

DOLPHIN CLUB

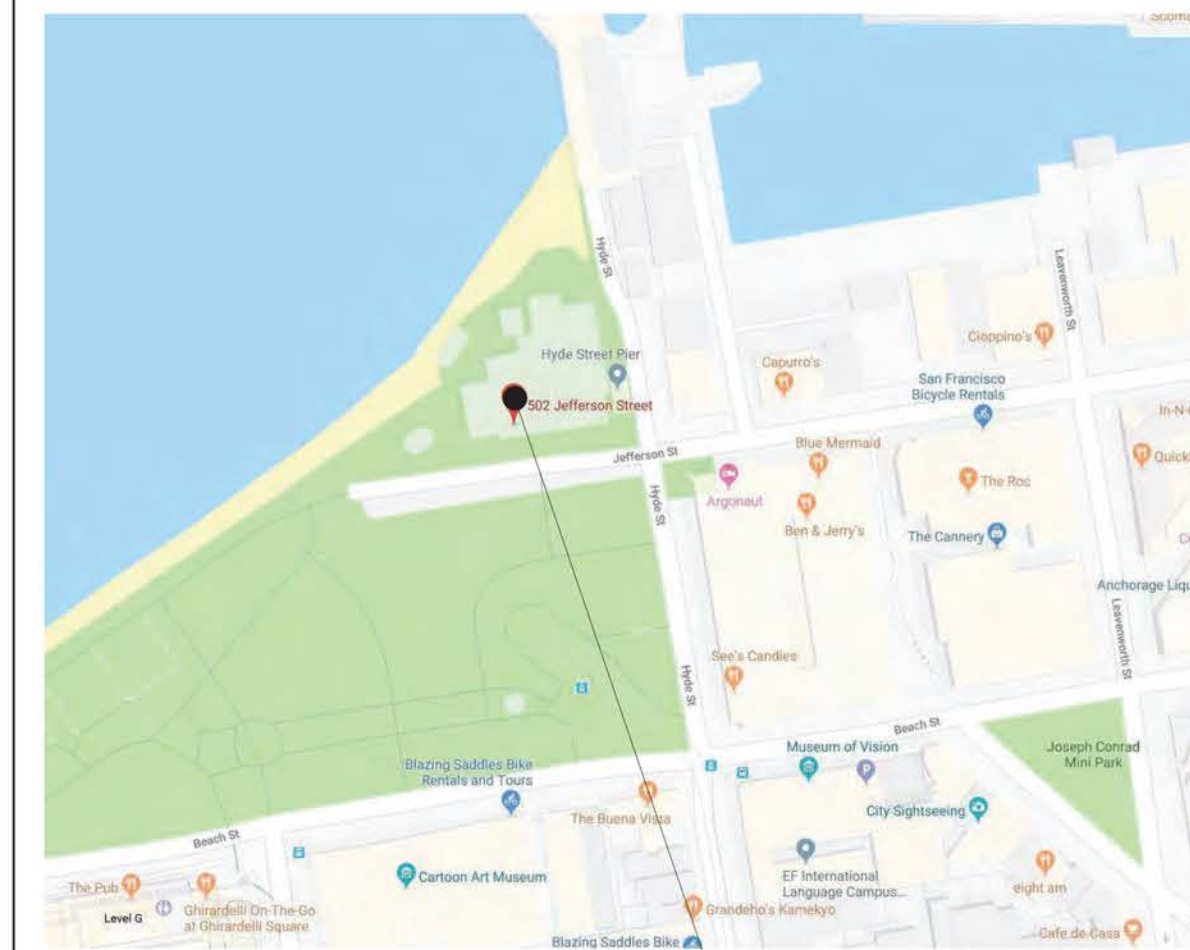
502 JEFFERSON STREET | SAN FRANCISCO | CALIFORNIA 94109

ALTERATIONS AND ADDITIONS

- BUILDING PERMIT SET -



VICINITY MAP



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- S3.2 CUSTOM DETAILS

PROJECT DATA

PROJECT DESCRIPTION

LIMITED EXTERIOR ALTERATIONS AND INTERIOR REMODELING TO AN EXISTING 2-STORY WOOD FRAME (TYPE VB) BUILDING THAT IS FULLY SPRINKLERED:

FIRST FLOOR:

- A. DEMOLISH AND RE-BUILD EXISTING 1-STORY WEIGHT ROOM IN LIKE-KIND, SAME FOOTPRINT, APPROX. 764 S.F.
- B. DEMOLISH AND RE-BUILD EXISTING GALLEY (KITCHEN) IN LIKE-KIND, SAME SIZE, APPROX. 204 S.F.

SECOND FLOOR:

- A. NEW ROOF DECK ON TOP OF RE-BUILT WEIGHT ROOM, APPROX. 189 S.F.
- B. EXTEND EXISTING EGRESS STAIRS TO NEW ROOF DECK.
- C. 2ND FLOOR HORIZONTAL ADDITION FOR NEW OFFICE SPACE, APPROX. 133 S.F.
- D. NEW DECK, APPROX. 327 S.F.

ROOF:

- A. REMOVE AND REPLACE ACCESS STAIR TO (E) CUPOLA.

ELEVATOR UPGRADE:

- A. REPLACE (E) ELEVATOR WITHIN EXISTING ELEVATOR SHAFT.

1. PROJECT ADDRESS:
502 JEFFERSON STREET
SAN FRANCISCO, CA 94109

PLANNING DEPARTMENT DATA

2. PROPERTY BLOCK: 0405
3. ZONING: P - PUBLIC
4. MAXIMUM HEIGHT: OS
5. EXISTING PARKING: NONE
6. PROPOSED EXCAVATION: NONE

BUILDING DEPARTMENT DATA

- | | | |
|----------------------|-----------------|-----------------|
| 7. OCCUPANCY: | EXISTING | PROPOSED |
| 8. CONSTRUCTION TYPE | A-3 | A-3 (NO CHANGE) |
| 9. STORIES | 2-STORIES | 2-STORIES |
| 10. BUILDING AREA | 18,218 SF | 18,429 SF |
| 11. SPRINKLERS: | FULLY SPRINKLED | FULLY SPRINKLED |

DEFERRED SUBMITTALS

1. FIRE SPRINKLER DRAWINGS AND CALCULATIONS
2. MEP ENGINEERING
3. STRUCTURAL ENGINEERING

GOVERNING CODES

ALL WORK SHALL BE IN COMPLIANCE WITH ALL STATE AND LOCAL CODES, INCLUDING THE FOLLOWING:
 2019 CALIFORNIA BUILDING CODE (W/ LOCAL AMENDMENTS)
 2019 CALIFORNIA MECHANICAL CODE (W/ LOCAL AMENDMENTS)
 2019 CALIFORNIA PLUMBING CODE (W/ LOCAL AMENDMENTS)
 2019 CALIFORNIA ELECTRICAL CODE (W/ LOCAL AMENDMENTS)
 2019 CALIFORNIA ENERGY CODE (W/ LOCAL AMENDMENTS)
 2019 CALIFORNIA FIRE CODE (W/ LOCAL AMENDMENTS)

AREA CALCULATIONS

BUILDING GROSS FLOOR AREA

FLOOR LEVEL	EXISTING	PROPOSED
1ST FLOOR	9,517 SF	9,517 SF
BOAT STORAGE	848 SF	848 SF
SAUNA	78 SF	78 SF
2ND FLOOR	8,044 SF	8,177 SF (+133 SF)
3RD FLOOR (EXISTING CUPOLA)	139 SF	139 SF
TOTAL	18,626 SF	18,759 SF

PROJECT DIRECTORY

OWNER

SAN FRANCISCO REC AND PARK
 501 STANYAN STREET
 SAN FRANCISCO, CA 94117
 E: RPDINFO@SFGOV.ORG

ARCHITECT

MARK THOMAS
 MARK THOMAS ARCHITECTS
 440 SPEAR STREET
 SAN FRANCISCO, CA 94105
 P: 415.543.5005 x2
 E: MARK@MTARCHITECTS.COM

TENANT

DIANE WALTON
 DOLPHIN CLUB
 502 JEFFERSON STREET
 SAN FRANCISCO, CA 94109
 P: 415.441.9329
 E: PRESIDENT@DOLPHINCLUB.ORG

STRUCTURAL ENGINEER

JOHN YADEGAR
 SIMPLENGINEERING
 2341 CARLETON STREET
 BERKELEY, CA 94704
 P: 415.754.3644 x700
 E: JYADEGAR@SIMPLENGI.COM

DOLPHIN CLUB ALTERATIONS & ADDITION

502 JEFFERSON STREET
 SAN FRANCISCO, CA 94100
 BLOCK: 0405 LOT: 004

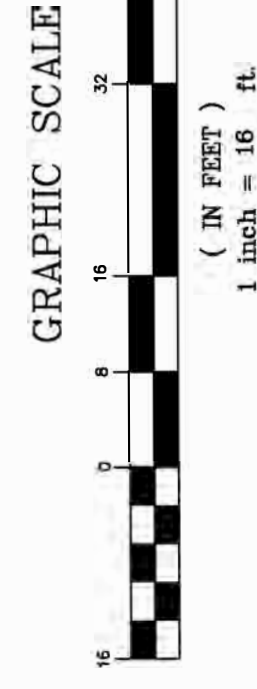
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

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 SHEET TITLE:

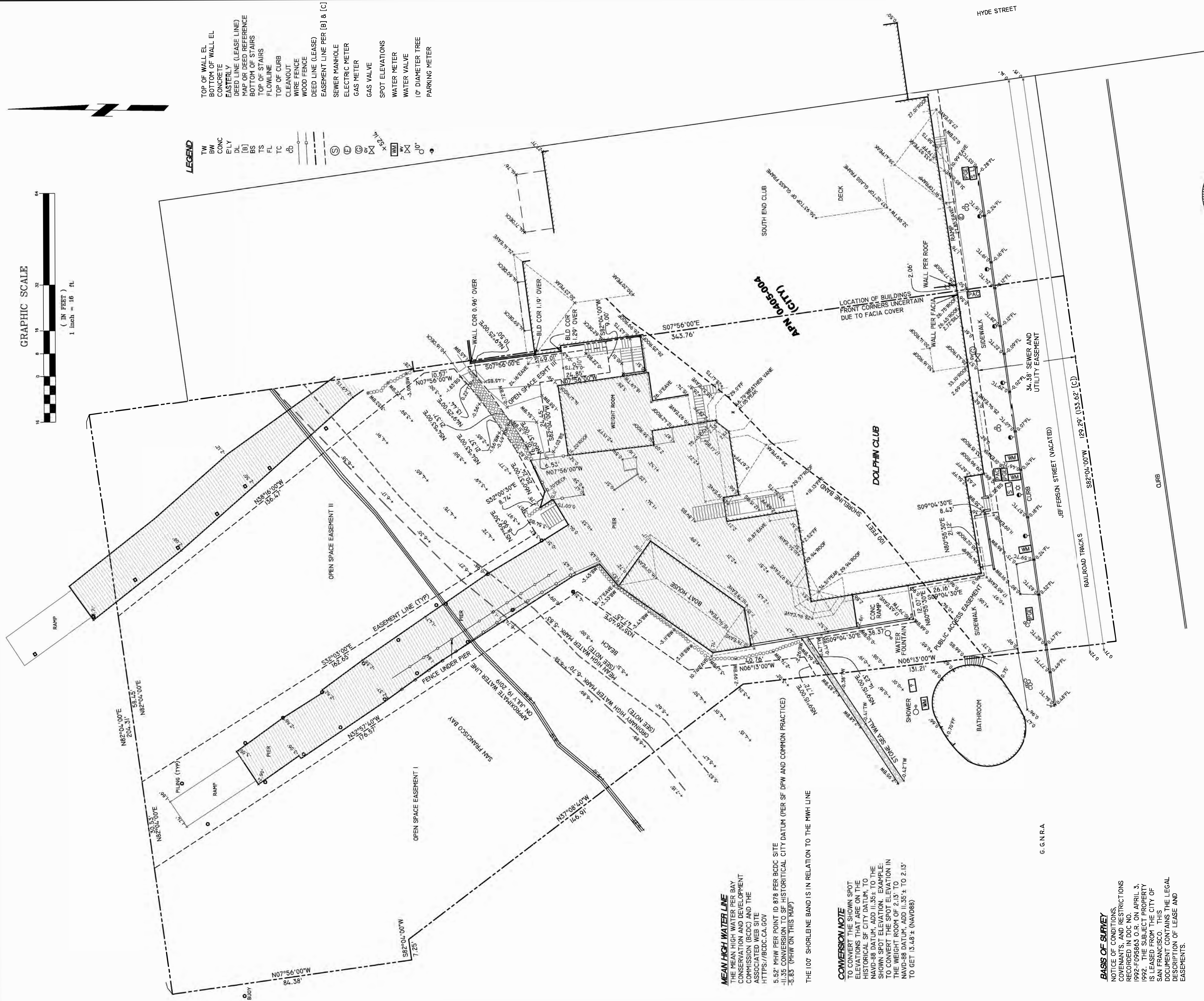
COVER SHEET

SHEET NUMBER:

A0.0



- LEGEND**
- TW TOP OF WALL EL.
 - BW BOTTOM OF WALL EL.
 - CONC CONCRETE
 - DLY DILLY
 - FASTENERS
 - MAP OR DEED REFERENCE
 - (B) BOTTOM OF STAIRS
 - TS TOP OF STAIRS
 - FL FLOWLINE
 - TC TOP OF CURB
 - CB CLEANOUT
 - WF WIRE FENCE
 - WF WOOD FENCE
 - DEED LINE (LEASE)
 - EASEMENT LINE PER (B) & (C)
 - SM SEWER MANHOLE
 - EM ELECTRIC METER
 - GM GAS METER
 - GV GAS VALVE
 - SE SPOT ELEVATIONS
 - WM WATER METER
 - WV WATER VALVE
 - 10" 10" DIAMETER TREE
 - PM PARKING METER



SITE SURVEY
OF
THE DOLPHIN CLUB
502 JEFFERSON STREET
CITY OF SAN FRANCISCO

PREPARED AT THE REQUEST OF
DIANE WALTON, PRESIDENT OF THE DOLPHIN CLUB
COUNTY OF SAN FRANCISCO
SCALE 1"=16'

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GEOMETRIX INC.
SURVEYING ENGINEERING INC.
6134 CALIFORNIA STREET
SAN FRANCISCO, CA 94118
(415) 422-0827
LOU@GEOMETRIXSURVEY.COM
WWW.GEOMETRIXSURVEY.COM

PROJECT NO. 19020	FIELD SURVEY DATE 07-19-19
REVISION 3 03-20-23	DRAWN BY: LC
REVISED: ADDED CONVERS ON NOTE	PAGE 1 OF 1

MEAN HIGH WATER LINE
THE MEAN HIGH WATER LINE FOR SAN FRANCISCO BAY IS THE MEAN HIGH WATER LINE ESTABLISHED BY THE COMMISSION (BCDC) AND THE ASSOCIATED WEB SITE: [HTTPS://BCDC.CA.GOV](https://bcdd.ca.gov)
5.57' MHW PER POINT ID 878 PER BDCD SITE
11.35' CONVERSION TO SF HISTORICAL CITY DATUM (PER SF DPW AND COMMON PRACTICE)
-3.83' (MHW ON THIS MAP)

THE 100' SHORLINE BAND IS IN RELATION TO THE MHW LINE

CONVERSION NOTE
TO CONVERT THE SHOWN SPOT ELEVATIONS THAT ARE ON THE HISTORICAL SF CITY DATUM, TO NAVD-88 DATUM, ADD 11.35± TO THE SHOWN SPOT ELEVATION. (EXAMPLE: TO THE MEAN HIGH WATER ELEVATION IN THE WEIGHT ROOM OF 2.13' TO NAVD-88 DATUM, ADD 11.35± TO 2.13' TO GET 13.48± (NAVD88))

BASIS OF SURVEY
NOTICE OF CONDITIONS, COVENANTS, AND RESTRICTIONS RECORDED IN DOC NO. 1992-F095863 O.R. ON APRIL 3, 1992. THE SUBJECT PROPERTY IS LEASED FROM THE CITY OF SAN FRANCISCO. THIS DOCUMENT CONTAINS THE LEGAL BASIS OF LEASE AND EASEMENTS.

BASIS OF ELEVATION
FOUND CITY BENCH MARK AT THE SE CORNER OF THE INTERSECTION OF HYDE STREET AND JEFFERSON ST., "CROW CUT" S RIM OF GRATE MH, EL-3.081', HISTORICAL CITY AND COUNTY OF SAN FRANCISCO DATUM.

GENERAL NOTES

- (1) ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.
- (2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- (3) PRIOR TO ANY DIGGING, CALL 811 AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.
- (4) GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY.
- (5) ENCROACHMENT UPON AND BY THE ADJOINING PRIVATE PROPERTY(IES) ARE HEREBY NOTED AND IT SHALL BE THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUE WHICH MAY ARISE THEREFROM.
- (6) THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF DOLPHIN CLUB. USE BY ANY OTHER PARTY FOR ANY PURPOSE IS NOT PERMITTED.
- (7) ROOF/EAVE ELEVATIONS WERE TAKEN AT HIGHEST RELEVANT POINT(S) VISIBLE FROM THE GROUND.
- (8) SINCE A CURRENT POLICY OF TITLE INSURANCE WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY, THE CONSULTANT IS NOT RESPONSIBLE FOR THE OMISSION HEREON OF ANY FACTS WHICH WOULD NORMALLY BE DISCLOSED BY SUCH A POLICY.
- (9) A RECORD OF SURVEY IS BEING FILED AS REQUIRED BY SECTION 8762 OF THE LAND SURVEYORS ACT.
- (10) THE ORDINARY HIGH WATER MARK IS 6.70 FEET BELOW THE SAN FRANCISCO H STOR CAL DATUM (0.00) PER SF DPW WEBSITE, AND IS SHOWN HEREON IN AN APPROXIMATE LOCATION.

REFERENCES

- THE FOLLOWING DOCUMENTS WERE REVIEWED AS A PART OF THE SURVEY. MAP REFERENCES UTILIZED IN THE OPINION ARE SHOWN NEXT TO THE RELEVANT DIMENSIONS IN BRACKETS [].
- (A) MONUMENT MAP NO. 10 ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR OF SAN FRANCISCO.
 - (B) UNRECORDED SURVEY OF "DOLPHIN CLUB EASEMENTS SURVEY" DATED DEC 20, 1991, BY LOGAN.
 - (C) NOTICE OF CONDITIONS, COVENANTS AND RESTRICTIONS RECORDED IN DOC NO. 1992-F095863 O.R. ON APRIL 3RD, 1992. (SUBJECT LEASE)
 - (D) PERMIT NO. M1993-02105 FILED IN DOC NO. 2016-K286564-00 O.R. (SOUTH END CLUB)
 - (E) UNITED STATES DEPARTMENT OF THE INTERIOR, BUREAU OF LAND MANAGEMENT, "MANAGED LANDS OF CALIFORNIA, 1987"
 - (F) UNRECORDED MAP NO. 10 ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR OF SAN FRANCISCO.

CONSTRUCTION SYMBOLS

- ROOM TAG
-
- DETAIL REFERENCE
- ELEVATION REFERENCE
- REVISION DELTA
- HATCHED AREA NOT IN CONTRACT (NIC)
- DOOR TAG
- WALL TAG
- GLAZING TAG
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- DIMENSION
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REFLECTED CEILING SYMBOLS

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POWER-SIGNAL SYMBOLS

WALL SYMBOLS (*) DENOTES TIED TO OCCUPANCY SENSOR

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FLOOR SYMBOLS - ABOVE SLAB SYMBOLS

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FLOOR SYMBOLS - FLOOR CORE SYMBOLS

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MISC. SYMBOLS - SWITCHING AND CONTROLS

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FINISH SYMBOLS

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MISC. SYMBOLS

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DOLPHIN CLUB
ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

SYMBOLS LEGEND

SHEET NUMBER:

A0.3



DOLPHIN CLUB
ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
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REVISION 03	05.09.23
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BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

DEMOLITION CALCULATION PLANS

SHEET NUMBER:

A0.4

SECTION 317

WALL DEMOLITION CALCULATION (LINEAR FOOTAGE MEASUREMENT) SEC. 317(b)(2)(B)

ELEMENTS	(E) LENGTH (LF)	WALL REMOVED (LF) (MEASURED AT FOUNDATION LEVEL)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	101' - 3" LF	0' - 0" LF	0 %	50 %	YES
NORTH (REAR) FACADE	101' - 3" LF	24' - 7" LF	24 %		
TOTALS (SOUTH & NORTH)	202' - 6" LF	24' - 7" LF	12 %		
TOTAL SOUTH & NORTH ELEMENTS REMOVED = 12 %					
EAST FACADE	142' - 8" LF	30' - 6" LF	21 %	65 %	YES
WEST FACADE	142' - 8" LF	51' - 7" LF	36 %		
TOTALS (EAST & WEST)	284' - 4" LF	82' - 1" LF	29 %		
TOTAL ALL SIDES	486' - 10" LF	106' - 8" LF	22 %		
TOTAL ALL SIDES ELEMENTS TO BE REMOVED = 22 %					

WALL DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)

VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	50 %	YES
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %		
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 9 %					

FLOOR DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)

HORIZONTAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	9,491 SF	962 SF	10 %	50 %	YES
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %		
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 10 %					

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 317 (2) (B)&(C)

SECTION 1005

WALL REMOVAL >25% OF THE SURFACE OF ALL EXTERNAL WALLS FACING A PUBLIC STREET(S) SEC. 1005(f)1

VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	25 %	YES
TOTALS	3,066 SF	0 SF	0 %		
TOTAL SURFACE OF EXTERNAL WALLS FACING STREET TO BE REMOVED = 0 %					

REMOVAL OF MORE THAN 50% OF ALL EXTERNAL WALLS FROM THEIR FUNCTIONS AS ALL EXTERNAL WALLS 1005(f)2

VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	50 %	YES
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %		
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 9 %					

REMOVAL OF MORE THAN 25% OF EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS SEC.1005(f)3

VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
NORTH (REAR) FACADE	3,066 SF	0 SF	0 %	25 %	YES
SOUTH (FRONT) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %		
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 9 %					

REMOVAL OF MORE THAN 75% OF ALL INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES SEC.1005(f)4

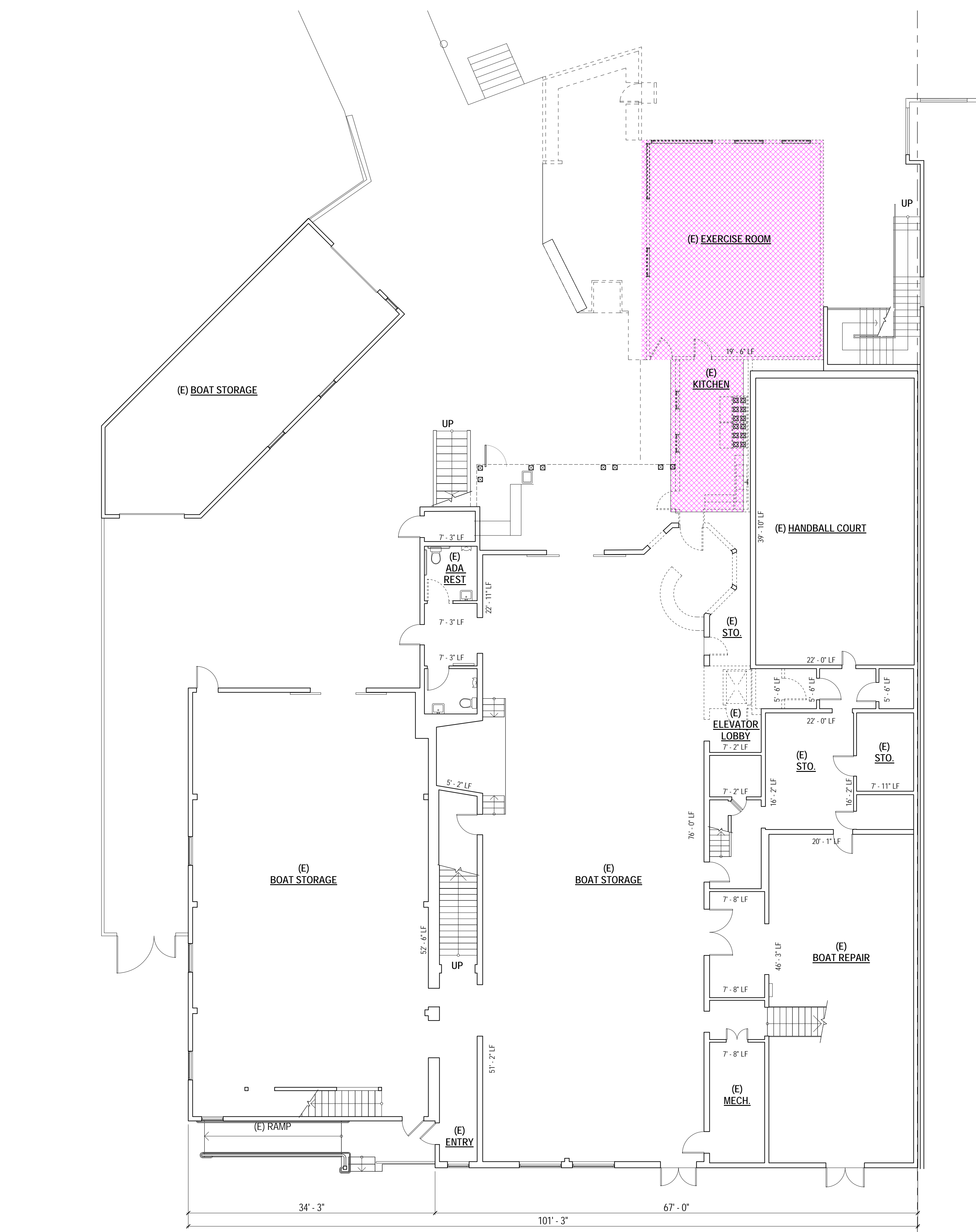
STRUCTURAL WALL	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	5,158 SF	248 SF	5 %	75 %	YES
FLOOR 02	3,499 SF	117 SF	3 %		
FLOOR 03	0 SF	0 SF	0 %		
TOTALS	8,657 SF	365 SF	4 %		

FLOOR AREA	AREA (SF)	AREA REMOVED (SF)	% REMOVED
FLOOR 01	9,491 SF	962 SF	10 %
FLOOR 02	7,739 SF	111 SF	1 %
FLOOR 03	140 SF	0 SF	0 %
ROOF	9,568 SF	898 SF	9 %
TOTALS	26,938 SF	1,971 SF	7 %
TOTALS ALL STRUCTURAL FRAMEWORK/FLOOR PLATES TO BE REMOVED = 7 %			

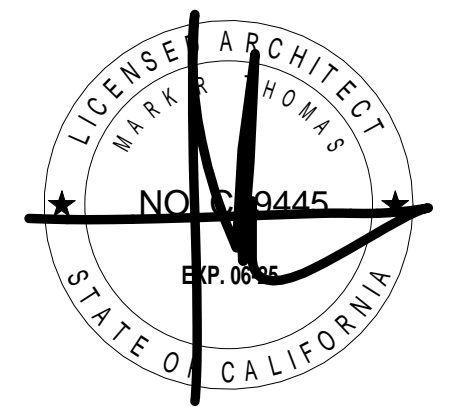
THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 1005(f)(1)(2)(3)(4)

DEMOLITION NOTES

- ALL DEMOLITION WORK TO COMPLY WITH SFBC CH13B - CONSTRUCTION AND DEBRIS RECOVERY PROGRAM.
- DEMOLITION OTHER THAN THAT EXPLICITLY STATED AND SHOWN ON THE ARCHITECTURAL DEMO PLANS IS ILLEGAL UNDER P.C. 317 AND ANY MODIFICATIONS REQUIRE A PERMIT REVISION AND APPROVAL FROM THE SF PLANNING DEPARTMENT.



