	REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
6.	GYPSUM BOARD CEILING HEIGHT IS 10'-0" AFF, UON
7.	ALL DIMENSIONS FOR LIGHT FIXTURES ARE TO FIXTURE CENTER LINE, UON.
8.	CEILING GRILLES AND DIFFUSERS TO BE WHITE IN COLOR, UON.
9.	GANG ALL SWITCH PLATE COVERS WHERE PRACTICAL.
10.	THERMOSTAT LOCATIONS TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
11.	LOCATION OF ALL NEW DRYWALL CEILING RELATED ITEMS INCLUDING, BUT NOT LIMITED TO, STROBES, SMOKE DETECTORS, SPRINKLERS, ACCESS PANELS, AIR GRILLES, LIGHTS, ETC. TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO BEGINNING OF WORK.
12.	PROVIDE CONCEALED TYPE SPRINKLER HEADS AT DRYWALL CEILINGS. CAPS TO BE WHITE, UON.
13.	PROVIDE DIMMABLE WALL WASHERS AND DOWN LIGHTS IN, UON.
14.	SEE DETAIL 2/- FOR TYPICAL LIGHT SWITCH MOUNTING HEIGHT.
15.	AT OPEN CEILINGS: PATCH (E) FIREPROOFING AND PAINT UNDERSIDE OF ALL EXPOSED DECK/FIREPROOFED DECK/ITEMS INCLUDING PIPES, SPRINKLER LINES AND CONDUIT ABOVE 10'-0" BLACK.
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19.	ALL J-BOXES LOCATED IN EXPOSED CEILINGS ARE TO BE COORDINATED IN FIELD W/ ARCHITECT.

KEYNOTES E2.2	
1	EXISTING SLOPED HORIZONTAL WOOD SOFFIT TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.
2	EXISTING WOOD COVE TO REMAIN. REPAIR AS REQUIRED TO HOUSE NEW LED STRIP LIGHTING.
3	CENTER SCHEDULED PENDANT FIXTURE AT CENTER OF HEXAGON.