1 FLOOR 01 - EXISTING/DEMOLITION PLAN CALC
SCALE: 1/8" = 1'-0"



DOLPHIN CLUB

ALTERATIONS & ADDITION

**502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004**

ISSUE:	DATE:
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DRAWN BY: TL
SHEET TITLE:

DEMOLITION CALCULATION PLANS

SHEET NUMBER:

A0.5

SECTION 317

WALL DEMOLITION CALCULATION (LINEAR FOOTAGE MEASUREMENT) SEC. 317(b)(2)(B)					
ELEMENTS	(E) LENGTH (LF)	WALL REMOVED (LF) (MEASURED AT FOUNDATION LEVEL)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	101' - 3" LF	0' - 0" LF	0 %	50 %	YES
NORTH (REAR) FACADE	101' - 3" LF	24' - 7" LF	24 %		
TOTALS (SOUTH & NORTH)	202' - 6" LF	24' - 7" LF	12 %		
TOTAL SOUTH & NORTH ELEMENTS REMOVED = 12 %					
EAST FACADE	142' - 8" LF	30' - 6" LF	21 %	65 %	YES
WEST FACADE	142' - 8" LF	51' - 7" LF	36 %		
TOTALS (EAST & WEST)	284' - 4" LF	82' - 1" LF	29 %		
TOTAL ALL SIDES	486' - 10" LF	106' - 8" LF	22 %		
TOTAL ALL SIDES ELEMENTS TO BE REMOVED = 22 %					

WALL DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	50 %	YES
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %		
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 9 %					

FLOOR DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)					
HORIZONTAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	9,491 SF	962 SF	10 %	50 %	YES
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %		
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 10 %					

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 317 (2) (B)&(C)

SECTION 1005

WALL REMOVAL >25% OF THE SURFACE OF ALL EXTERNAL WALLS FACING A PUBLIC STREET(S) SEC. 1005(f)1					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	25 %	YES
TOTALS	3,066 SF	0 SF	0 %		
TOTAL SURFACE OF EXTERNAL WALLS FACING STREET TO BE REMOVED = 0 %					

REMOVAL OF MORE THAN 50% OF ALL EXTERNAL WALLS FROM THEIR FUNCTIONS AS ALL EXTERNAL WALLS 1005(f)2					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	50 %	YES
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %		
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 9 %					

REMOVAL OF MORE THAN 25% OF EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS SEC.1005(f)3					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
NORTH (REAR) FACADE	3,066 SF	0 SF	0 %	25 %	YES
SOUTH (FRONT) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %		
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 9 %					

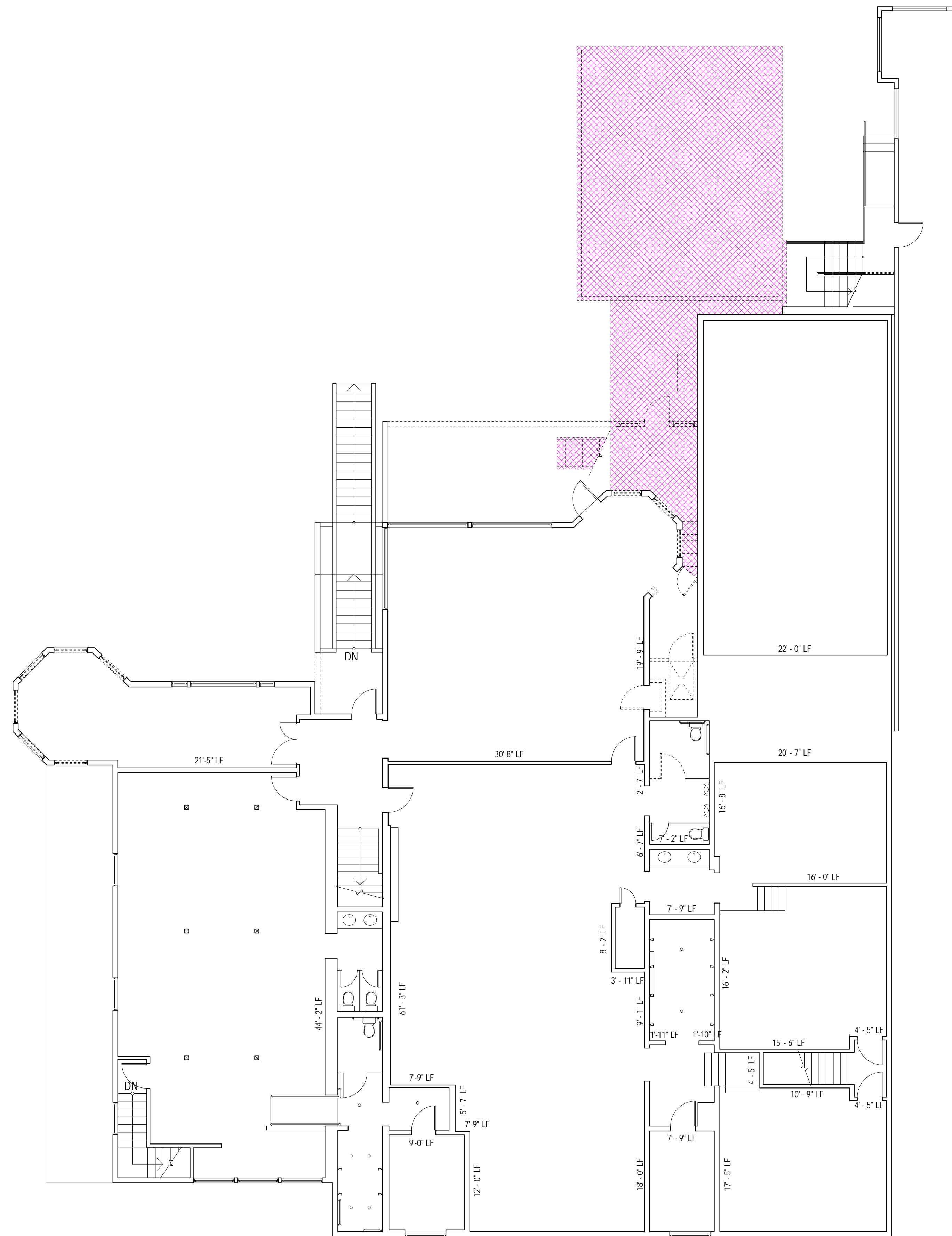
REMOVAL OF MORE THAN 75% OF ALL INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES SEC.1005(f)4					
STRUCTURAL WALL	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	5,158 SF	248 SF	5 %	75 %	YES
FLOOR 02	3,499 SF	117 SF	3 %		
FLOOR 03	0 SF	0 SF	0 %		
TOTALS	8,657 SF	365 SF	4 %		

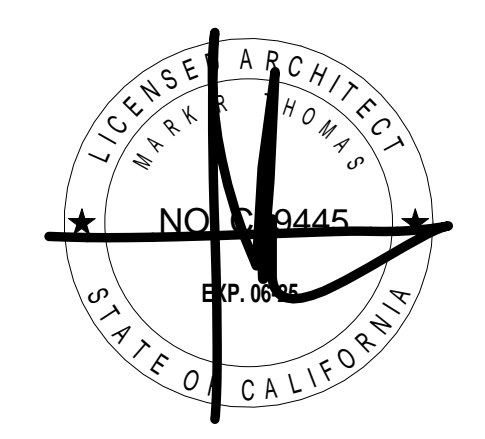
FLOOR AREA	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	9,491 SF	962 SF	10 %	75 %	YES
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %		
TOTALS ALL STRUCTURAL FRAMEWORK/FLOOR PLATES TO BE REMOVED = 7 %					

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 1005(f)(1)(2)(3)(4)

DEMOLITION NOTES

- ALL DEMOLITION WORK TO COMPLY WITH SFBC CH13B - CONSTRUCTION AND DEBRIS RECOVERY PROGRAM.
- DEMOLITION OTHER THAN THAT EXPLICITLY STATED AND SHOWN ON THE ARCHITECTURAL DEMO PLANS IS ILLEGAL UNDER P.C. 317 AND ANY MODIFICATIONS REQUIRE A PERMIT REVISION AND APPROVAL FROM THE SF PLANNING DEPARTMENT.





DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

DEMOLITION CALCULATION PLANS

SHEET NUMBER:

A0.6

SECTION 317

WALL DEMOLITION CALCULATION (LINEAR FOOTAGE MEASUREMENT) SEC. 317(b)(2)(B)					
ELEMENTS	(E) LENGTH (LF)	WALL REMOVED (LF) (MEASURED AT FOUNDATION LEVEL)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	101' - 3" LF	0' - 0" LF	0 %	50 %	YES
NORTH (REAR) FACADE	101' - 3" LF	24' - 7" LF	24 %		
TOTALS (SOUTH & NORTH)	202' - 6" LF	24' - 7" LF	12 %		
TOTAL SOUTH & NORTH ELEMENTS REMOVED = 12 %					
EAST FACADE	142' - 8" LF	30' - 6" LF	21 %	65 %	YES
WEST FACADE	142' - 8" LF	51' - 7" LF	36 %		
TOTALS (EAST & WEST)	284' - 4" LF	82' - 1" LF	29 %		
TOTAL ALL SIDES	486' - 10" LF	106' - 8" LF	22 %		
TOTAL ALL SIDES ELEMENTS TO BE REMOVED = 22 %					

WALL DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	50 %	YES
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %		
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 9 %					

FLOOR DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)					
HORIZONTAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	9,491 SF	962 SF	10 %	50 %	YES
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %		
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 10 %					

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 317 (2) (B)&(C)

SECTION 1005

WALL REMOVAL >25% OF THE SURFACE OF ALL EXTERNAL WALLS FACING A PUBLIC STREET(S) SEC. 1005(f)1					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	25 %	YES
TOTALS	3,066 SF	0 SF	0 %		
TOTAL SURFACE OF EXTERNAL WALLS FACING STREET TO BE REMOVED = 0 %					

REMOVAL OF MORE THAN 50% OF ALL EXTERNAL WALLS FROM THEIR FUNCTIONS AS ALL EXTERNAL WALLS 1005(f)2					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %	50 %	YES
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %		
TOTAL VERTICAL ELEMENTS TO BE REMOVED = 9 %					

REMOVAL OF MORE THAN 25% OF EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS SEC.1005(f)3					
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
NORTH (REAR) FACADE	3,066 SF	0 SF	0 %	25 %	YES
SOUTH (FRONT) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %		
TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 9 %					

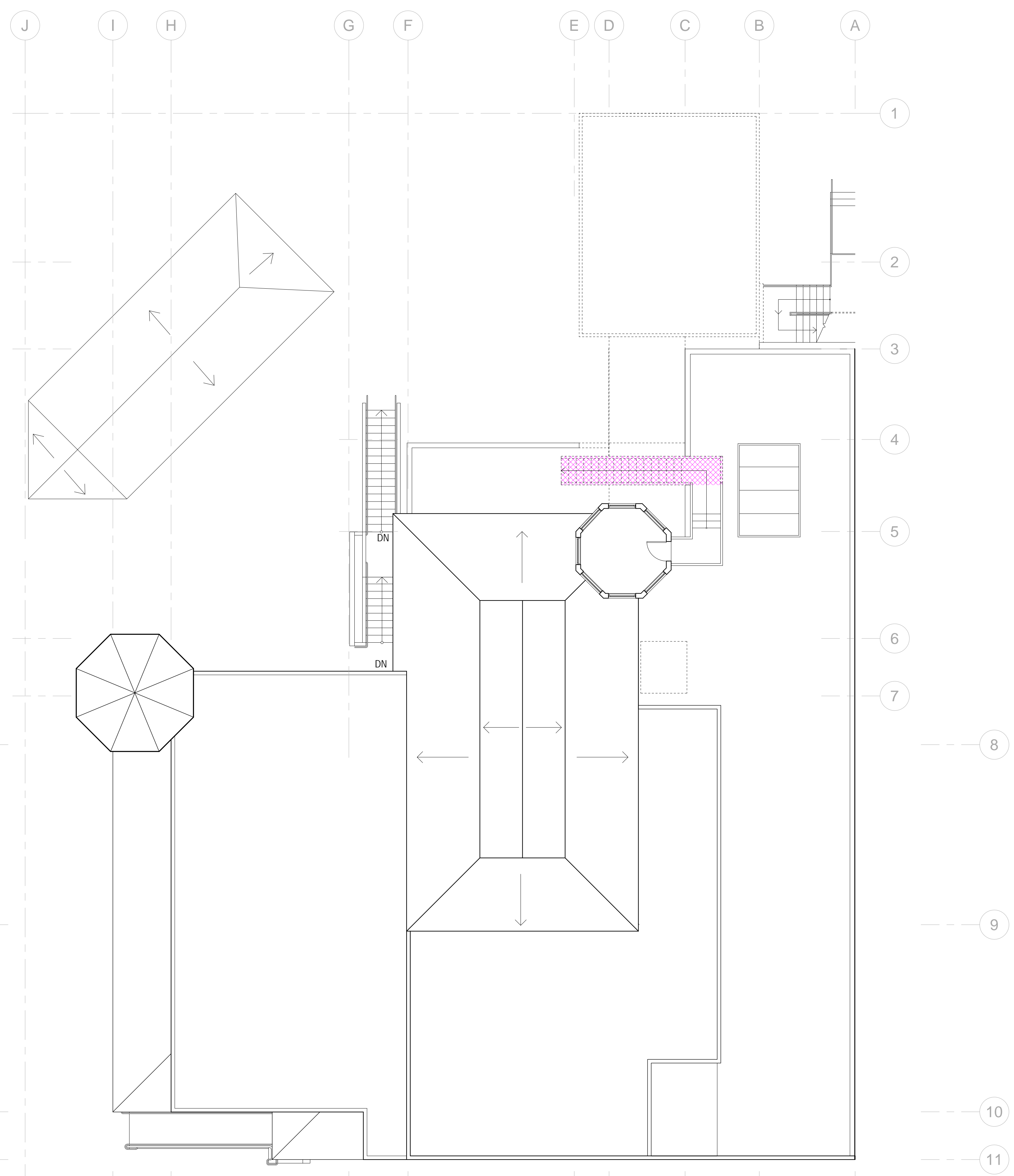
REMOVAL OF MORE THAN 75% OF ALL INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES SEC.1005(f)4					
STRUCTURAL WALL	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	5,158 SF	248 SF	5 %	75 %	YES
FLOOR 02	3,499 SF	117 SF	3 %		
FLOOR 03	0 SF	0 SF	0 %		
TOTALS	8,657 SF	365 SF	4 %		

FLOOR AREA	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	9,491 SF	962 SF	10 %	75 %	YES
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %		
TOTALS ALL STRUCTURAL FRAMEWORK/FLOOR PLATES TO BE REMOVED = 7 %					

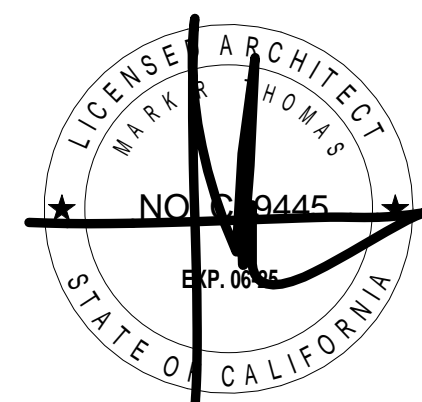
THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 1005(f)(1)(2)(3)(4)

DEMOLITION NOTES

- ALL DEMOLITION WORK TO COMPLY WITH SFBC CH13B - CONSTRUCTION AND DEBRIS RECOVERY PROGRAM.
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1 FLOOR 03 - EXISTING / DEMOLITION PLAN CALC
SCALE: 1/8" = 1'-0"



DOLPHIN CLUB

ALTERATIONS & ADDITION

**502 JEFFERSON STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004**

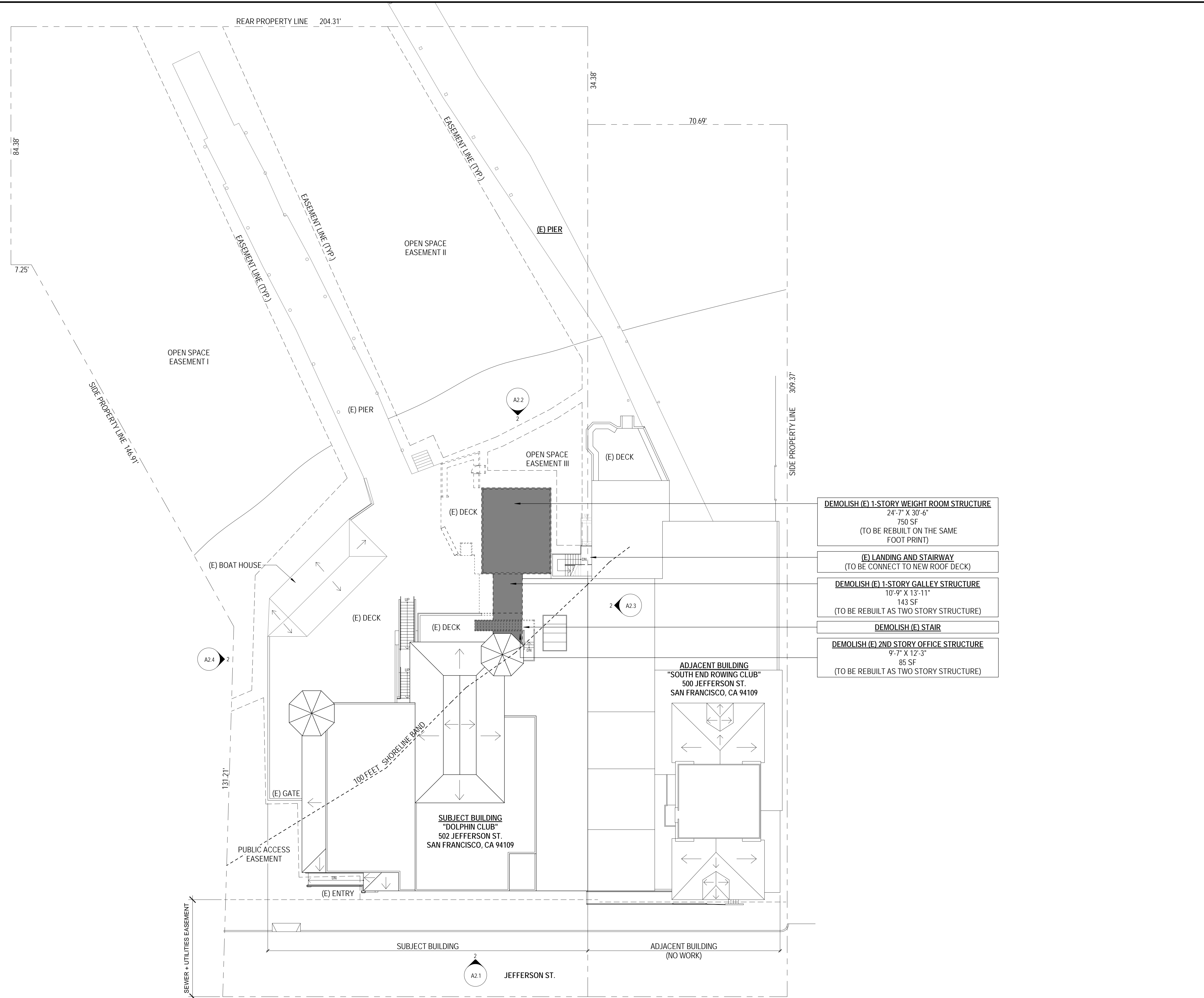
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

EXISTING SITE PLAN

SHEET NUMBER:

A0.7



- DEMOLISH (E) 1-STORY WEIGHT ROOM STRUCTURE**
24'-7" X 30'-6"
750 SF
(TO BE REBUILT ON THE SAME FOOT PRINT)
- (E) LANDING AND STAIRWAY**
(TO BE CONNECT TO NEW ROOF DECK)
- DEMOLISH (E) 1-STORY GALLEY STRUCTURE**
10'-9" X 13'-11"
143 SF
(TO BE REBUILT AS TWO STORY STRUCTURE)
- DEMOLISH (E) STAIR**
- DEMOLISH (E) 2ND STORY OFFICE STRUCTURE**
9'-7" X 12'-3"
85 SF
(TO BE REBUILT AS TWO STORY STRUCTURE)



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

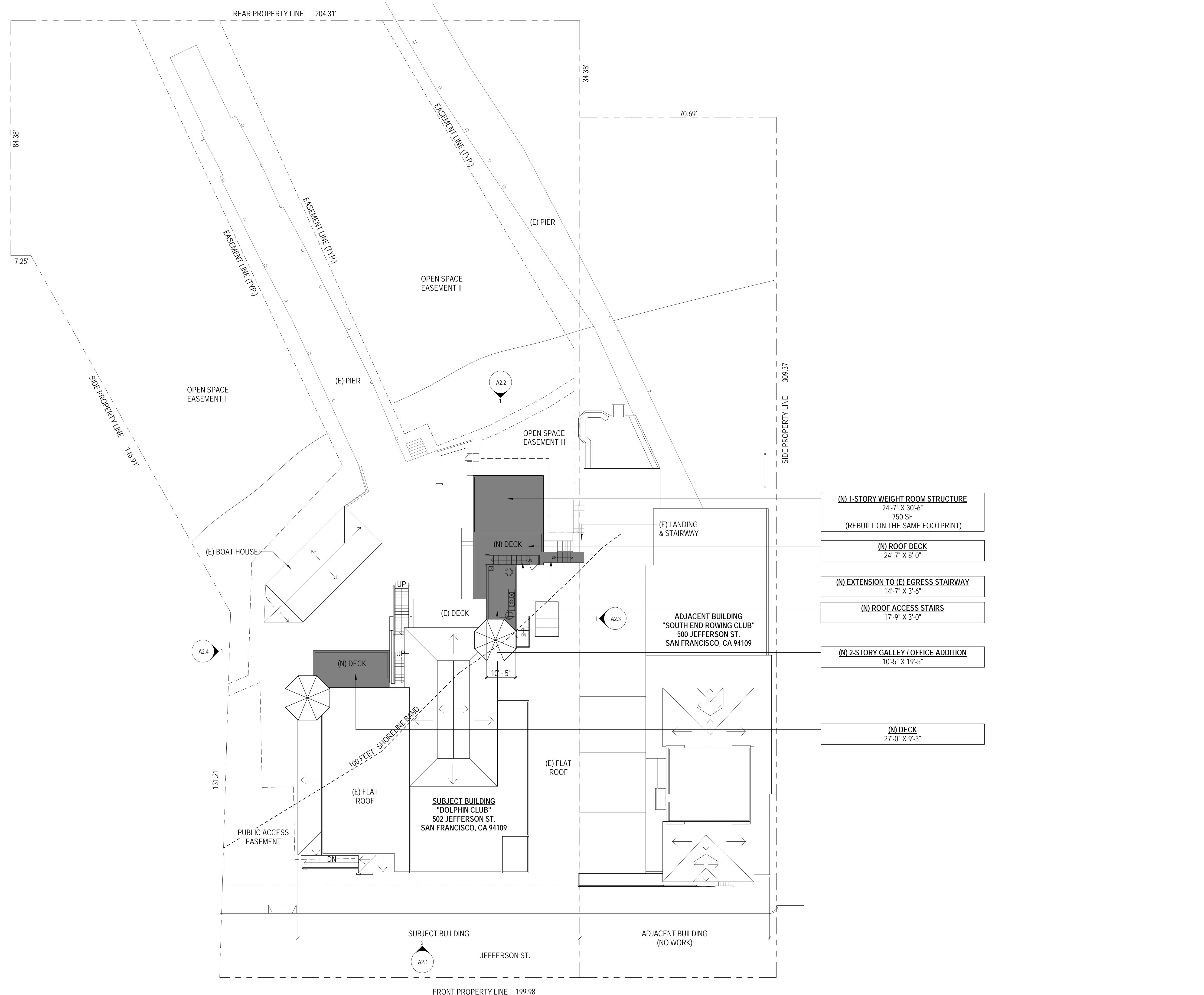
ISSUE:	DATE:
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REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

PROPOSED SITE PLAN

SHEET NUMBER:

A0.8





DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
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REVISION 01	09.15.22
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REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

EXIT ANALYSIS

SHEET NUMBER:

A0.9

SYMBOL LEGEND

- DIRECTION OF EGRESS TRAVEL
- DIRECTION OF EGRESS TRAVEL
- EXIT SIGN
- EXIT** EXIT

OCCUPANCY CALCULATION - FLOOR 01

ROOM #	ROOM NAME	SF	FACTOR	OCCs
100	ENTRY HALL	198 SF	100 SF	2
101	(E) BOAT STORAGE	2629 SF	300 SF	9
102	MECH	128 SF	300 SF	0
103	BOAT REPAIR	1033 SF	100 SF	10
104	(E) STORAGE	38 SF	300 SF	0
105	(E) STORAGE	41 SF	300 SF	0
106	(E) STORAGE	288 SF	300 SF	1
107	(E) STORAGE	86 SF	300 SF	0
108	ELEVATOR VESTIBULE	39 SF	100 SF	0
109	STORAGE	44 SF	300 SF	0
110	(E) STORAGE	27 SF	300 SF	0
111	(E) ELEV MACH	48 SF	300 SF	0
112	(E) HANDBALL COURT	874 SF	50 SF	17
113	(N) STORAGE	31 SF	300 SF	0
114	(N) GYM	718 SF	50 SF	14
115	(N) KITCHEN	222 SF	200 SF	1
116	BREAK AREA	231 SF	15 SF	15
117	(N) SAUNA	87 SF	300 SF	0
118	(E) BOAT STORAGE	786 SF	300 SF	3
119	(E) STORAGE	27 SF	300 SF	0
120	(E) RESTROOM	55 SF	300 SF	0
121	(E) RESTROOM	46 SF	300 SF	0
122	(E) STORAGE	70 SF	300 SF	0
123	(E) BOAT STORAGE	1915 SF	300 SF	6
GRAND TOTAL		9660 SF		82

TOTAL OCCUPANTS: 82
EXITS REQUIRED: 2
EXITS PROVIDED: 3
LONGEST DIAGONAL: 123' - 5"
1/3 LONGEST DIAGONAL: 41' - 2"
EXIT SEPARATION PROVIDED: 47' - 7"

OCCUPANCY CALCULATION - FLOOR 02

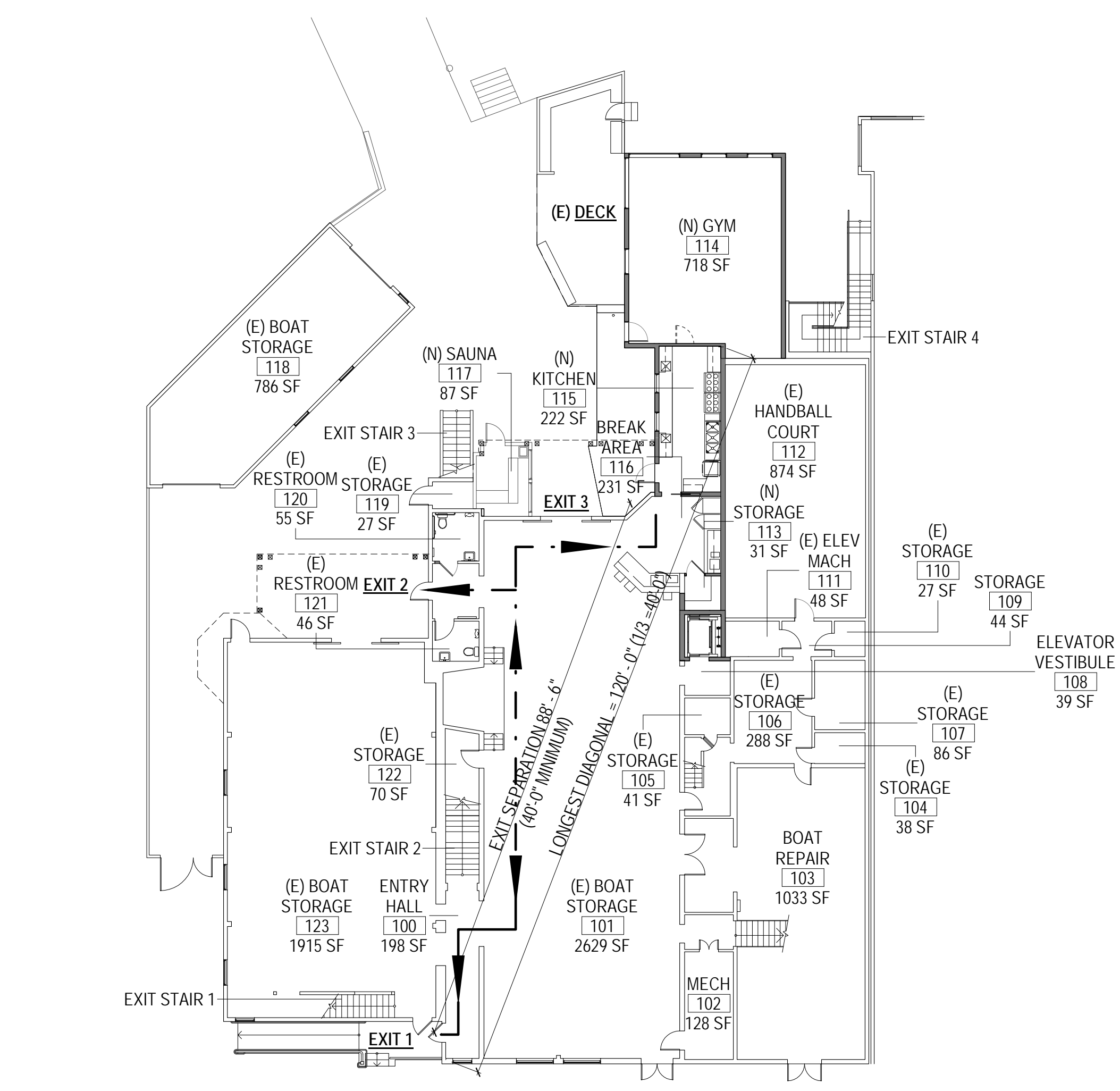
ROOM #	ROOM NAME	SF	FACTOR	OCCs
200	WOMEN'S LOCKERS	1188 SF	50 SF	24
201	(E) SAUNA	103 SF	300 SF	0
202	MEN'S LOCKERS	2802 SF	50 SF	56
203	(E) SAUNA	94 SF	300 SF	0
204	(E) GALLERY	918 SF	15 SF	61
205	(N) ELEVATOR VESTIBULE	91 SF	100 SF	1
206	(N) OFFICE	74 SF	100 SF	1
207	(N) MEETING ROOM	133 SF	15 SF	9
208	(N) ROOF DECK	330 SF	15 SF	22
209	(E) DECK	300 SF	15 SF	20
210	(N) DECK	327 SF	15 SF	22
211	(E) LOUNGE	350 SF	15 SF	23
212	HALLWAY	168 SF	100 SF	2
213	(E) STORAGE	38 SF	300 SF	0
214	WOMEN'S SHOWERS	176 SF	300 SF	1
215	MEN'S SHOWERS	115 SF	300 SF	0
GRAND TOTAL		7205 SF		242

TOTAL OCCUPANTS: 244
EXITS REQUIRED: 2
EXITS PROVIDED: 3
LONGEST DIAGONAL: 120' - 0"
1/3 LONGEST DIAGONAL: 40' - 0"
EXIT SEPARATION PROVIDED: 88' - 6"

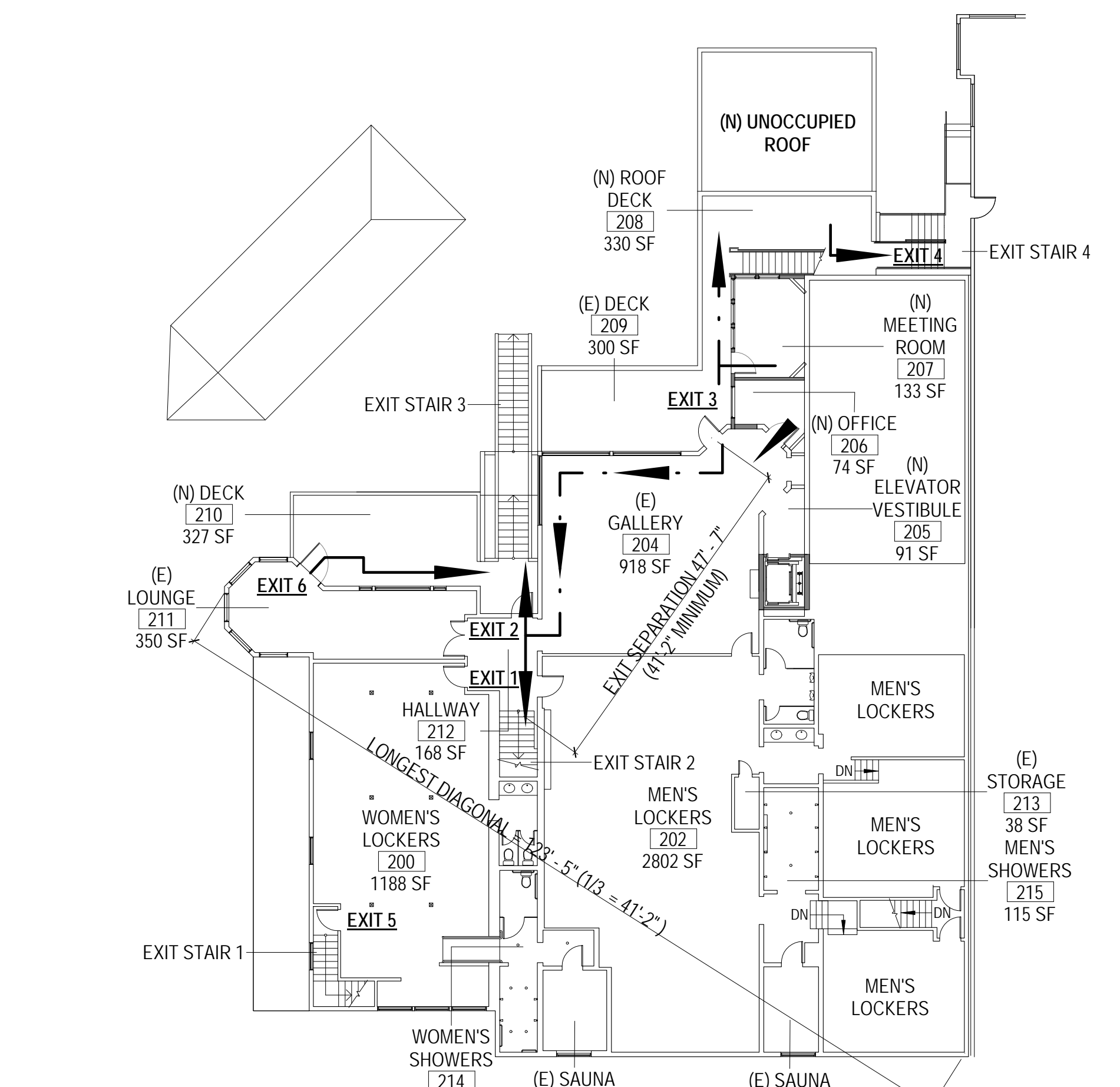
OCCUPANCY CALCULATION - FLOOR 03

ROOM #	ROOM NAME	SF	FACTOR	OCCs
300	(E) CUPOLA	118 SF	300 SF	0
GRAND TOTAL		118 SF		0

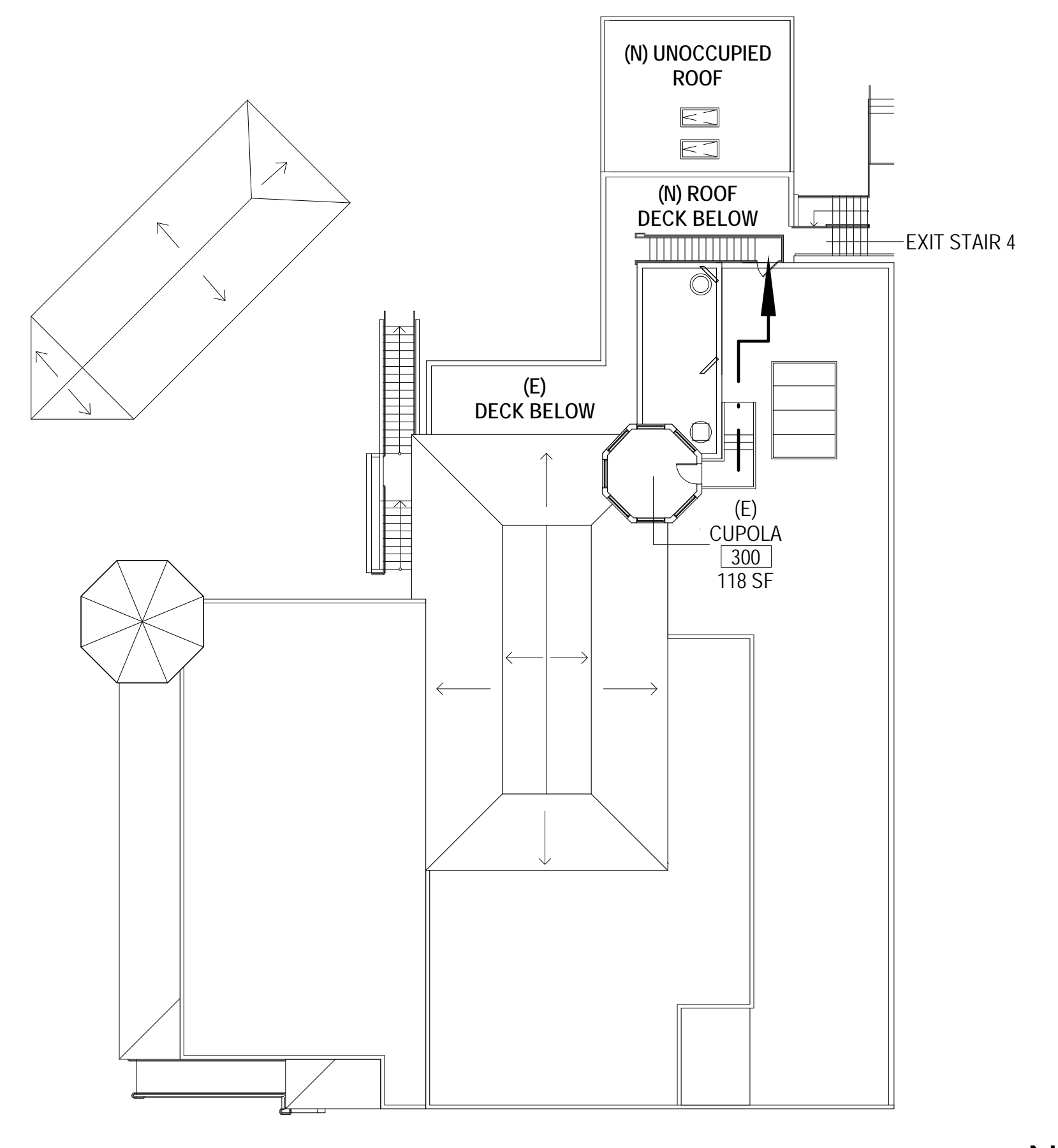
TOTAL OCCUPANTS: 1
EXITS REQUIRED: 1
EXITS PROVIDED: 1



1 FLOOR 01 - EXITING PLAN
SCALE: 1/16" = 1'-0"



2 FLOOR 02 - EXITING PLAN
SCALE: 1/16" = 1'-0"



3 FLOOR 03 - EXITING PLAN
SCALE: 1/16" = 1'-0"



DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

PERSPECTIVE
VIEWS

SHEET NUMBER:

A0.10



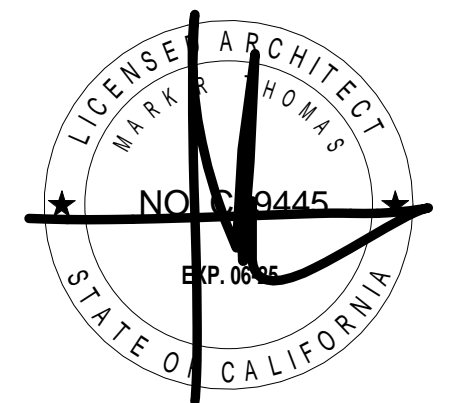
EXISTING NORTH ELEVATION (N.T.S.)

- DEMOLISH (E) STAIR
(TO EXISTING COPULA)
- DEMOLISH (E) 1-STORY WEIGHT ROOM STRUCTURE
24'-7" X 30'-6"
750 SF
(TO BE REBUILT ON THE SAME
FOOT PRINT W/ NEW ROOF DECK ABOVE)
- (E) HORIZONTAL SIDING, PAINT
- (E) WOOD TRIMS, PAINT

- (N) DECK
27'-0" X 9'-3"
- (N) 2-STORY GALLEY / OFFICE ADDITION
10'-5" X 19'-5"
- (N) ROOF ACCESS METAL STAIRS
- (N) WOOD FRAMED GLASS RAILING
- (N) EXTENSION TO (E) EGRESS STAIRWAY
(FOR EGRESS FROM NEW ROOF DECK)
- (N) 1-STORY WEIGHT ROOM STRUCTURE
24'-7" X 30'-6"
750 SF
(REBUILT ON THE SAME FOOTPRINT)
- (N) HORIZONTAL SIDING, PAINT
(MATCH EXISTING)
- (N) WOOD WINDOWS AND TRIMS, PAINT



PROPOSED NORTH ELEVATION (N.T.S.)



DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
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PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

PERSPECTIVE
VIEWS

SHEET NUMBER:

A0.11

DEMOLISH (E) STAIR
(TO EXISTING COPULA)

DEMOLISH (E) 1-STORY GALLEY STRUCTURE
10'-9" X 13'-11"
143 SF
(TO BE REBUILT AS TWO STORY STRUCTURE)

DEMOLISH (E) 1-STORY WEIGHT ROOM STRUCTURE
24'-7" X 30'-6"
750 SF
(TO BE REBUILT ON THE SAME
FOOT PRINT W/ NEW ROOF DECK ABOVE)

(E) HORIZONTAL SIDING, PAINT

(E) WOOD TRIMS, PAINT



EXISTING NORTH ELEVATION (N.T.S.)

(N) 2-STORY GALLEY / OFFICE ADDITION
10'-5" X 19'-5"

(N) METAL STAIRS
(TO EXISTING COPULA)

(N) WOOD FRAMED GLASS RAILING

(N) 1-STORY WEIGHT ROOM STRUCTURE
24'-7" X 30'-6"
750 SF
(REBUILT ON THE SAME FOOTPRINT)

(N) HORIZONTAL SIDING, PAINT
(MATCH EXISTING)

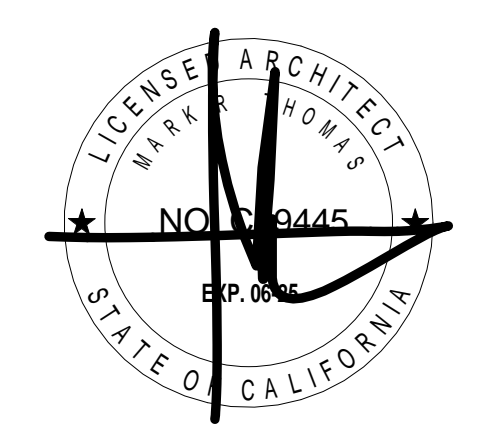
(N) WOOD WINDOWS AND TRIMS, PAINT
(MATCH EXISTING)

(N) SAUNA
(APPROVED PER BPA 202405031358)

(N) LEVELED WALKWAY AND METAL RAILING



PROPOSED NORTH ELEVATION (N.T.S.)



DOLPHIN CLUB
ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

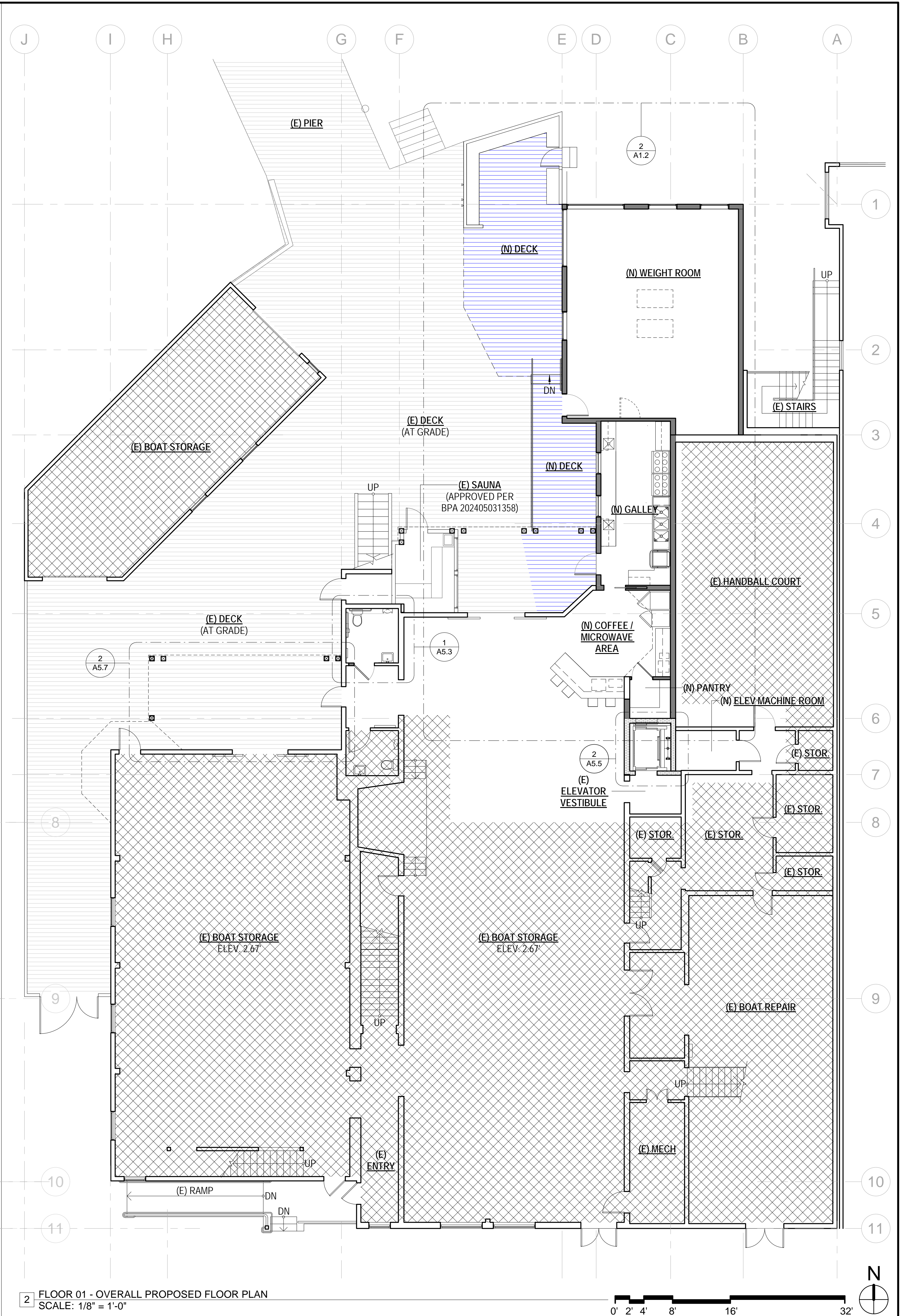
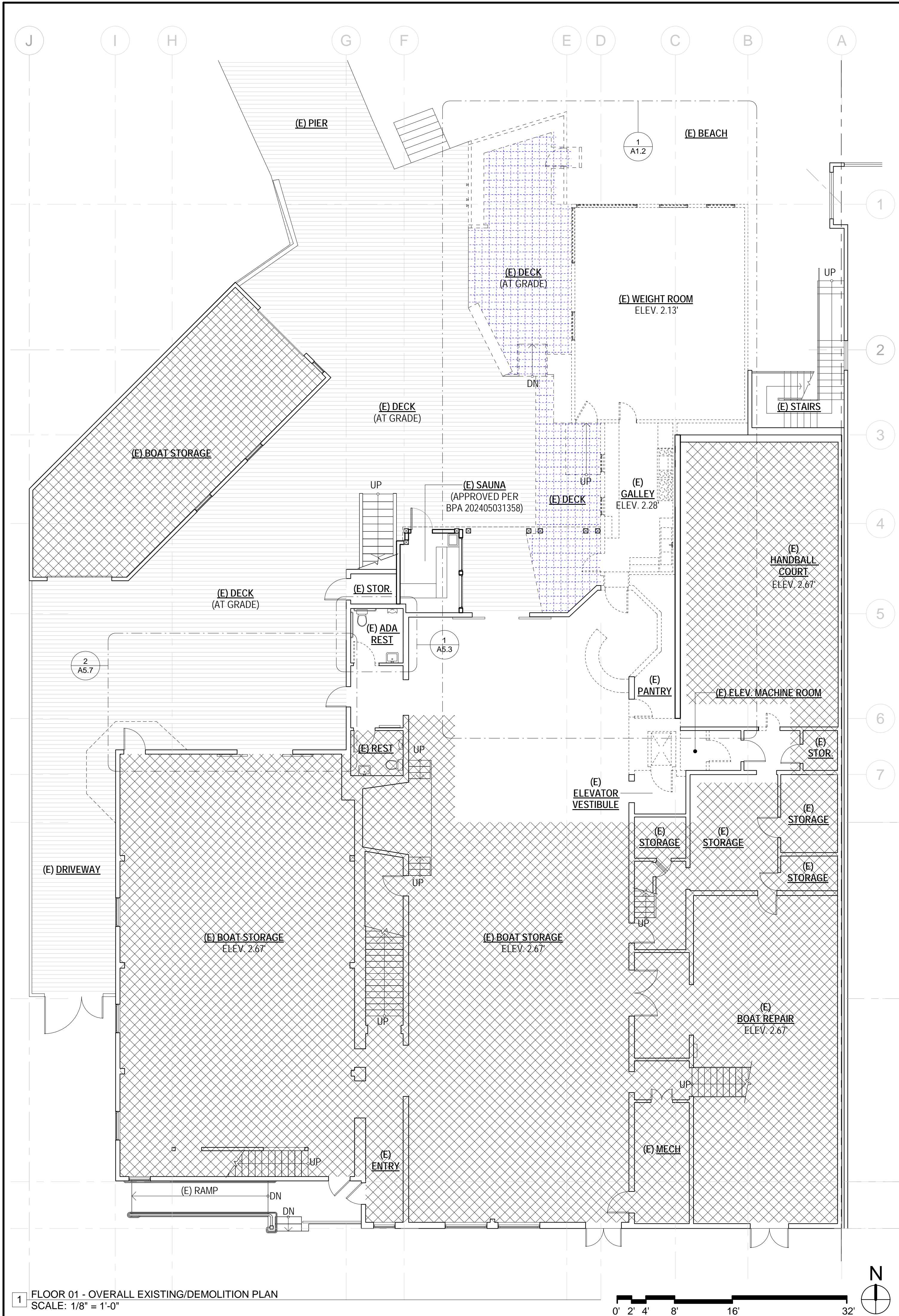
ISSUE:	DATE:
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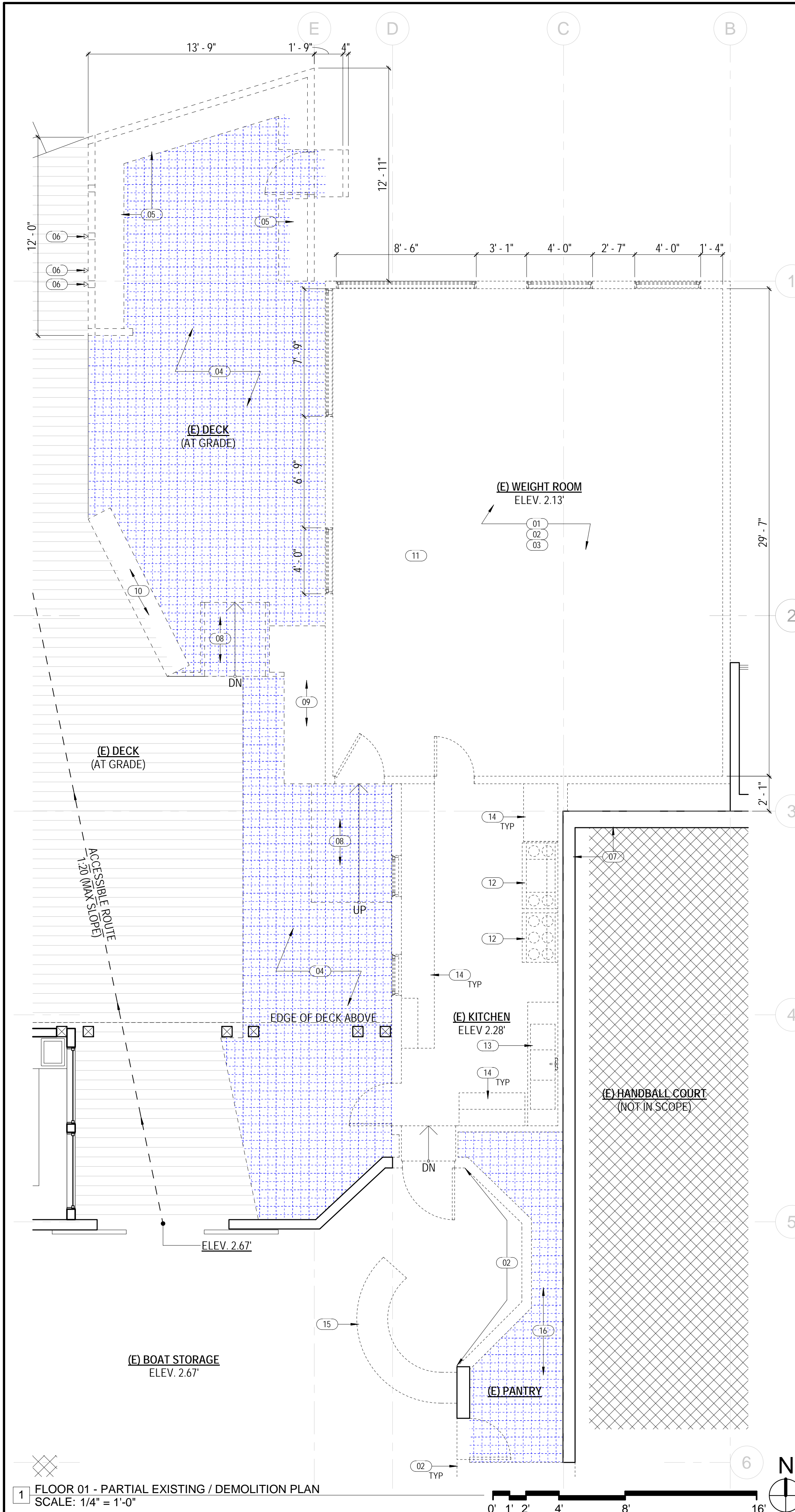
DRAWN BY: TL
SHEET TITLE:

**EXISTING & PROPOSED
FIRST FLOOR PLAN**

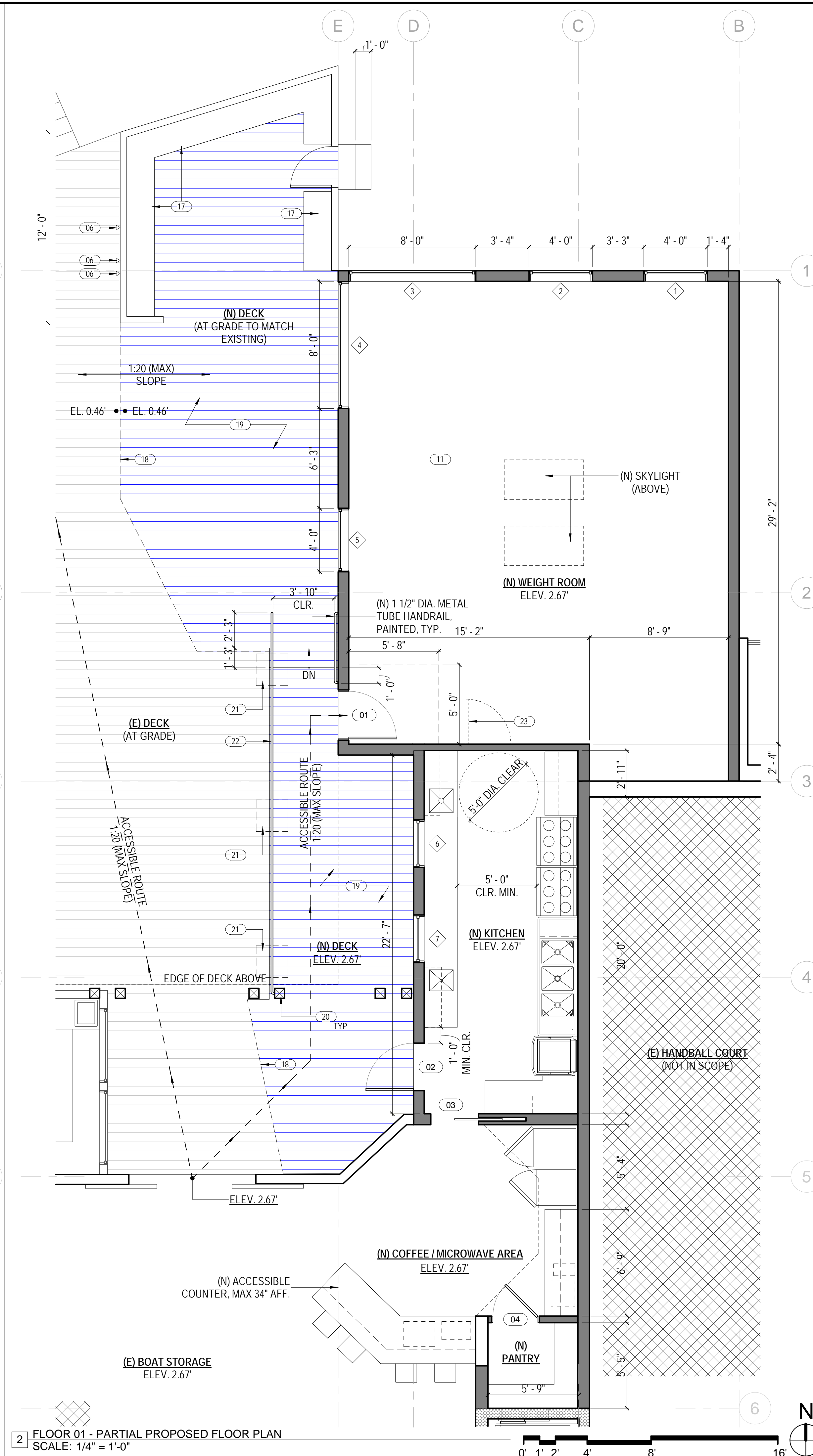
SHEET NUMBER:

A1.1





1 FLOOR 01 - PARTIAL EXISTING / DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



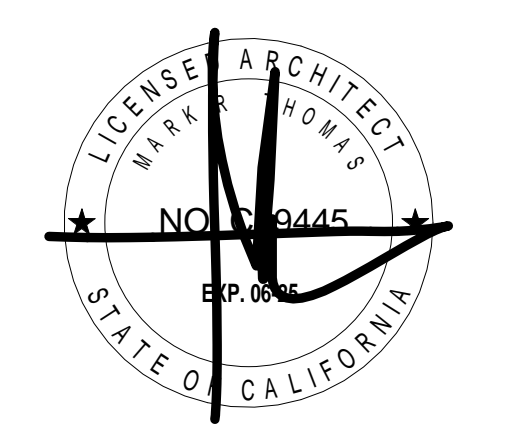
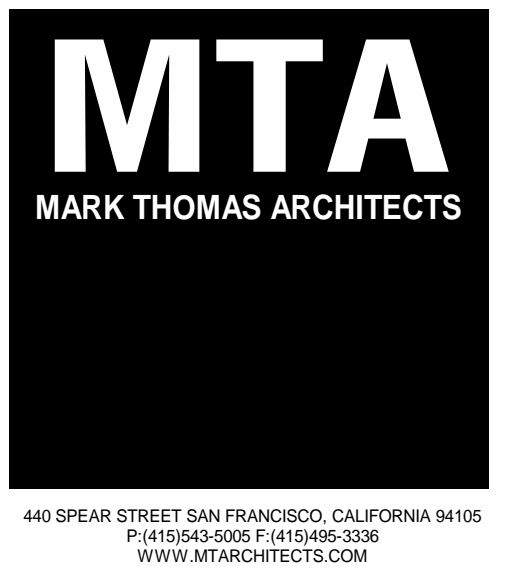
2 FLOOR 01 - PARTIAL PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

SHEET NOTES

1. REFER TO A0.2 FOR GENERAL NOTES.
2. REFER TO A0.3 FOR SYMBOL LEGEND.
3. SEE A6.00 AND A6.01 FOR GENERAL PARTITION DETAILS.
4. LOCATE NEW PARTITIONS ON CENTER LINE OF MULLION OR ALIGNED WITH COLUMN OR WALL, UON. SEE TYPICAL PARTITION DETAILS ON SHEET A6.10.
5. ALL PARTITIONS SHALL BE TYPE 1, UON.
6. ALL GLAZING SHALL BE TYPE A, UON. PROVIDE GLAZING SEALANT COLOR SAMPLE FOR ARCHITECT'S REVIEW. GLAZING STOP COLOR TO MATCH FRAME.
7. REPAIR OR REPLACE DAMAGED OR MISSING GYPSUM BOARD ON EXISTING PARTITIONS AND COLUMNS TO REMAIN. MATCH EXISTING PARTITION TYPE AND FINISHES.
8. PROVIDE BACKING AS NEEDED TO SUPPORT WALL HUNG ITEMS INCLUDING, BUT NOT LIMITED TO, SIGNAGE, RESTROOM ACCESSORIES, GRAB BARS, EQUIPMENT, AND FURNITURE.
9. PROVIDE NEW SEMI RECESSED FIRE EXTINGUISHER CABINETS (FEC) W/ FIRE EXTINGUISHERS AS INDICATED ON PLAN. REUSE EXISTING WHERE POSSIBLE.
10. GC SHALL FIELD CUT MILLWORK AS NECESSARY TO ALLOW ACCESS TO WALL POWER AND SIGNAL LOCATIONS. FIELD VERIFY CONDITIONS.

KEYNOTES A1.2

- | | |
|----|---|
| 01 | EXISTING 1-STORY WEIGHT ROOM STRUCTURE TO BE DEMOLISHED. SAFE OFF ALL EXISTING ELECTRICAL TO BE ABANDONED. |
| 02 | SALVAGE ALL EXISTING 1X VERTICAL PINE BOARDS, TYP. FOR REUSE. PROTECT AND STORE DURING CONSTRUCTION. |
| 03 | COORDINATE THE REMOVAL OF EXISTING WEIGHT EQUIPMENT AND SPORT FLOORING WITH TENANT. |
| 04 | EXISTING DECK (AT GRADE) TO BE RECONFIGURED. DESIGN / BUILD BY GENERAL CONTRACTOR. |
| 05 | EXISTING WINDSCREEN AND BENCH SEATING TO BE REPLACED IN LIKE KIND. |
| 06 | (E) SHOWER AND FOUNTAIN TO REMAIN. SAFE OFF AND PROTECT DURING CONSTRUCTION. |
| 07 | EXISTING PARTITION TO REMAIN, TYP. |
| 08 | EXISTING WOOD RAMP TO BE REMOVED. |
| 09 | EXISTING PLANTER TO BE REMOVED. |
| 10 | EXISTING WOOD BENCH TO BE REMOVED. |
| 11 | PROVIDE PORTABLE ASSISTIVE LISTENING DEVICE SYSTEM AND SIGNAGE IN ACCORDANCE WITH SECTIONS 11B-219.2 & 11B-216.10. |
| 12 | EXISTING RANGE TO BE REPLACED. SAFE OFF GAS AND ELECTRICAL AND PROTECT DURING CONSTRUCTION. |
| 13 | EXISTING 3-COMPARTMENT SINK TO BE REPLACED. SAFE OFF WATER LINE AS REQUIRED DURING CONSTRUCTION. |
| 14 | ALL EXISTING MILLWORK TO BE REMOVED, TYP. |
| 15 | EXISTING MOBILE CASEWORK TO BE RELOCATED. COORDINATE EXACT REQUIREMENTS WITH TENANT. |
| 16 | EXISTING RAISED FLOOR, THIS ROOM, TO BE REMOVED. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFO. |
| 17 | (N) BENCH SEATING AND WINDSCREEN TO MATCH EXISTING IN-LIKE KIND. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. |
| 18 | EDGE OF LEVELLED TRANSITION BETWEEN EXISTING AND NEW DECK, TYP. |
| 19 | AREA OF NEW DECK LEVEL TO ALIGN WITH EXISTING DECK LEVEL TO REMAIN. MATERIAL AND FINISHES TO MATCH EXISTING, DESIGN AND BUILD BY GENERAL CONTRACTOR. 1:20 MAX SLOPE IN ALL DIRECTION. |
| 20 | EXISTING POSTS TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION. |
| 21 | OUTLINE OF NEW FOOTING BELOW DECK. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFO. |
| 22 | NEW 1 1/2" DIA. METAL TUBE HANDRAIL PAINTED, TYP. SEE HANDRAIL ELEVATION 2/A6.1 FOR ADDITIONAL INFO. |
| 23 | PROVIDE FRAMED OPENING FOR FUTURE DOOR. |



- NEW WALL
- DEMOLISHED WALL
- EXISTING WALL
- NEW 1-HOUR RATED WALL

DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

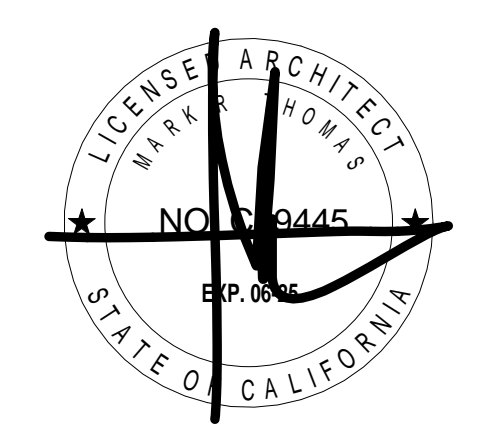
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SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

ENLARGED
FIRST FLOOR
PLAN

SHEET NUMBER:

A1.2



- NEW WALL
- DEMOLISHED WALL
- EXISTING WALL
- NEW 1-HOUR RATED WALL

DOLPHIN CLUB
ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

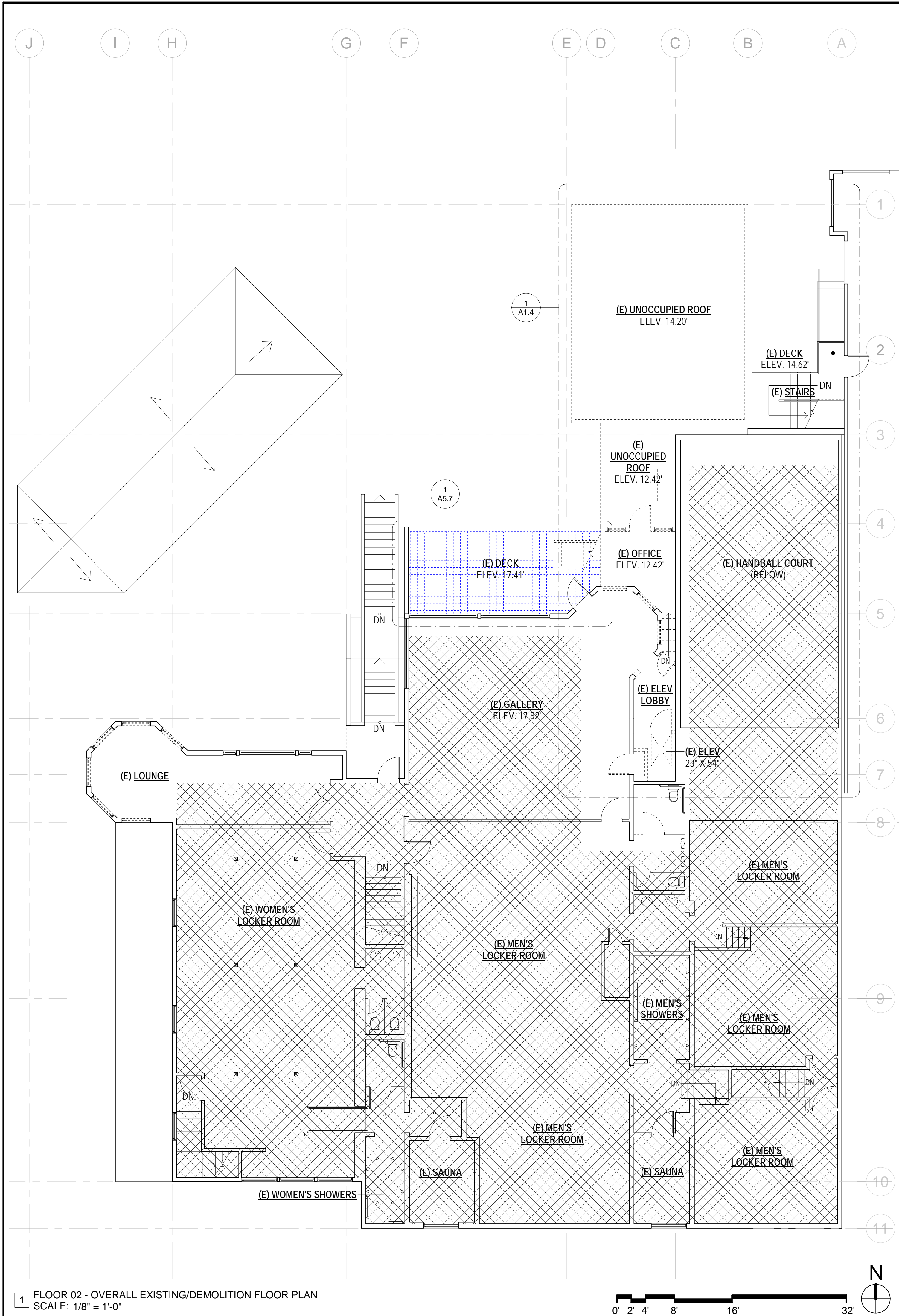
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BUILDING PERMIT	09.15.24

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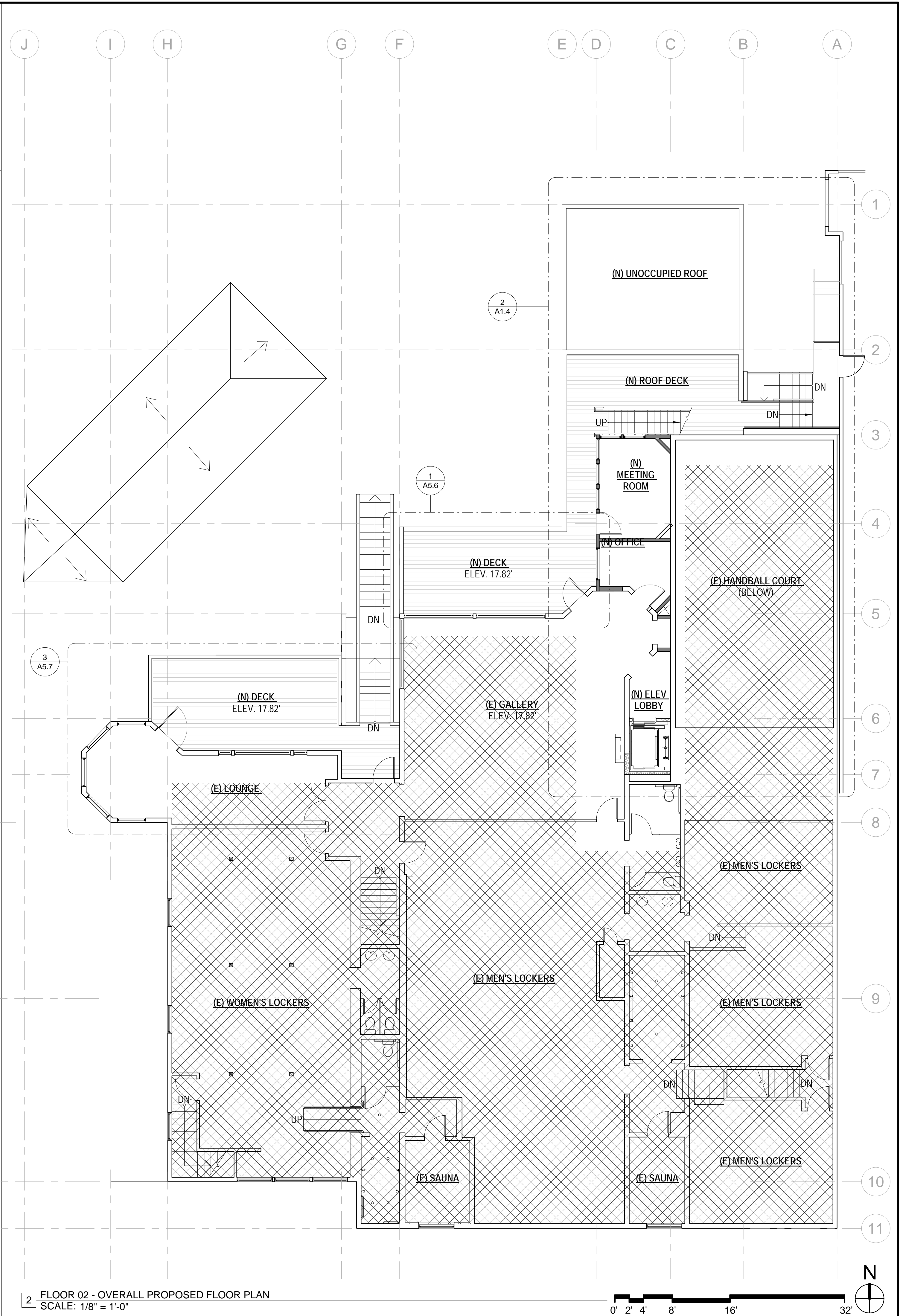
EXISTING & PROPOSED SECOND FLOOR PLAN

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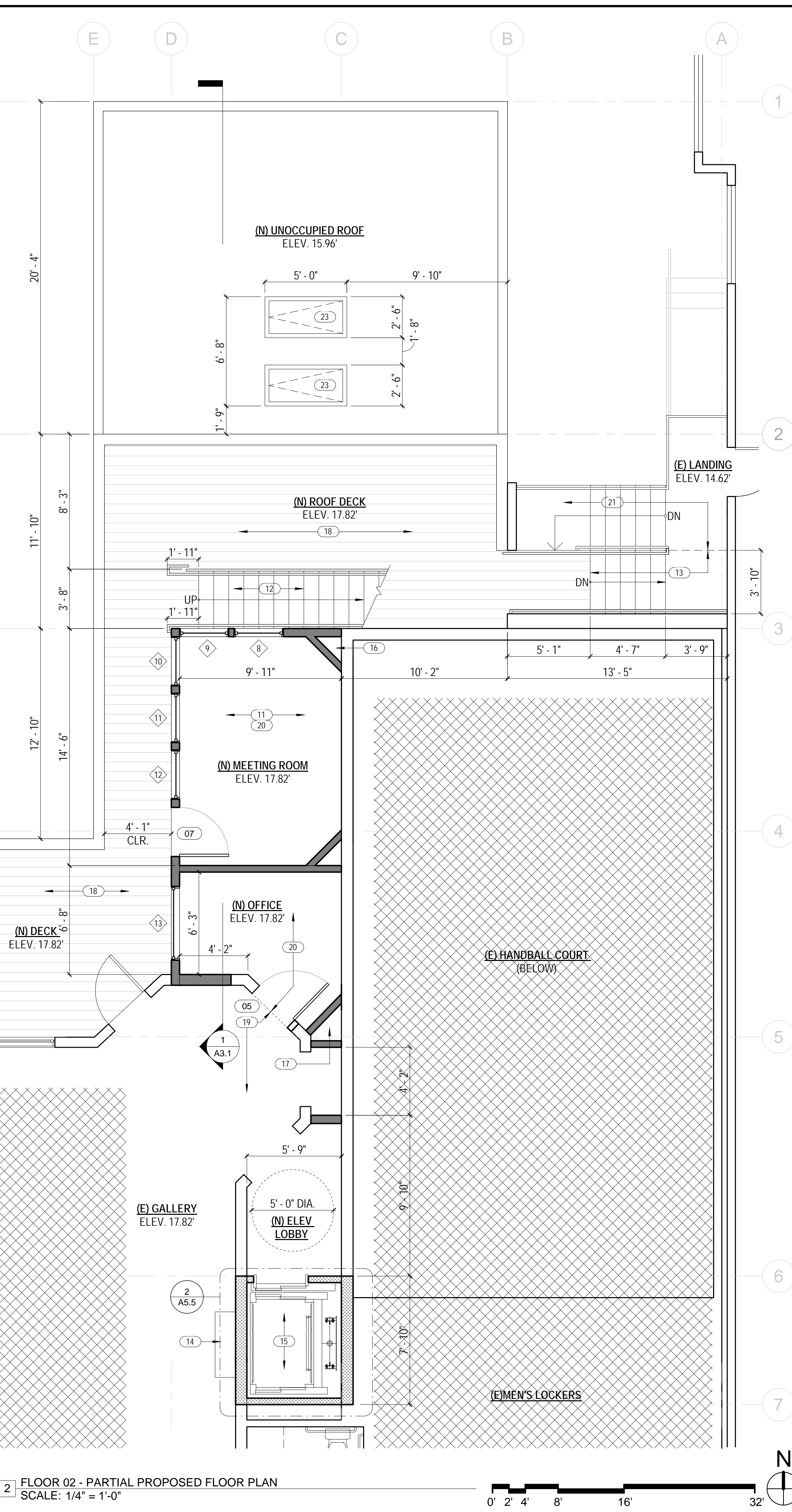
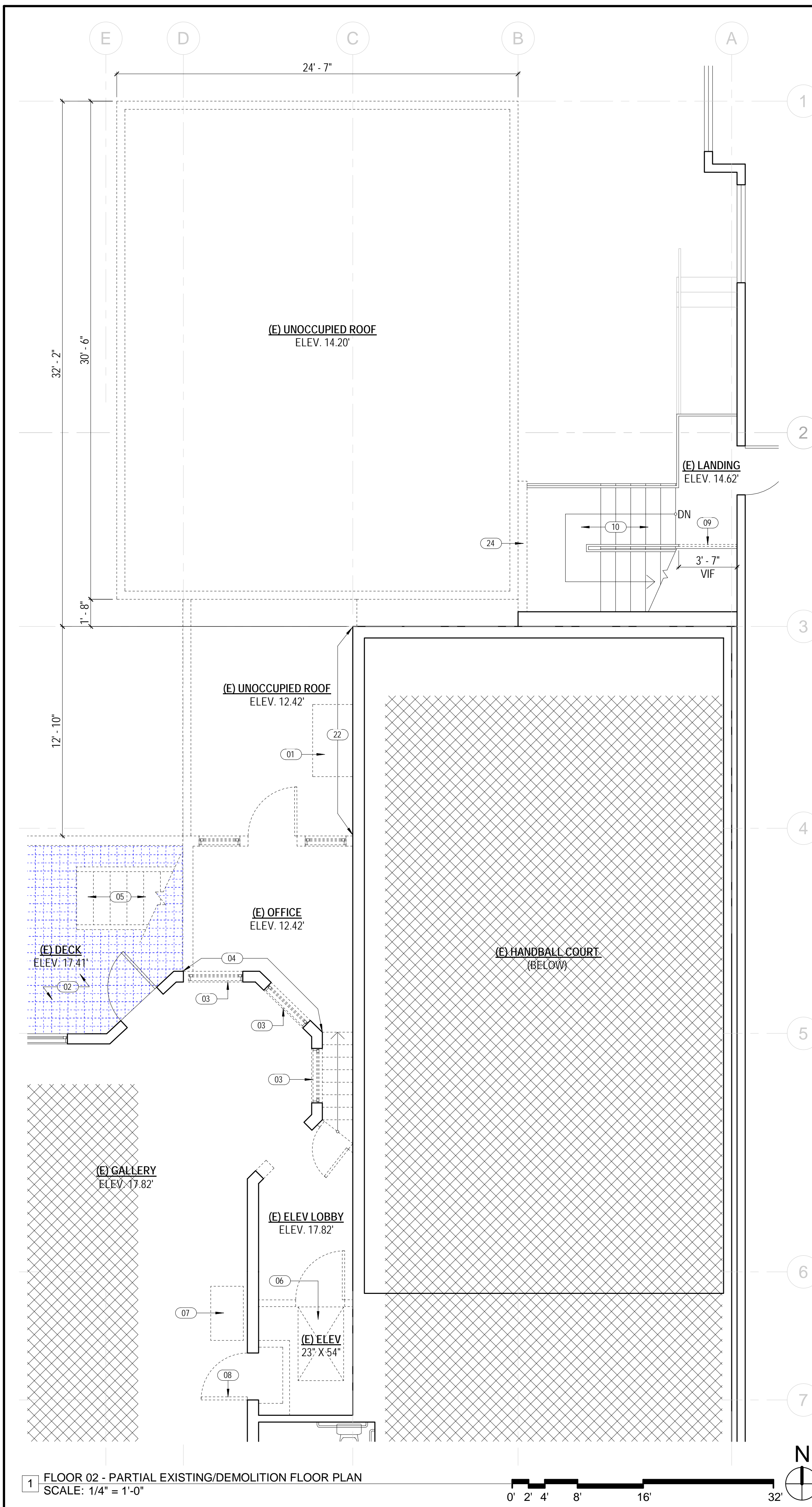
A1.3



1 FLOOR 02 - OVERALL EXISTING/DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 FLOOR 02 - OVERALL PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"

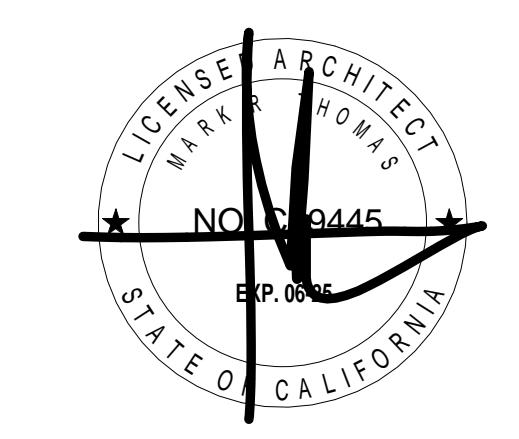


SHEET NOTES

1. REFER TO A0.2 FOR GENERAL NOTES.
2. REFER TO A0.3 FOR SYMBOL LEGEND.
3. SEE A6.00 AND A6.01 FOR GENERAL PARTITION DETAILS.
4. LOCATE NEW PARTITIONS ON CENTER LINE OF MULLION OR ALIGNED WITH COLUMN OR WALL, UON. SEE TYPICAL PARTITION DETAILS ON SHEET A6.10.
5. ALL PARTITIONS SHALL BE TYPE 1, UON.
6. ALL GLAZING SHALL BE TYPE A, UON. PROVIDE GLAZING SEALANT COLOR SAMPLE FOR ARCHITECT'S REVIEW. GLAZING STOP COLOR TO MATCH FRAME.
7. REPAIR OR REPLACE DAMAGED OR MISSING GYPSUM BOARD ON EXISTING PARTITIONS AND COLUMNS TO REMAIN. MATCH EXISTING PARTITION TYPE AND FINISHES.
8. PROVIDE BACKING AS NEEDED TO SUPPORT WALL HUNG ITEMS INCLUDING, BUT NOT LIMITED TO, SIGNAGE, RESTROOM ACCESSORIES, GRAB BARS, EQUIPMENT, AND FURNITURE.
9. PROVIDE NEW SEMI RECESSED FIRE EXTINGUISHER CABINETS (FEC) W/ FIRE EXTINGUISHERS AS INDICATED ON PLAN. REUSE EXISTING WHERE POSSIBLE.
10. GC SHALL FIELD CUT MILLWORK AS NECESSARY TO ALLOW ACCESS TO WALL POWER AND SIGNAL LOCATIONS. FIELD VERIFY CONDITIONS.



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- NEW WALL
- DEMOLISHED WALL
- EXISTING WALL
- NEW 1-HOUR RATED WALL

**DOLPHIN CLUB
ALTERATIONS &
ADDITION**

KEYNOTES A1.4

01	(E) FLUE AND FLUE BOX TO BE REMOVED.
02	(E) DECKING AND WATERPROOFING MEMBRANE TO BE REMOVED. PREPARE AND/OR REPLACE PLYWOOD SHEATHING TO REMAIN AS NEEDED. SEE ENLARGED PLAN 1/A6.1 FOR ADDITIONAL INFORMATION.
03	(E) WINDOWS TO BE REMOVED. PROTECT EXISTING FINISHES TO REMAIN, TYP. SEE CONSTRUCTION PLAN FOR ADDITIONAL INFO.
04	REMOVE EXISTING EXTERIOR SIDING. PREPARE PARTITION TO REMAIN FOR NEW INTERIOR FINISH.
05	EXISTING ROOF ACCESS STAIRS TO BE REMOVED. SEE CONSTRUCTION PLAN FOR NEW ACCESS STAIR LOCATION.
06	EXISTING ELEVATOR AND ELEVATOR SHAFT TO BE REPLACED. SEE CONSTRUCTION PLAN FOR ADDITIONAL INFO.
07	EXISTING GAS APPLIANCE HEATER TO BE REPLACED. SAFE OFF EXISTING GAS LINE TO REMAIN FOR REUSE. SEE CONSTRUCTION PLAN FOR ADDITIONAL INFO.
08	EXISTING DOOR AND DOOR FRAME TO BE REMOVED. PROTECT ADJACENT FINISHES TO REMAIN AS REQUIRED.
09	EXISTING METAL GUARDRAIL TO BE REMOVED. COORDINATE EXTENT OF DEMOLITION WITH NEW CONSTRUCTION.
10	EXISTING METAL EGRESS STAIRS TO REMAIN.
11	PROVIDE PORTABLE ASSISTIVE LISTENING DEVICE SYSTEM AND SIGNAGE IN ACCORDANCE WITH SECTIONS 11B-219.2 & 11B-216.10.
12	(N) ROOF ACCESS METAL STAIRS. SEE 5/A5.2 FOR ADDITIONAL INFO.
13	(N) EGRESS STAIRS EXTENSION FROM NEW ROOF DECK TO EXISTING LANDIND. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFO. CONCRETE TREADS AND RISERS, AND METAL HANDRAIL TO MATCH EXISTING. SEE TYPICAL STAIR DETAIL 5/A5.2 FOR ADDITIONAL INFO.
14	(N) UL LISTED GAS APPLIANCE FIREPLACE.
15	(N) LULA ELEVATOR TO COMPLY WITH CBC SECTION 11B-408. SEE SHEET A5.5 FOR ADDITIONAL INFO.
16	(N) MECHANICAL CHASE FOR EXHAUST DUCT.
17	(N) MECHANICAL CHASE FOR AIR INTAKE.
18	(N) IPE DECKING PALETTES, TYP. ON ADJUSTABLE PEDESTALS, TYP.
19	EXISTING WOOD FLOORING TO REMAIN, TYP. PROTECT AS REQUIRED DURING CONSTRUCTION.
20	NEW WOOD FLOORING TO MATCH ADJACENT EXISTING TO REMAIN, TYP.
21	EXISTING STAIRS AND LANDING TO REMAIN.
22	REMOVE EXISTING EXTERIOR SIDING, THIS AREA. PREPARE PARTITION TO REMAIN AS REQUIRED FOR NEW INTERIOR FINISHES.
23	NEW OPERABLE SKYLIGHTS, TYP. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
24	EXISTING PARTITION TO BE PARTIALLY REMOVED TO ACCOMODATED NEW STAIR EXTENSION. COORDINATE EXTENT WITH NEW CONSTRUCTION.

**502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004**

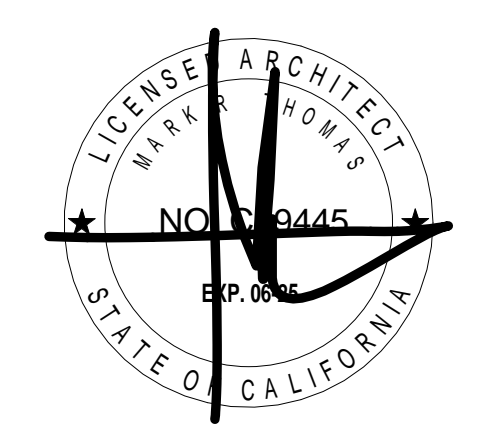
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PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

**ENLARGED
SECOND
FLOOR PLAN**

SHEET NUMBER:

A1.4



- NEW WALL
- DEMOLISHED WALL
- EXISTING WALL
- NEW 1-HOUR RATED WALL

DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

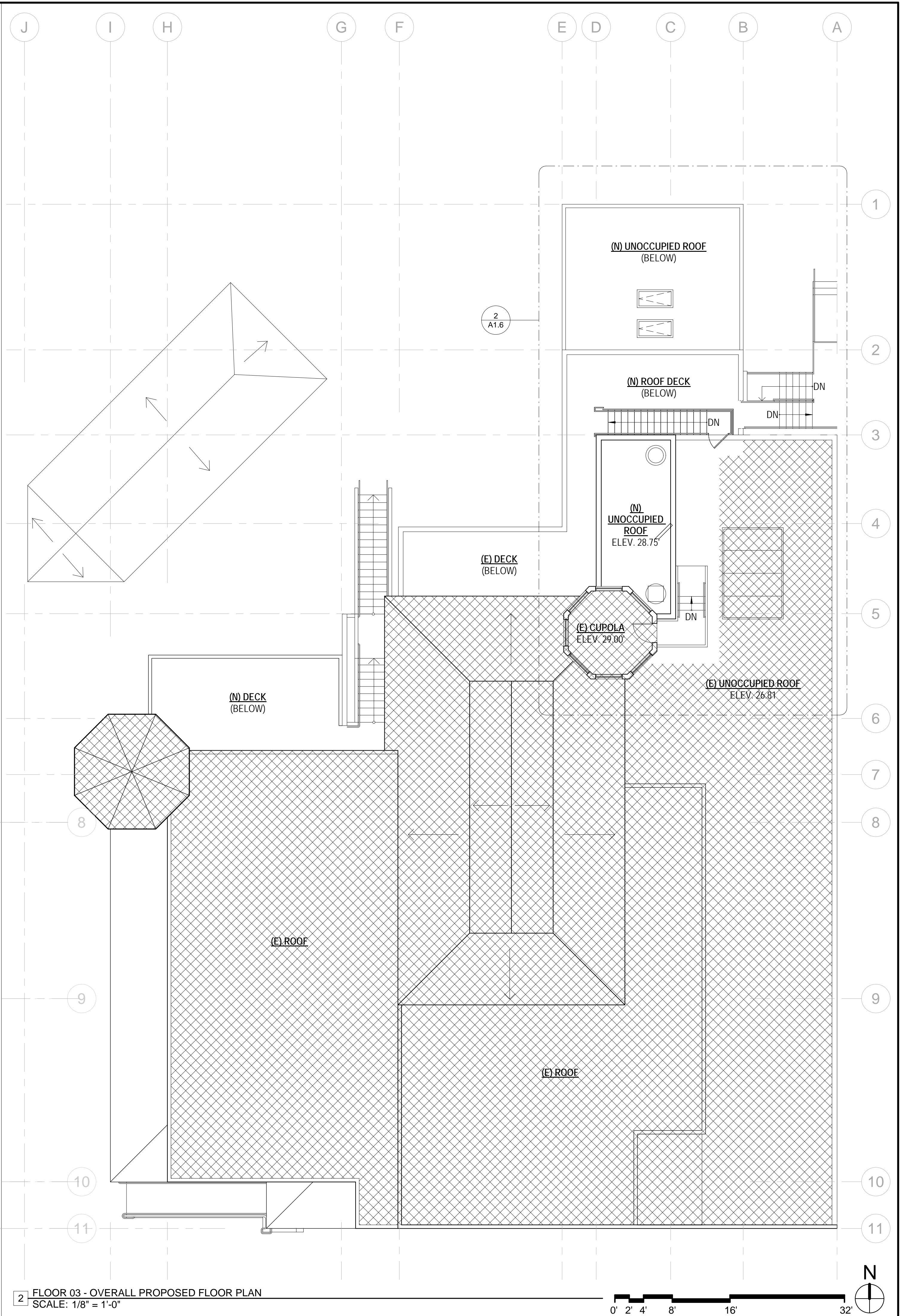
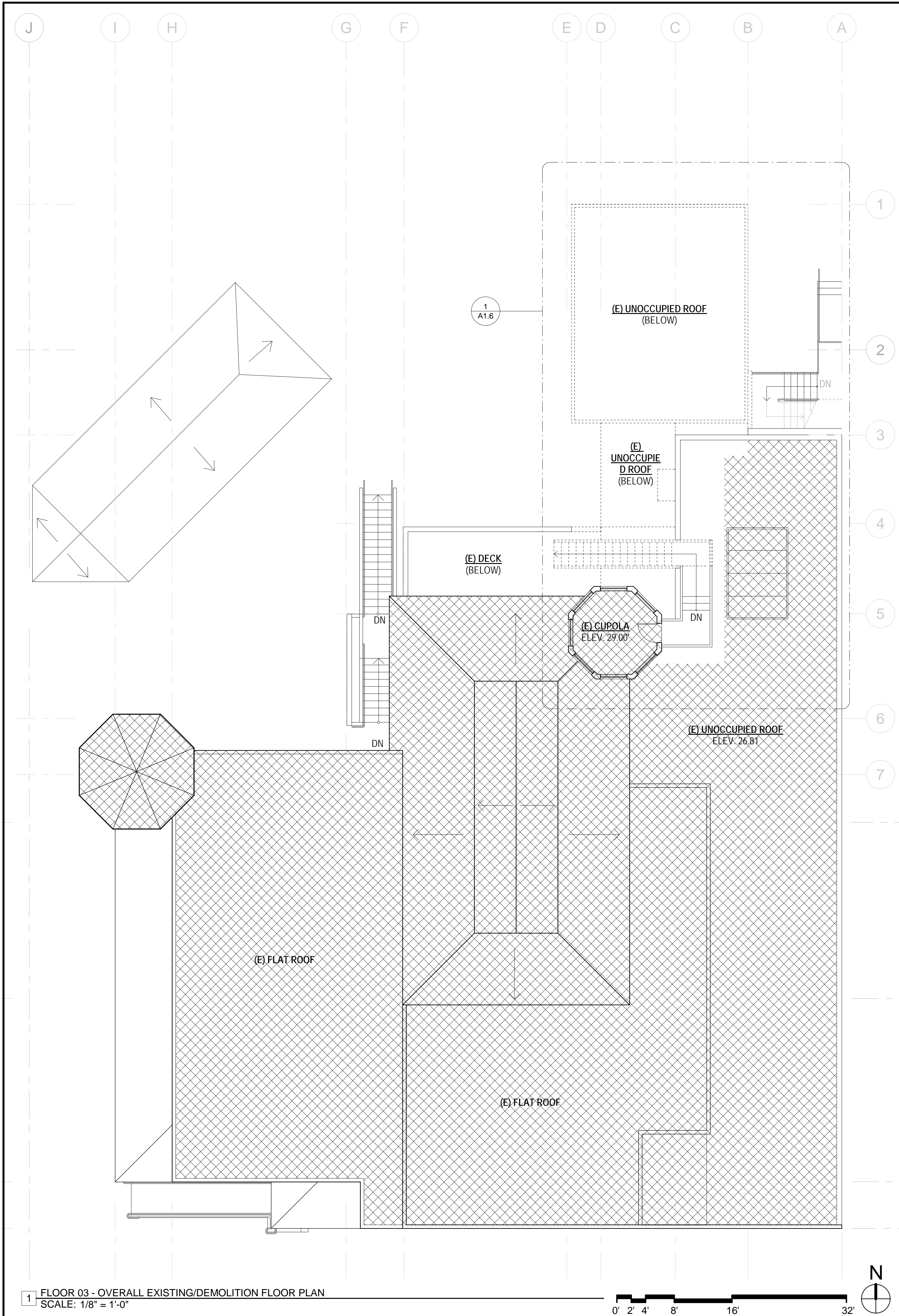
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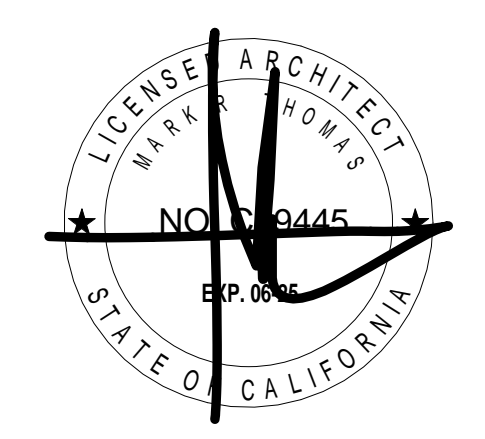
DRAWN BY: TL
SHEET TITLE:

EXISTING & PROPOSED
THIRD FLOOR PLAN

SHEET NUMBER:

A1.5





SHEET NOTES

1. REFER TO A0.2 FOR GENERAL NOTES.
2. REFER TO A0.3 FOR SYMBOL LEGEND.
3. SEE A6.00 AND A6.01 FOR GENERAL PARTITION DETAILS.
4. LOCATE NEW PARTITIONS ON CENTER LINE OF MULLION OR ALIGNED WITH COLUMN OR WALL, UON. SEE TYPICAL PARTITION DETAILS ON SHEET A6.10.
5. ALL PARTITIONS SHALL BE TYPE 1, UON.
6. ALL GLAZING SHALL BE TYPE A, UON. PROVIDE GLAZING SEALANT COLOR SAMPLE FOR ARCHITECT'S REVIEW. GLAZING STOP COLOR TO MATCH FRAME.
7. REPAIR OR REPLACE DAMAGED OR MISSING GYPSUM BOARD ON EXISTING PARTITIONS AND COLUMNS TO REMAIN. MATCH EXISTING PARTITION TYPE AND FINISHES.
8. PROVIDE BACKING AS NEEDED TO SUPPORT WALL HUNG ITEMS INCLUDING, BUT NOT LIMITED TO, SIGNAGE, RESTROOM ACCESSORIES, GRAB BARS, EQUIPMENT, AND FURNITURE.
9. PROVIDE NEW SEMI RECESSED FIRE EXTINGUISHER CABINETS (FEC) W/ FIRE EXTINGUISHERS AS INDICATED ON PLAN. REUSE EXISTING WHERE POSSIBLE.
10. GC SHALL FIELD CUT MILLWORK AS NECESSARY TO ALLOW ACCESS TO WALL POWER AND SIGNAL LOCATIONS. FIELD VERIFY CONDITIONS.