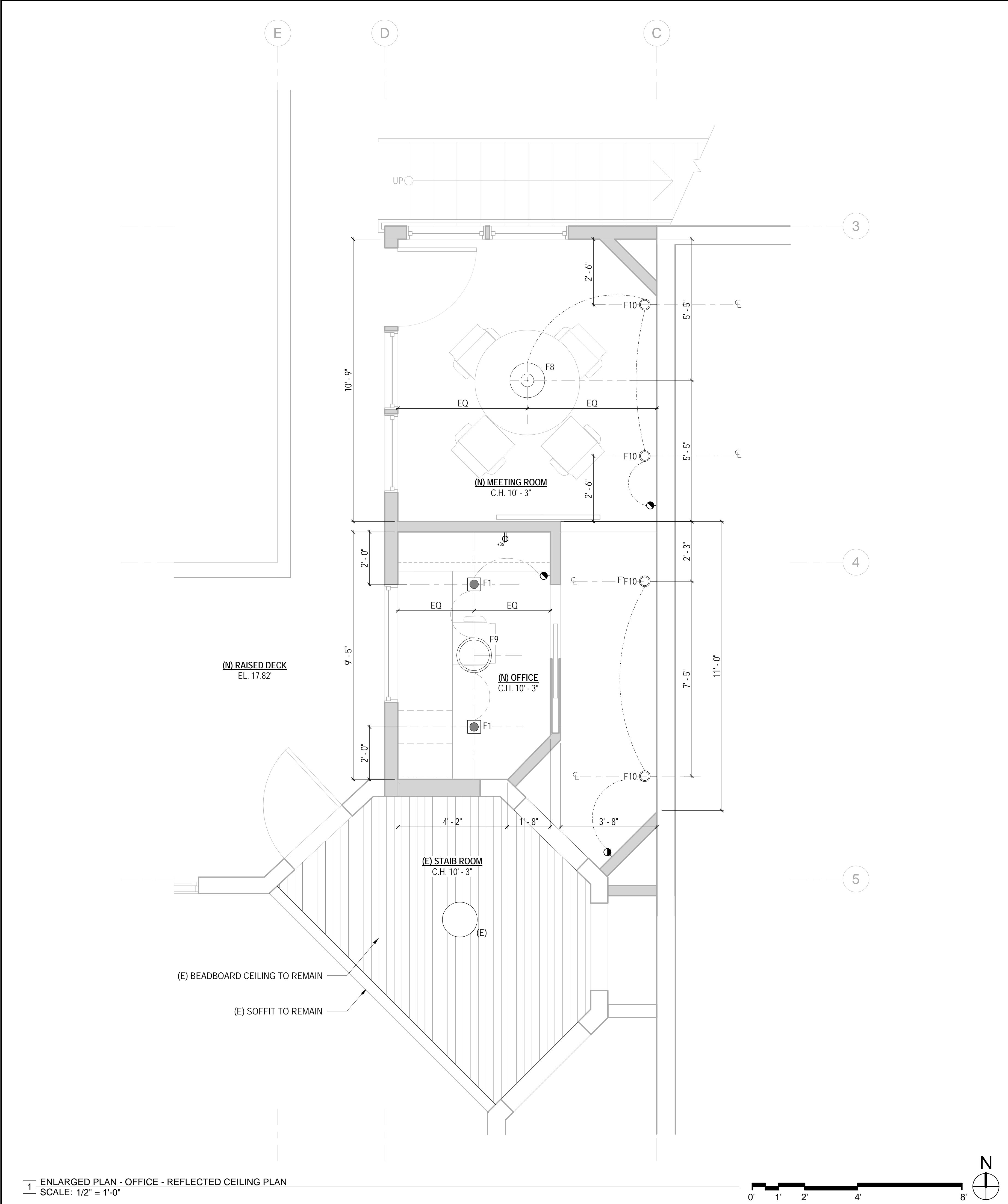


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DRAWN BY:	TL
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F1	4" SQUARE RECESSED DOWNLIGHTS
F2	OWNER PROVIDED LED PENDANT FIXTURE
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F9	OWNER PROVIDED LED SURFACE MOUNT FIXTURE
F10	OWNER PROVIDED WALL SCONCE FIXTURE

- SHEET NOTES
1. REFER TO A0.2 FOR GENERAL NOTES.

2. REFER TO A0.3 FOR SYMBOL LEGEND.

3. REFER TO A6.2 FOR GENERAL CEILING DETAILS.

4. REFER TO A4.1 FOR GYPSUM BOARD CEILING FINISHES.

5. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.

6. GYPSUM BOARD CEILING HEIGHT IS 10'-0" AFF, UON

7. ALL DIMENSIONS FOR LIGHT FIXTURES ARE TO FIXTURE CENTER LINE, UON.

8. CEILING GRILLES AND DIFFUSERS TO BE WHITE IN COLOR, UON.

9. GANG ALL SWITCH PLATE COVERS WHERE PRACTICAL.

10. THERMOSTAT LOCATIONS TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.

11. LOCATION OF ALL NEW DRYWALL CEILING RELATED ITEMS INCLUDING, BUT NOT LIMITED TO, STROBES, SMOKE DETECTORS, SPRINKLERS, ACCESS PANELS, AIR GRILLES, LIGHTS, ETC. TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO BEGINNING OF WORK.

12. PROVIDE CONCEALED TYPE SPRINKLER HEADS AT DRYWALL CEILINGS. CAPS TO BE WHITE, UON.

13. PROVIDE DIMMABLE WALL WASHERS AND DOWN LIGHTS IN, UON.

14. SEE DETAIL 2/- FOR TYPICAL LIGHT SWITCH MOUNTING HEIGHT.

15. AT OPEN CEILINGS: PATCH (E) FIREPROOFING AND PAINT UNDERSIDE OF ALL EXPOSED DECK/FIREPROOFED DECK/ITEMS INCLUDING PIPES, SPRINKLER LINES AND CONDUIT ABOVE 10'-0" BLACK.

16. AT OPEN CEILINGS: ALL EXPOSED DUCTWORK TO BE PAINTED HARD DUCT AND HAVE CLEAR JOINT SEALER. ALL EXPOSED DUCTS TO BE HUNG WITH STRAPS. NO. 8 GAUGE GALVANIZED STEEL WIRE IS NOT ACCEPTABLE. NO FLEX DUCT TO BE INSTALLED IN EXPOSED AREAS. NO DUCTS IN EXPOSED AREAS TO RECEIVE INSULATION WRAP.