KEYNOTES A1.6

01	EXISTING ROOF ACCESS STAIRS, HANDRAILS, AND WALKWAY TO BE REMOVED. SEE CONSTRUCTION PLAN FOR ADDITIONAL INFORMATION.
02	EXISTING SKYLIGHT TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.
03	EXISTING FLUE AND FLUE BOX TO BE REMOVED.
04	PORTION OF EXISTING WALKWAY AND STAIRS TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.
05	(N) CONTINUOUS HANDRAIL PER SECTION 1014.2.
06	(N) 42" TALL GUARDRAIL PER SECTION 1015 AND 1015.3.
07	(N) ROOF ACCESS METAL STAIRS.
08	(N) 34" WIDE METAL GATE AT LANDING.
09	(N) KITCHEN EXHAUST VENT. DESIGN BUILD BY GC.
10	NEW MAKE AIR INTAKE. DESIGN BUILD BY GC.
11	NEW CLASS A BUILT UP ROOFING TO MATCH EXISTING.
12	EXISTING HANDRAIL TO REMAIN. REPAIR / PROVIDE NEW TO MATCH EXISTING.
13	NEW EXTENSION AT EXISTING EGRESS STAIRS (BELOW). SEE SHEET A6.3 FOR ADDITIONAL INFO.
14	EXISTING LANDING AND STAIRS TO REMAIN. SEE SHEET A1.4 FOR ADDITIONAL INFO.

DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

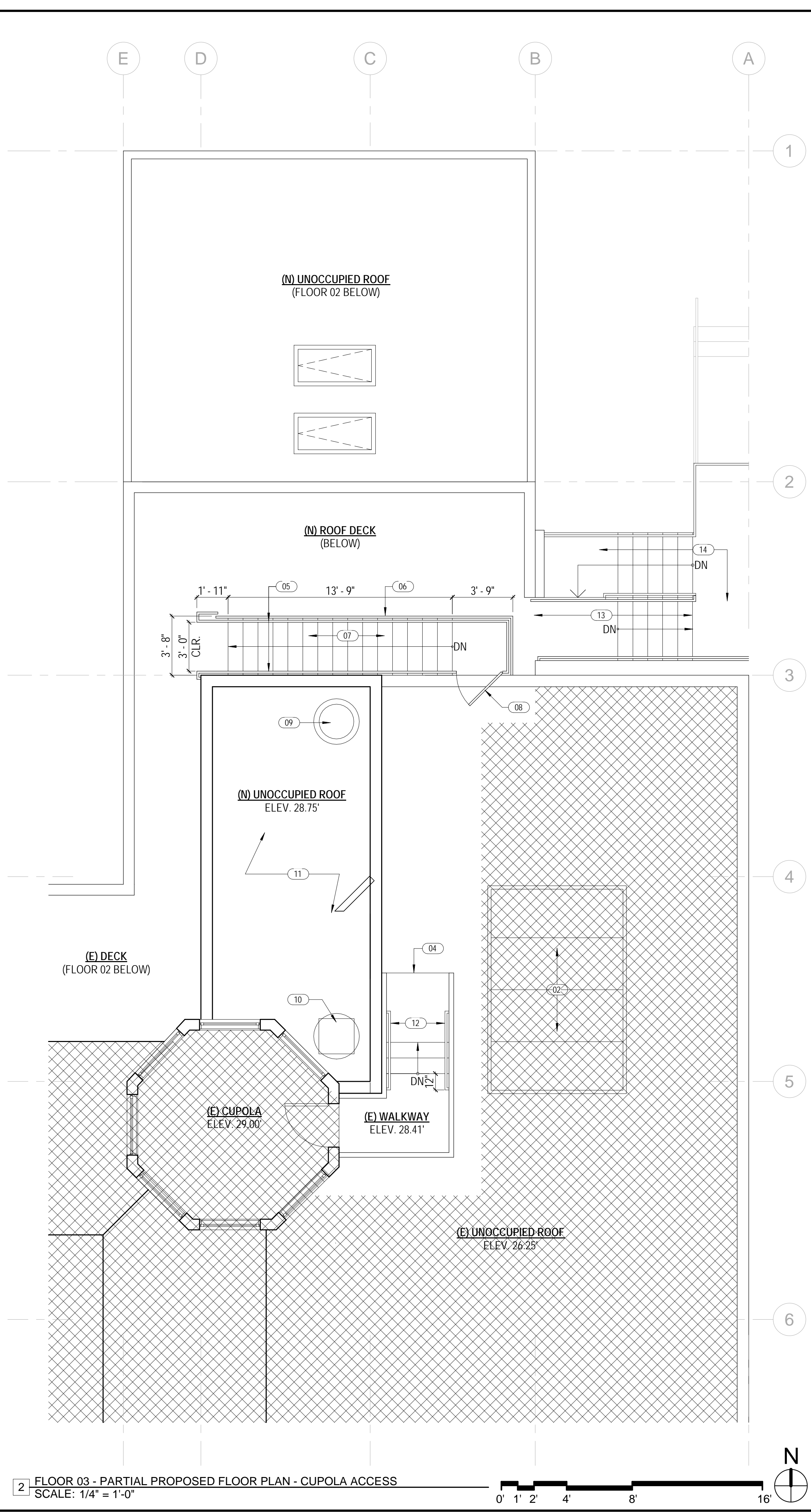
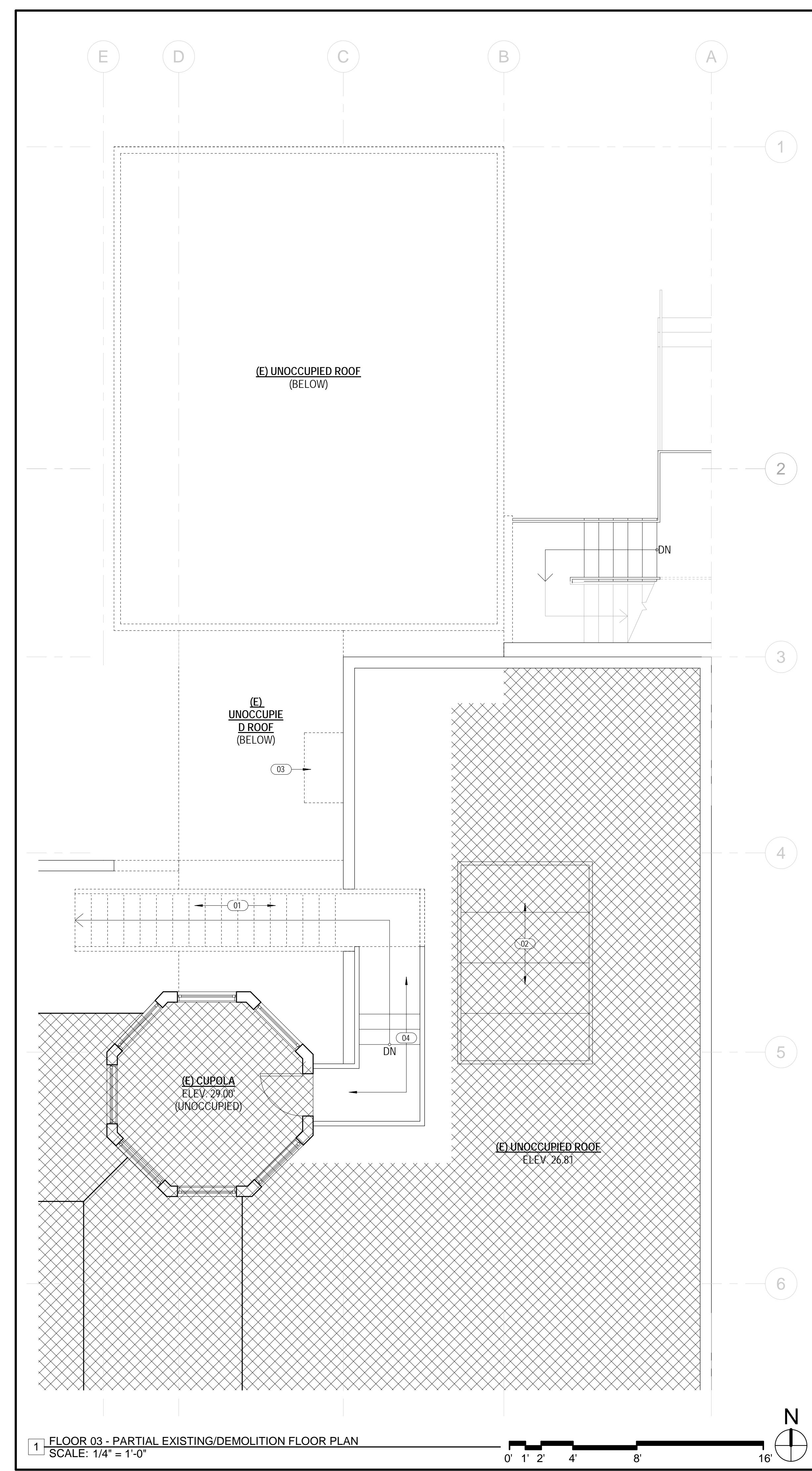
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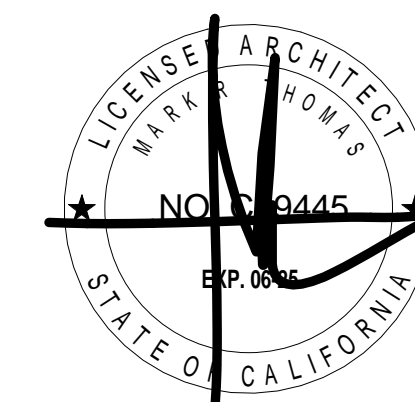
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SHEET TITLE:

ENLARGED
THIRD FLOOR
PLAN

SHEET NUMBER:

A1.6





DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
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94100
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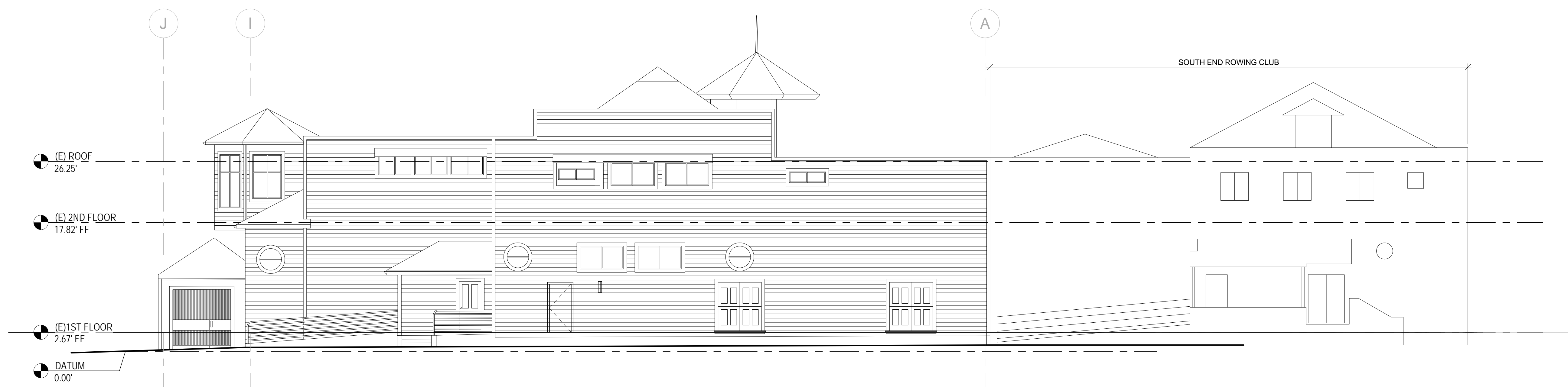
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DRAWN BY: TL
SHEET TITLE:

EXISTING & PROPOSED SOUTH (FRONT) ELEVATION

SHEET NUMBER:

A2.1



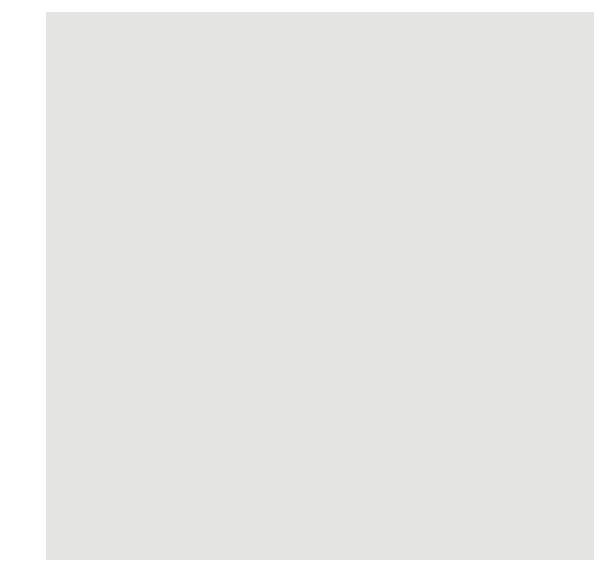
FOR REFERENCE ONLY

NO WORK IN THIS AREA

EXTERIOR FINISHES SCHEDULE



ACCENT PAINT COLOR



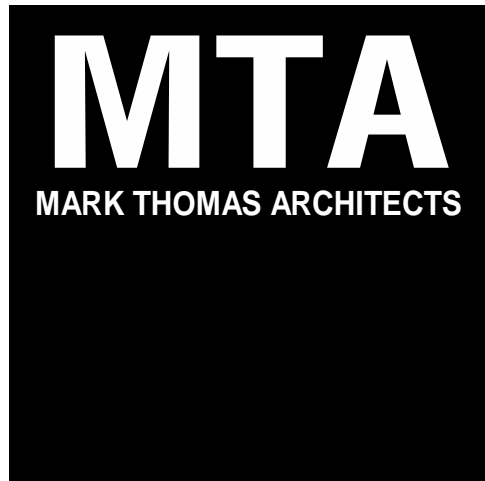
EXTERIOR PAINT COLOR



IPE DECKING PALETTES



CONCRETE FOUNDATION



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ALTERATIONS & ADDITION

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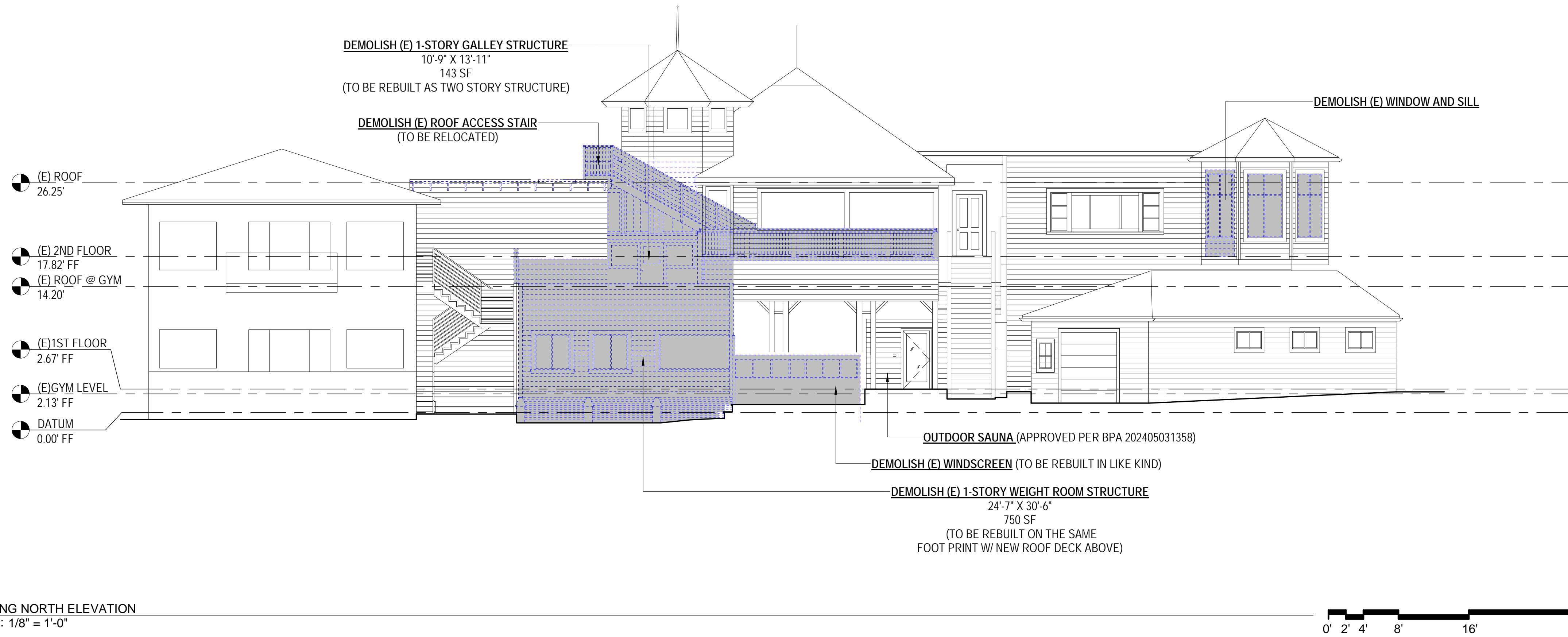
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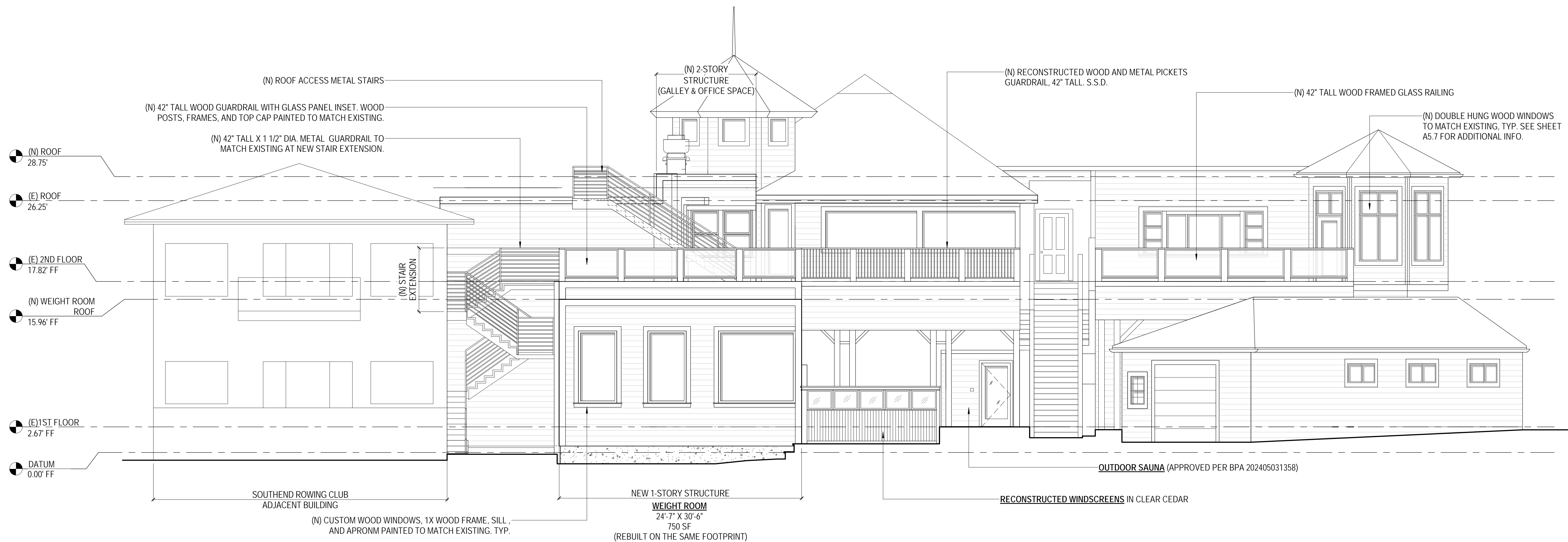
EXISTING & PROPOSED NORTH(REAR) ELEVATIONS

SHEET NUMBER:

A2.2

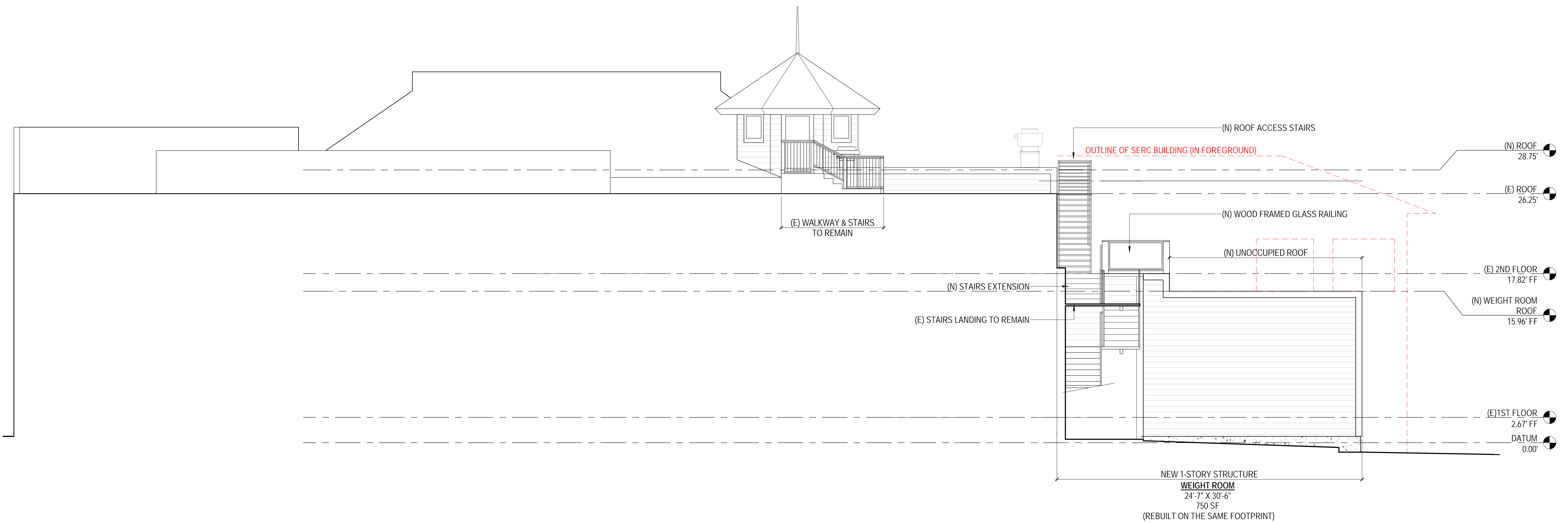
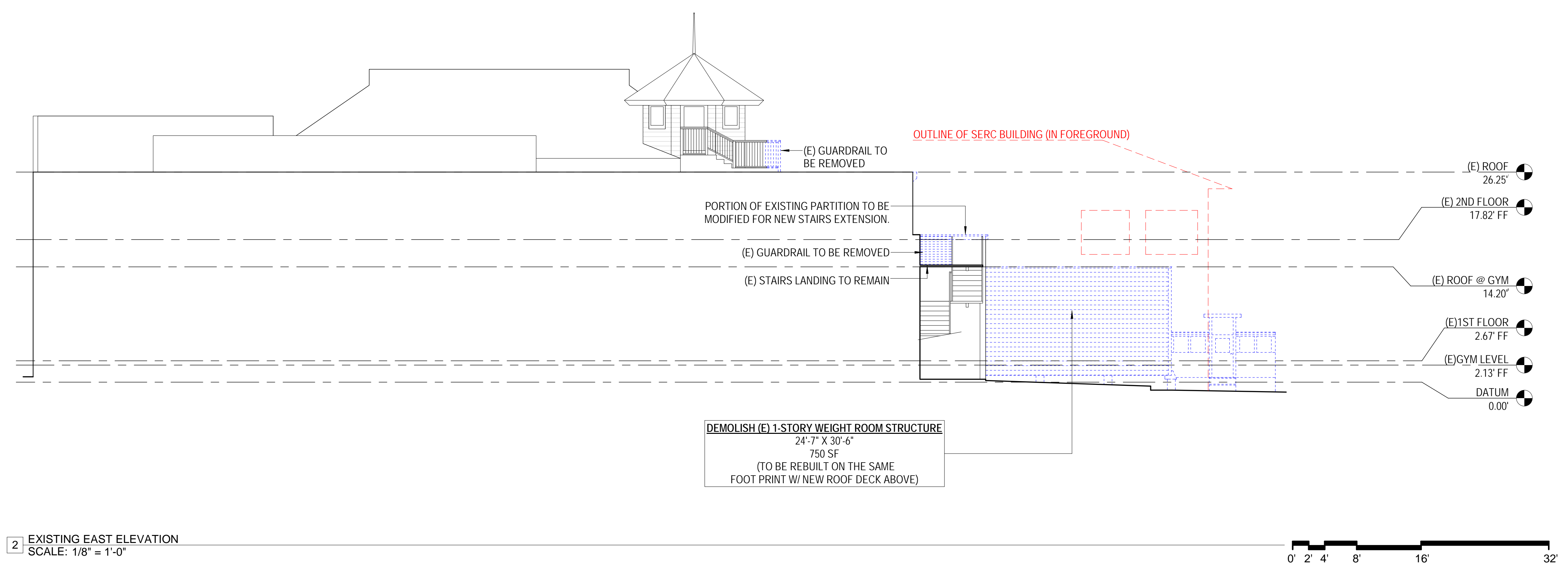
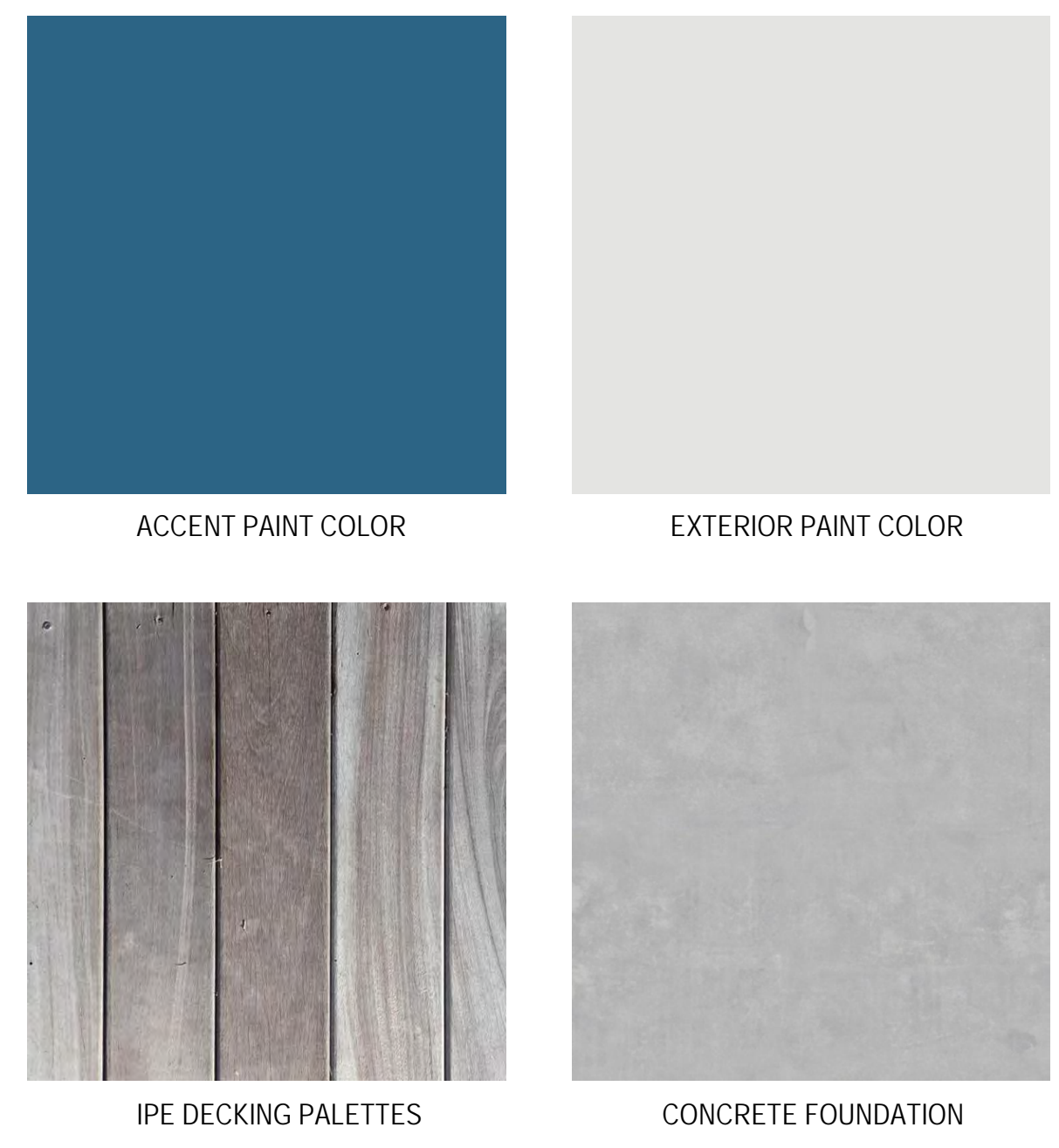


2 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES SCHEDULE



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

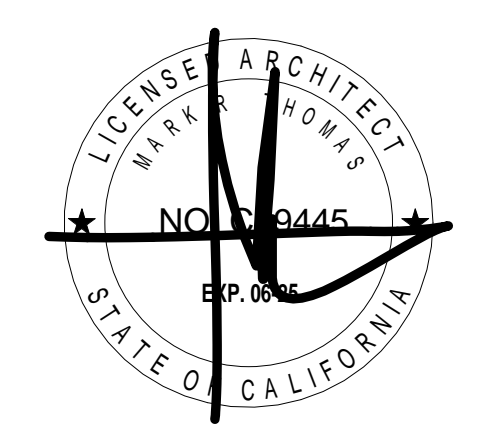
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SHEET TITLE:

EXISTING & PROPOSED EAST (SIDE) ELEVATIONS

SHEET NUMBER:

A2.3



EXTERIOR FINISHES SCHEDULE

ACCENT PAINT COLOR	EXTERIOR PAINT COLOR
IPE DECKING PALETTES	CONCRETE FOUNDATION

DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
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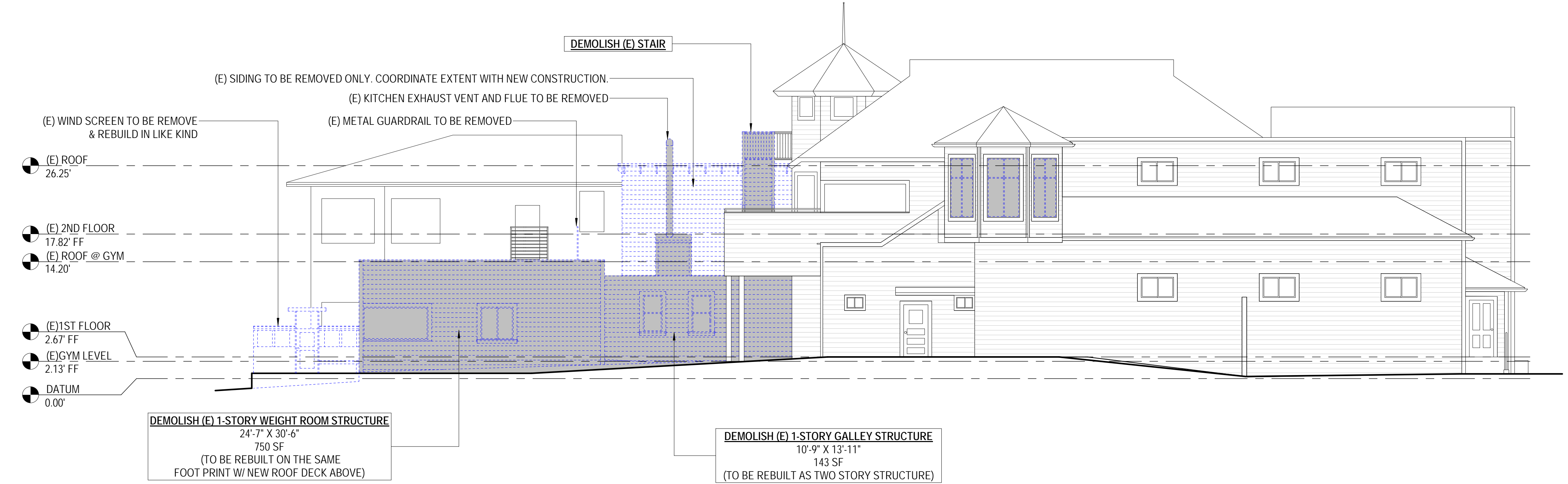
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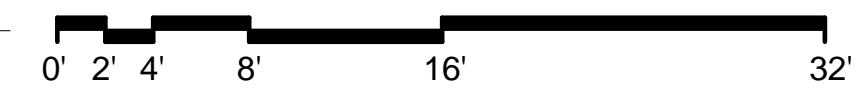
EXISTING & PROPOSED WEST(SIDE) ELEVATIONS

SHEET NUMBER:

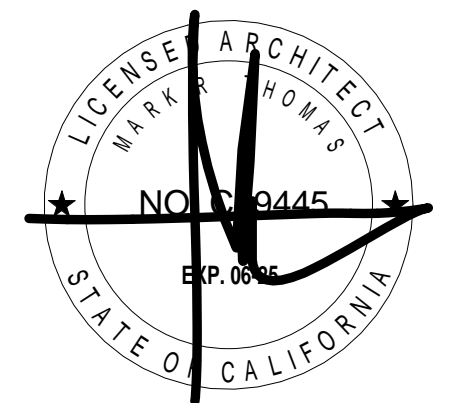
A2.4



2 EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

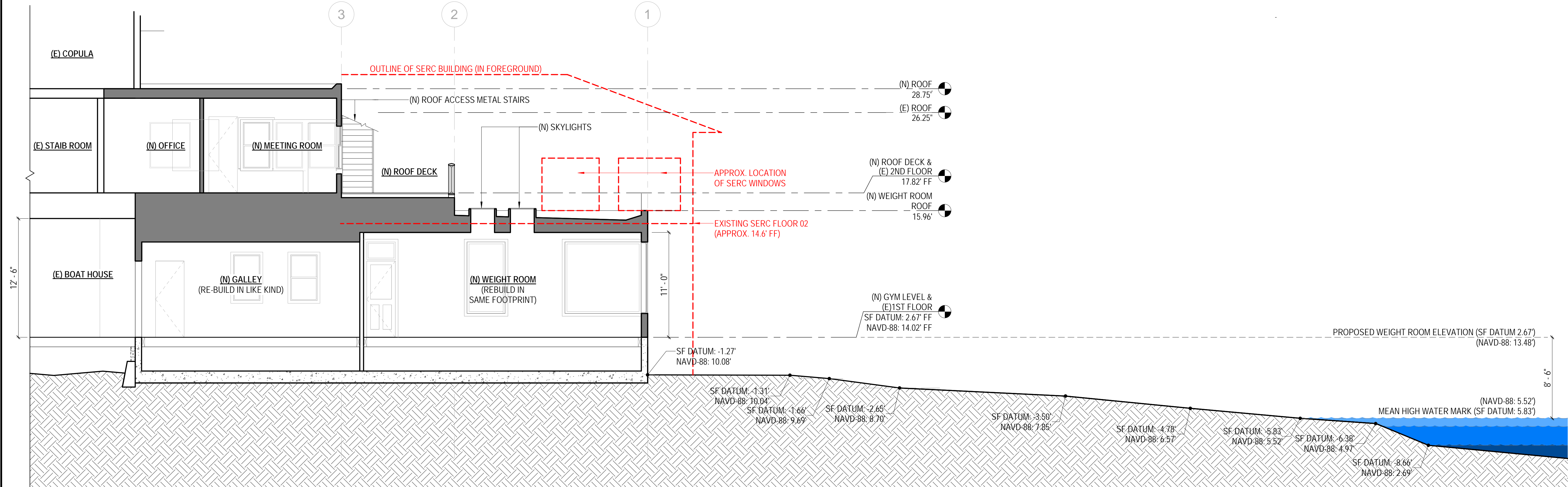
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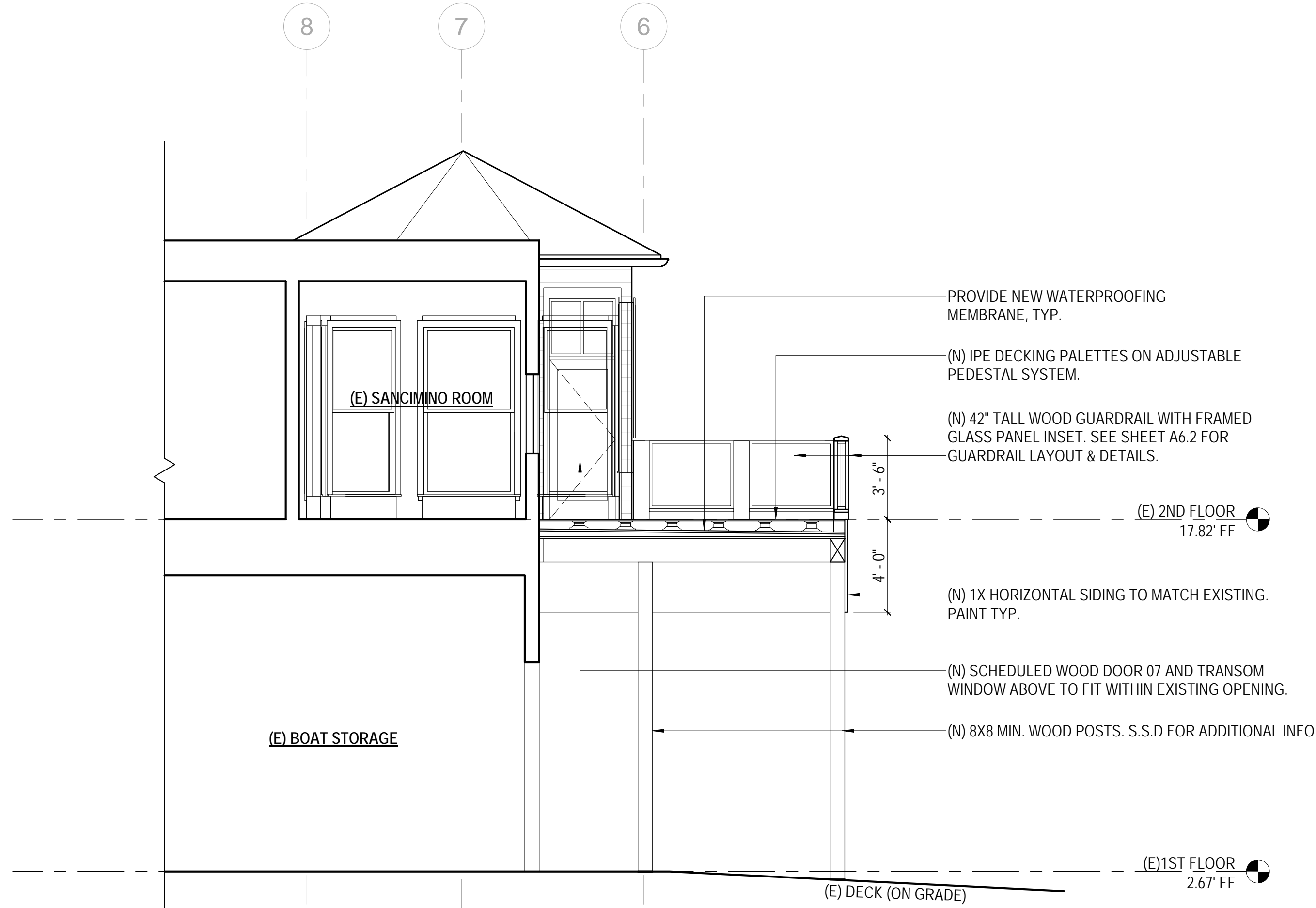
BUILDING SECTIONS

SHEET NUMBER:

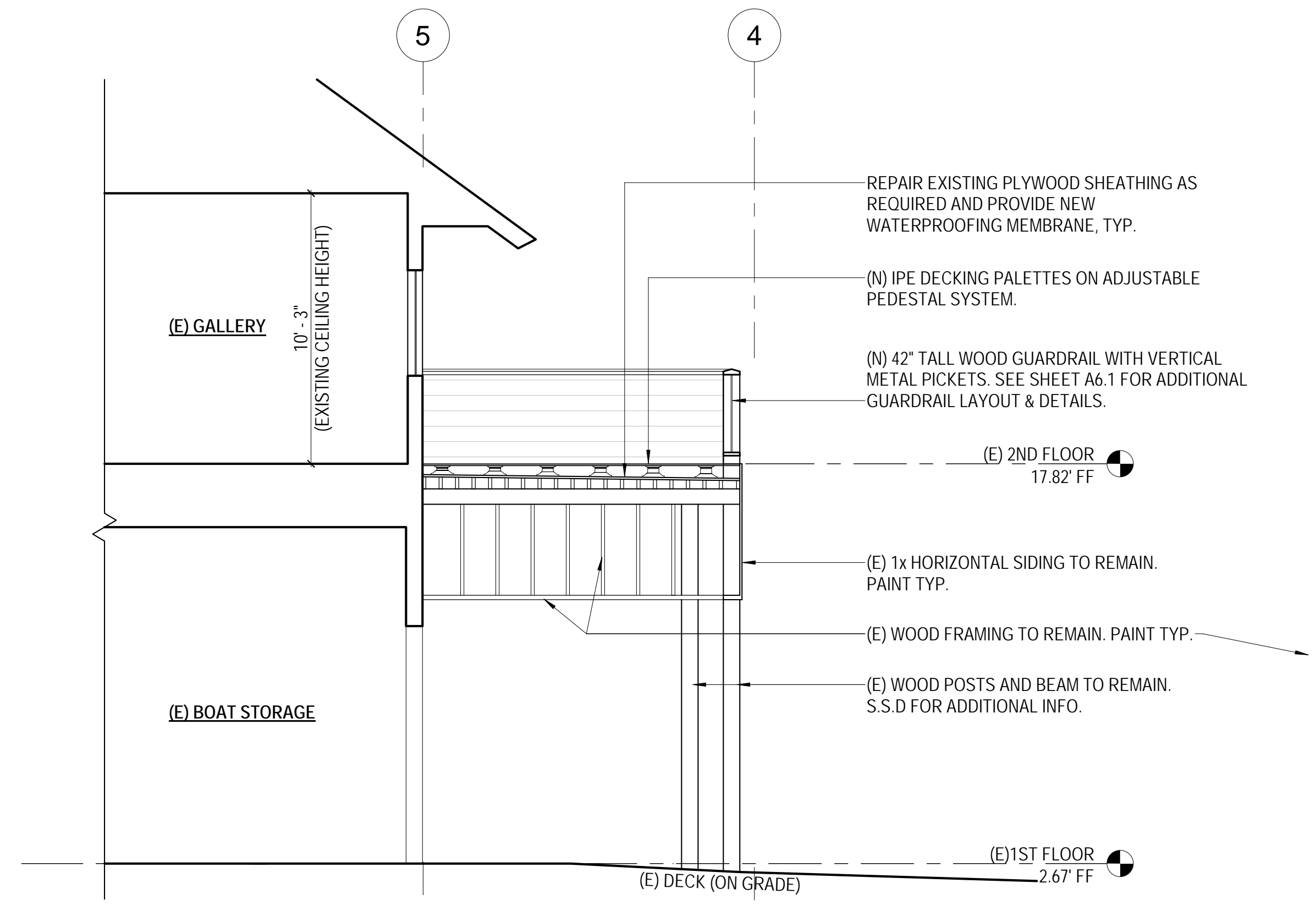
A3.1



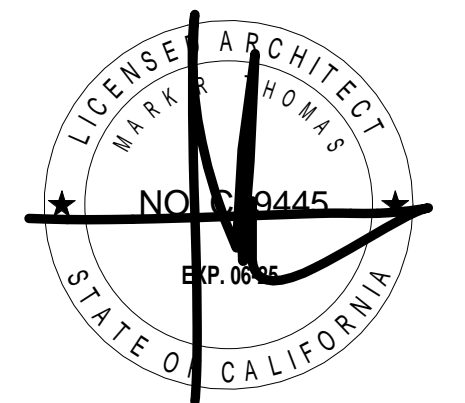
1 SITE SECTION AT NEW WEIGHT ROOM AND GALLEY
SCALE: 3/16" = 1'-0"



3 SECTION @ NEW SANCIMINO ROOM DECK
SCALE: 1/4" = 1'-0"



2 SECTION @ NEW STAIB ROOM DECK
SCALE: 1/4" = 1'-0"



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94109
BLOCK: 0405 LOT: 004

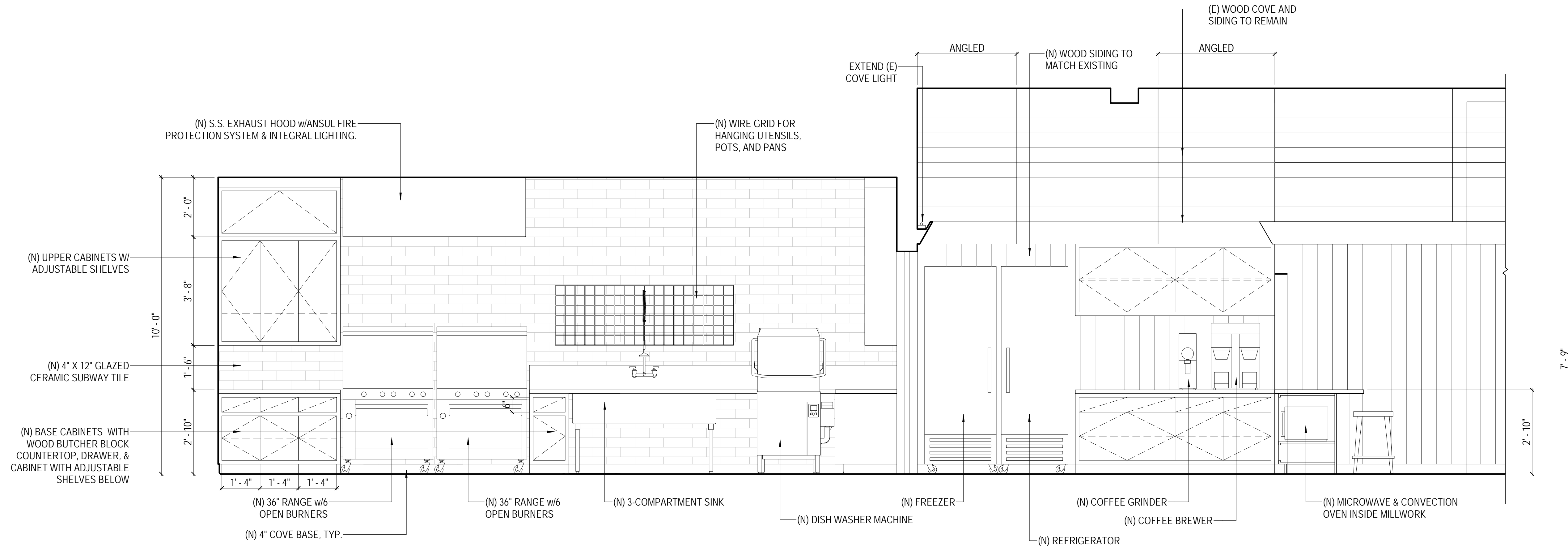
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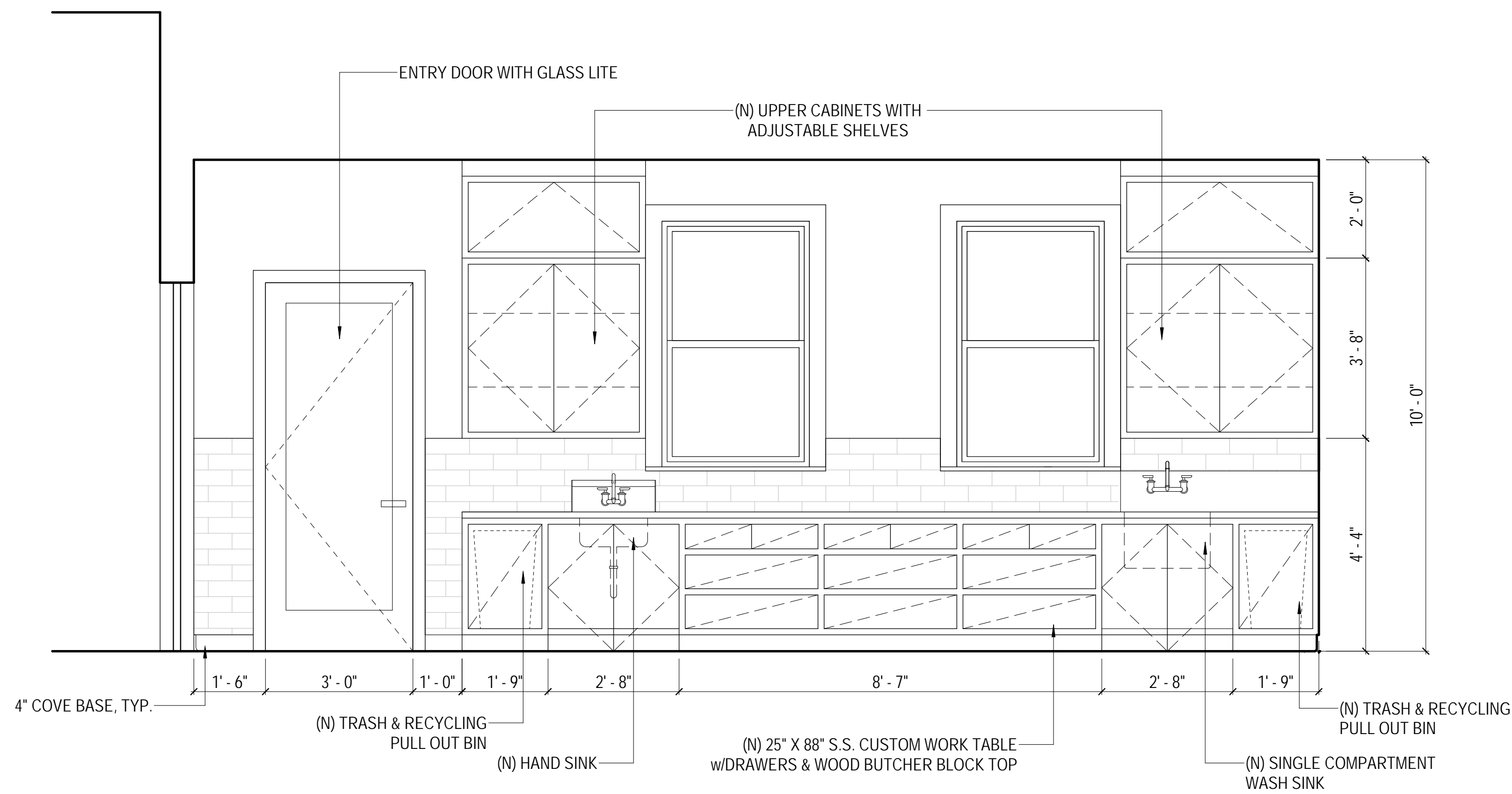
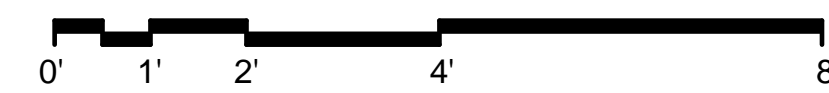
INTERIOR ELEVATIONS

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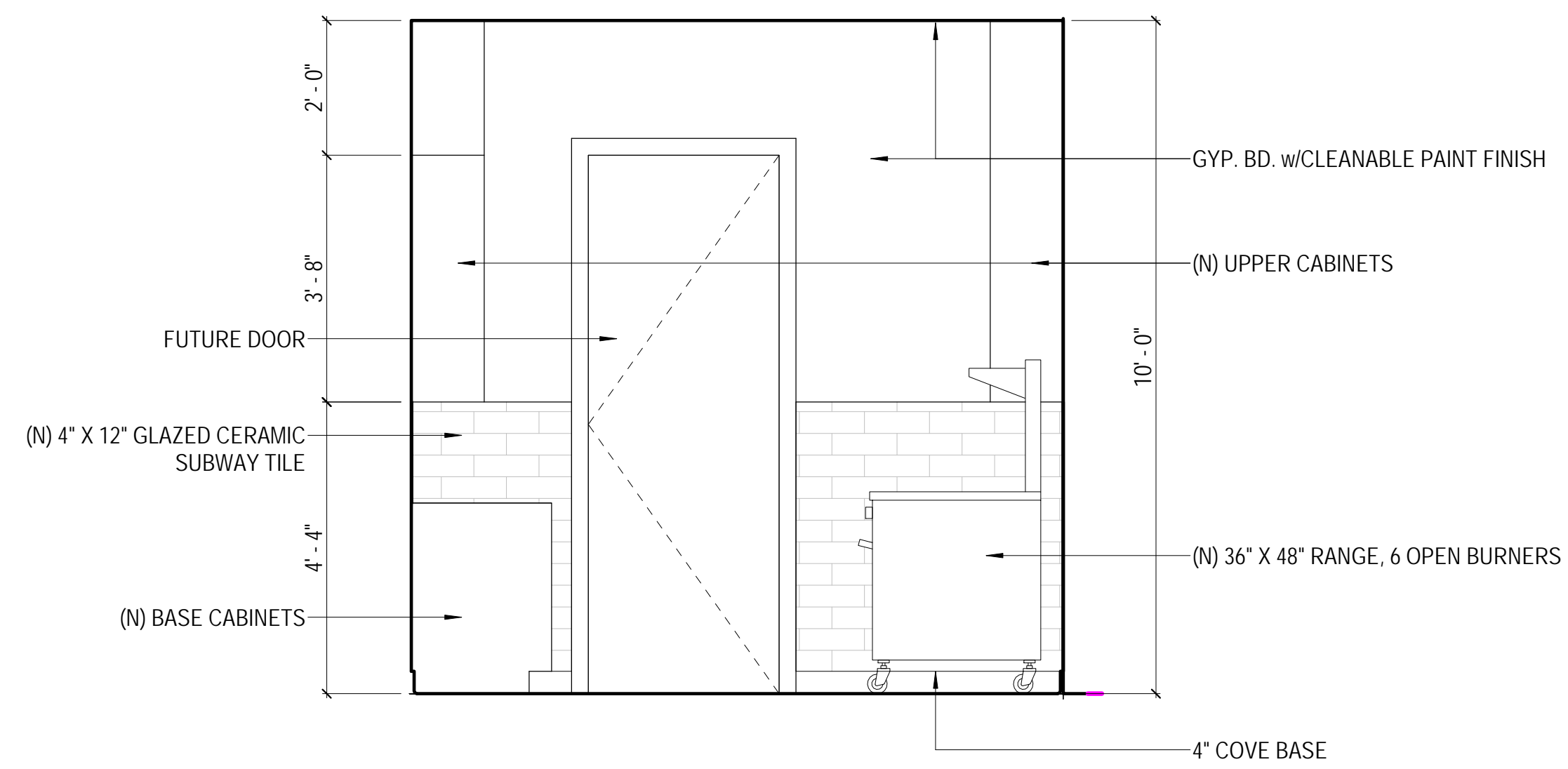
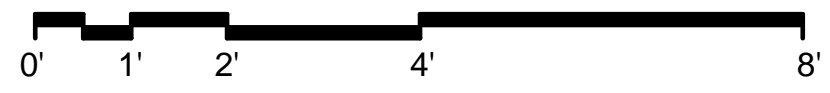
A4.1



1 GALLEY - EAST ELEVATION
SCALE: 1/2" = 1'-0"

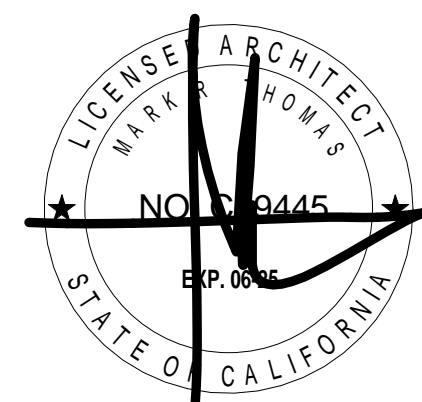


3 GALLEY - WEST ELEVATION
SCALE: 1/2" = 1'-0"



2 GALLEY - NORTH ELEVATION
SCALE: 1/2" = 1'-0"





DOLPHIN CLUB

ALTERATIONS &
ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94109
BLOCK: 0405 LOT: 004

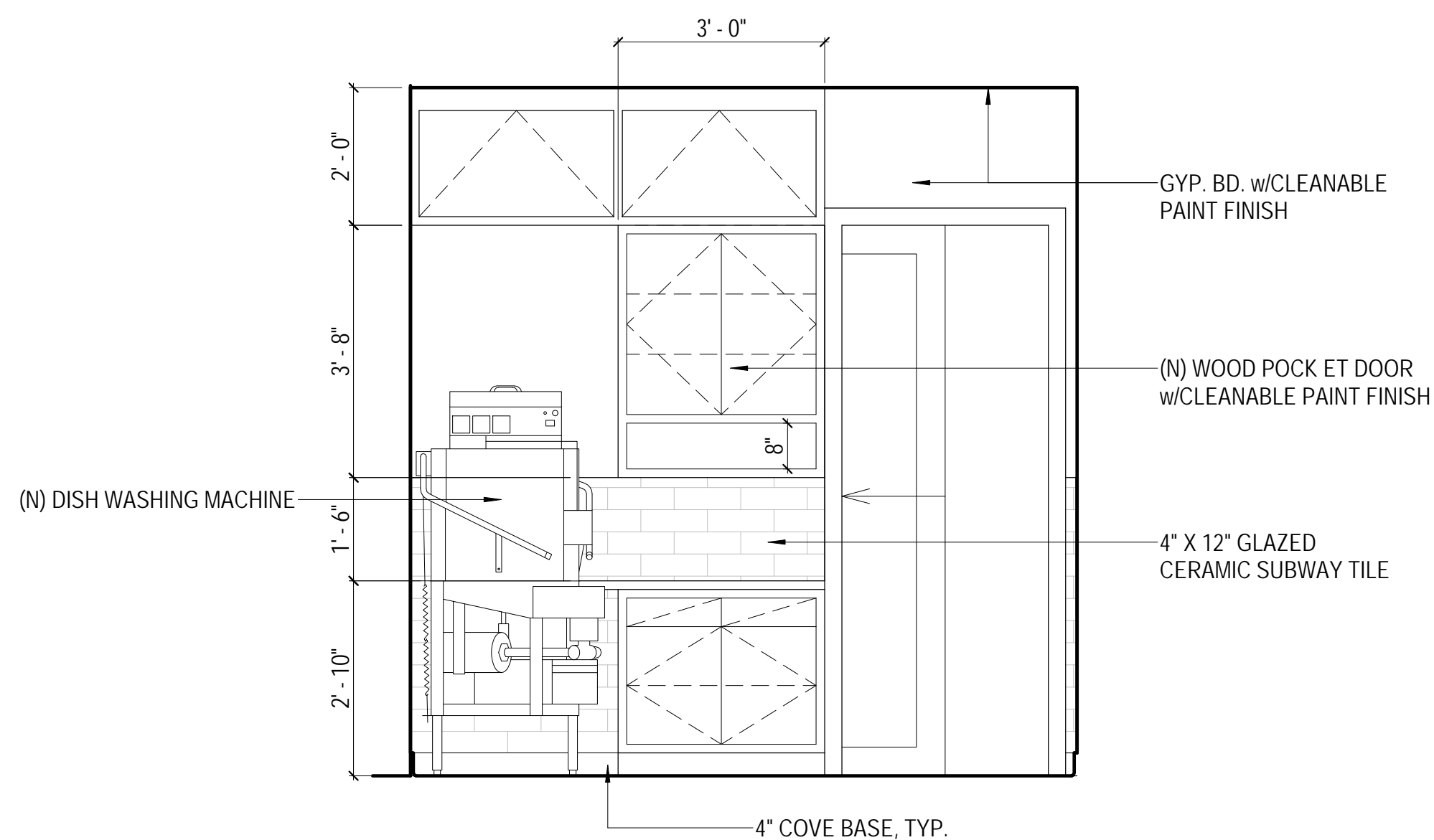
ISSUE:	DATE:
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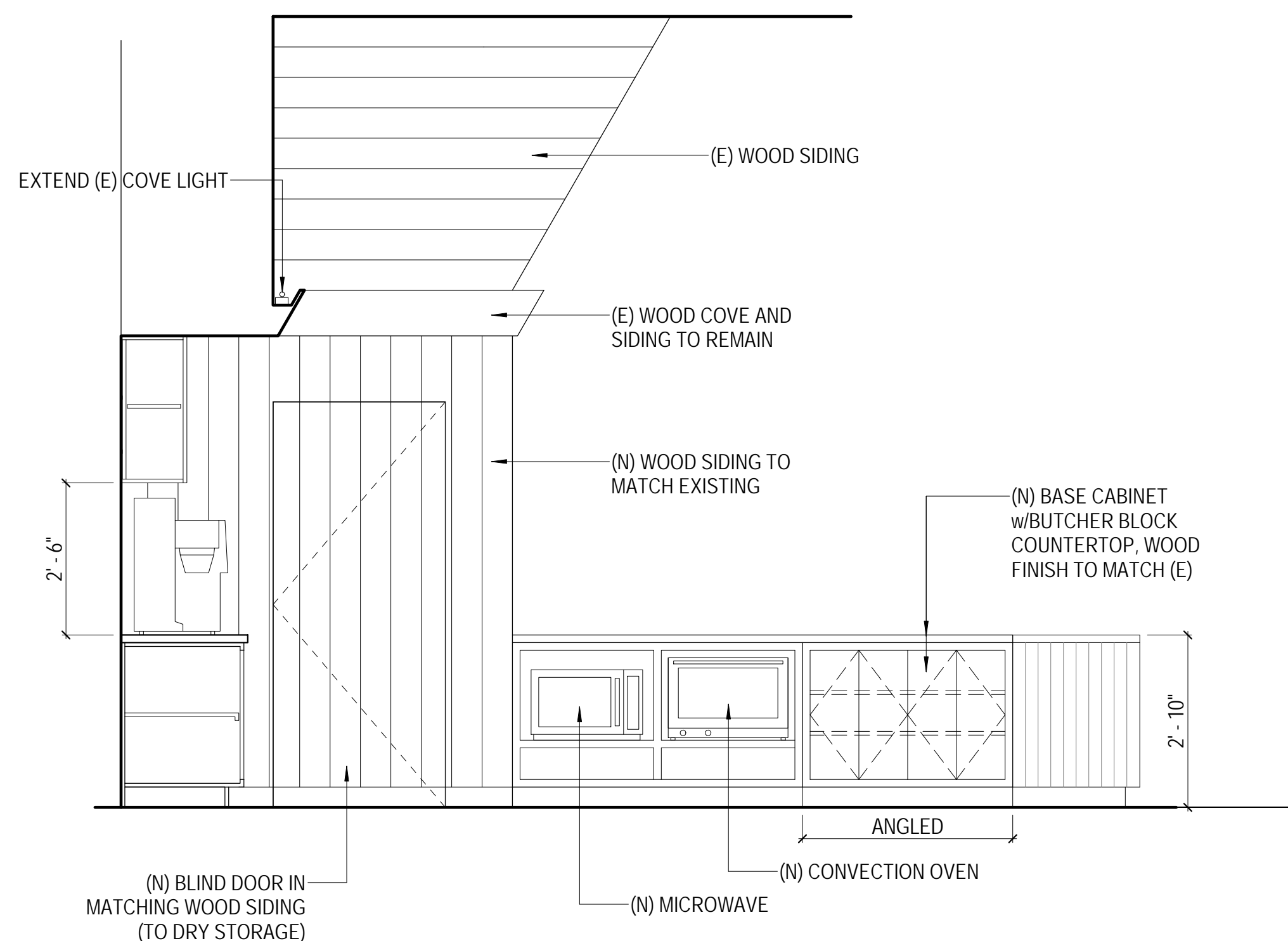
INTERIOR
ELEVATIONS

SHEET NUMBER:

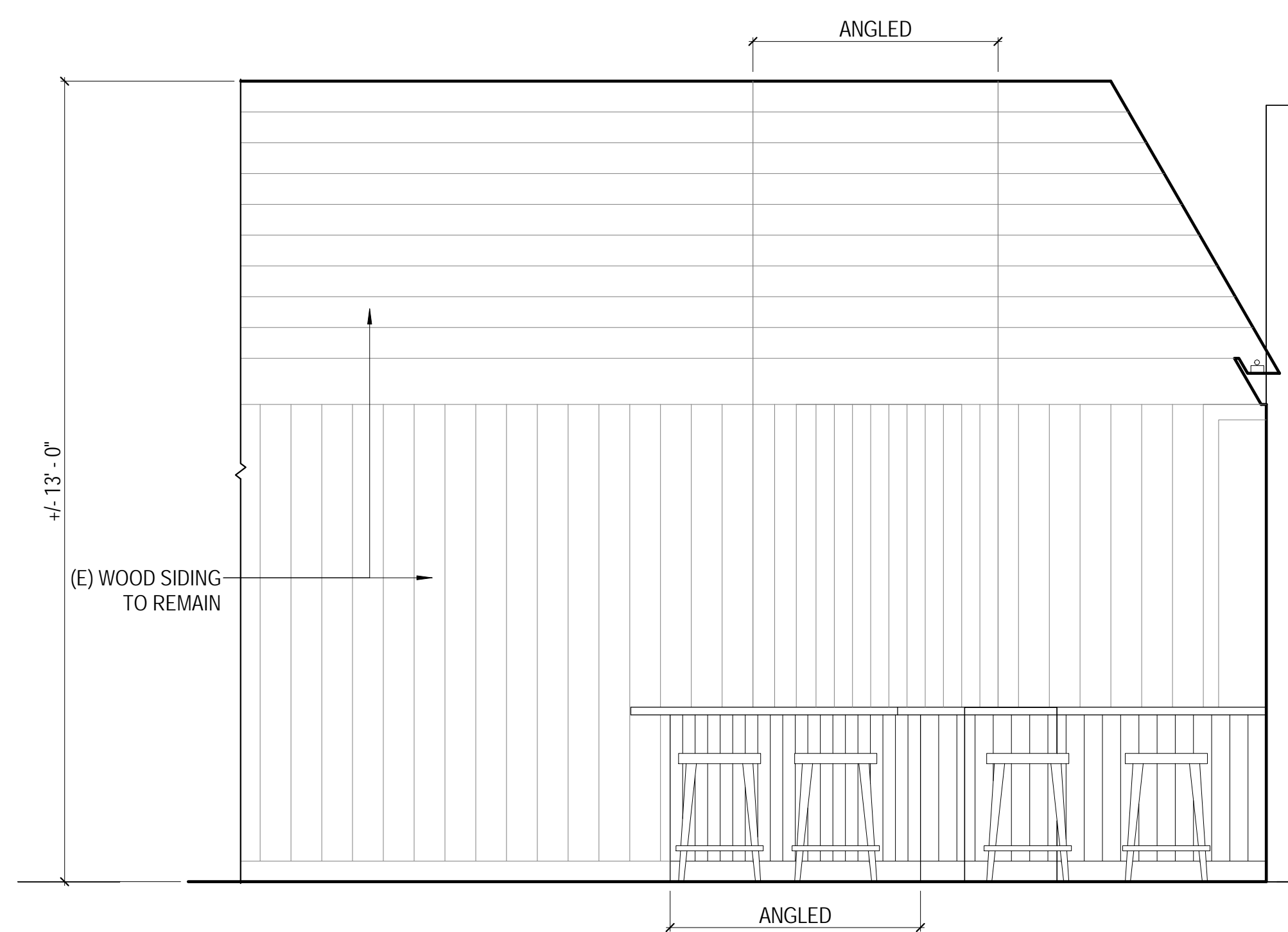
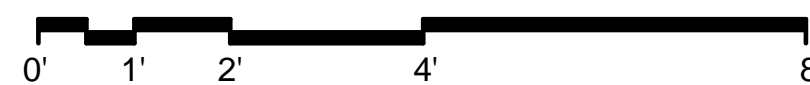
A4.2



1 GALLEY - SOUTH ELEVATION
SCALE: 1/2" = 1'-0"

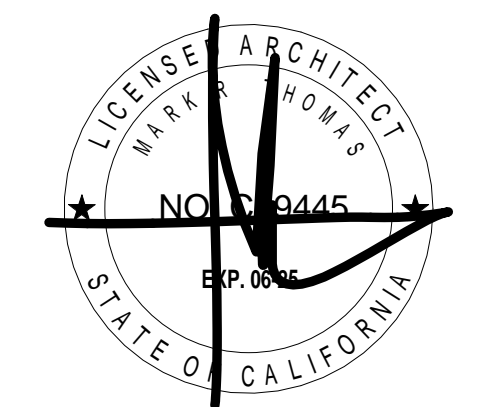


3 BAR - INTERIOR ELEVATION - OPTION 2
SCALE: 1/2" = 1'-0"



2 BAR - FRONT ELEVATION - OPTION 2
SCALE: 1/2" = 1'-0"





DOLPHIN CLUB

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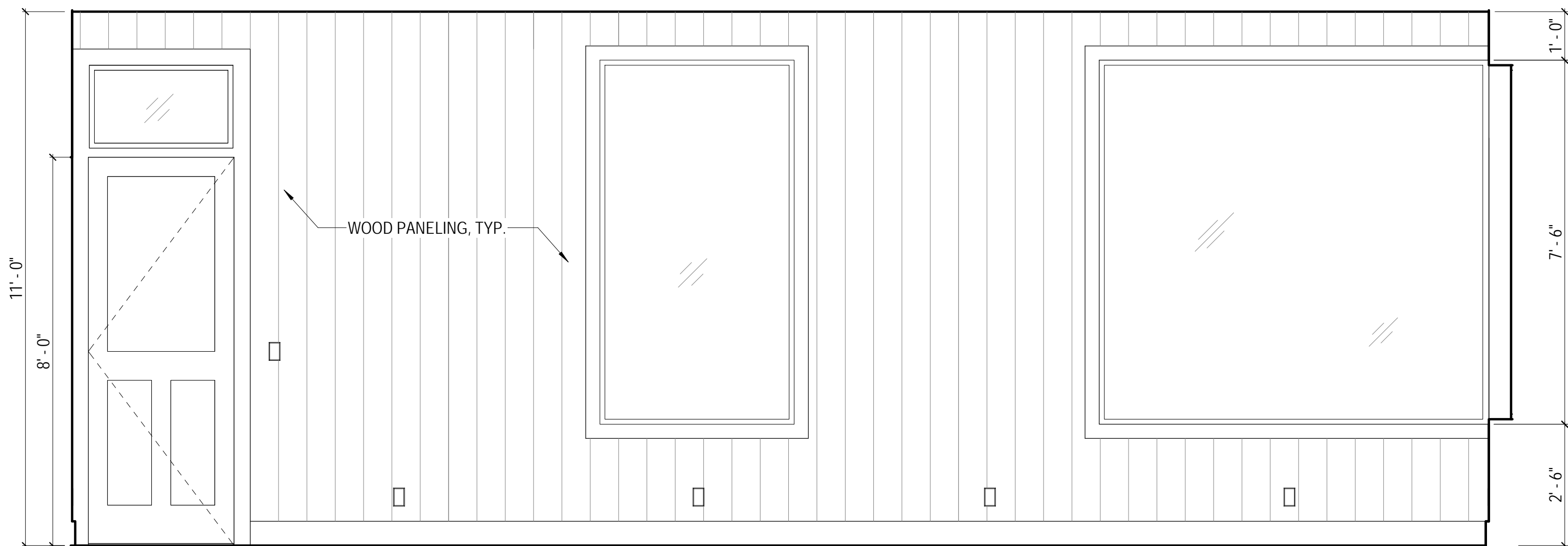
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