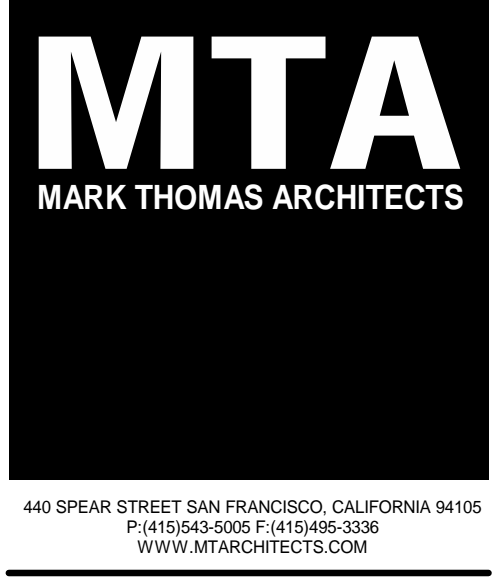
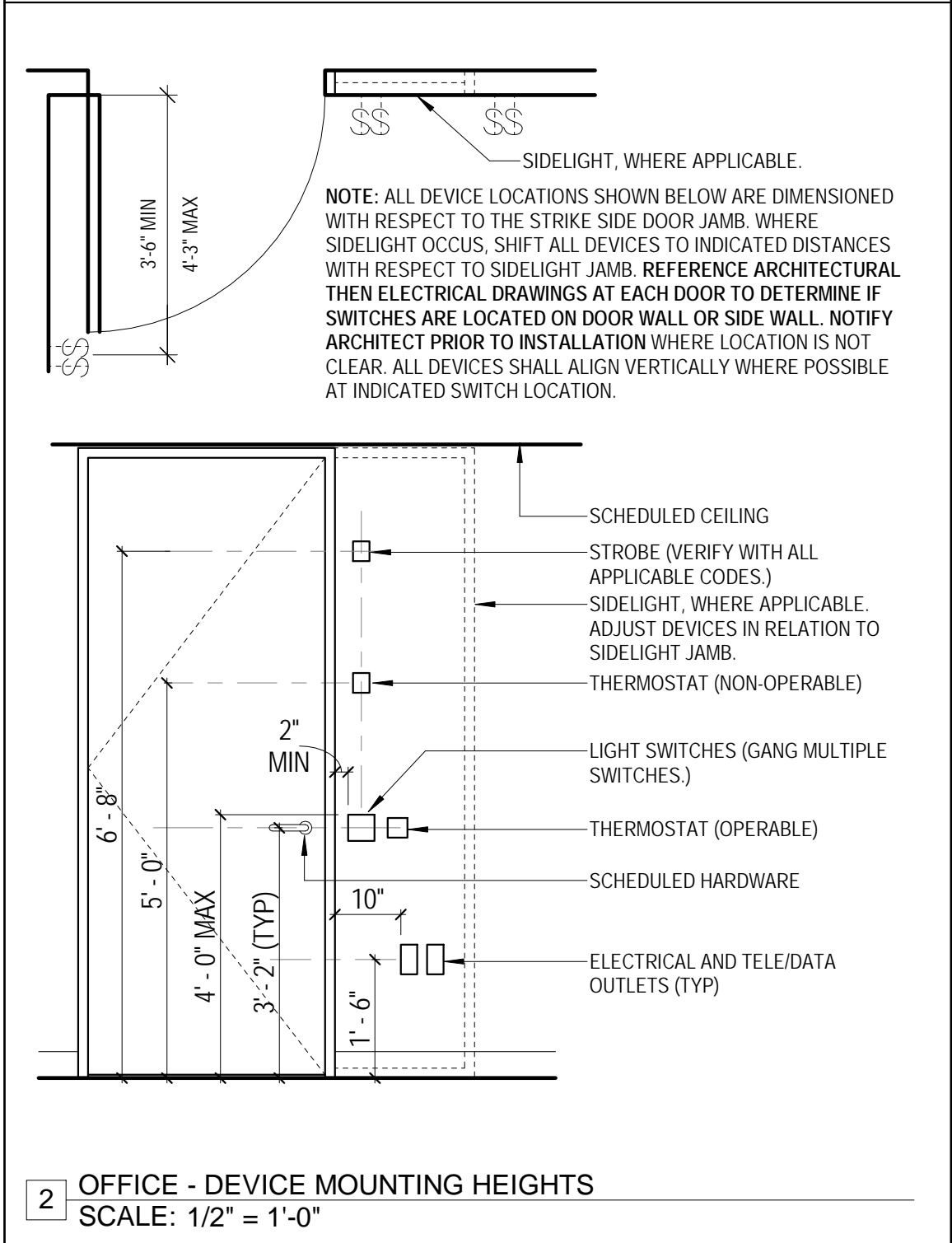
17. AT OPEN CEILINGS: ALL EXPOSED CONDUIT, SPRINKLER LINES AND HVAC DUCT TO RUN PERPENDICULAR TO OFFICE AND EXTERIOR WALLS. GANG EXPOSED CONDUIT RUNS TIGHT TO ONE ANOTHER AND ALIGNED W/ DUCT RUNS OR CABLE TRAY RUNS TO PROVIDE AN ALIGNED AND COLLECTED GROUPING APPEARANCE. RUN CONDUIT AS TIGHT AS POSSIBLE TO UNDERSIDE OF (E) BEAMS.

18. ALL DRYWALL ACCESS PANELS TO INCLUDE A DRYWALL PANEL SYSTEM.

19. ALL J-BOXES LOCATED IN EXPOSED CEILINGS ARE TO BE COORDINATED IN FIELD W/ ARCHITECT.

KEYNOTES E2.3

1	EXISTING SLOPED HORIZONTAL WOOD SOFFIT TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.
2	EXISTING WOOD COVE TO REMAIN. REPAIR AS REQUIRED TO HOUSE NEW LED STRIP LIGHTING.
3	CENTER SCHEDULED PENDANT FIXTURE AT CENTER OF HEXAGON.



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94109
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
ADDENDUM 01	07.12.24

DRAWN BY:	TL
DATE:	06.02.23
SHEET TITLE:	

OFFICE REFLECTED CEILING PLAN

SHEET NUMBER:

E2.3

REV #: DATE: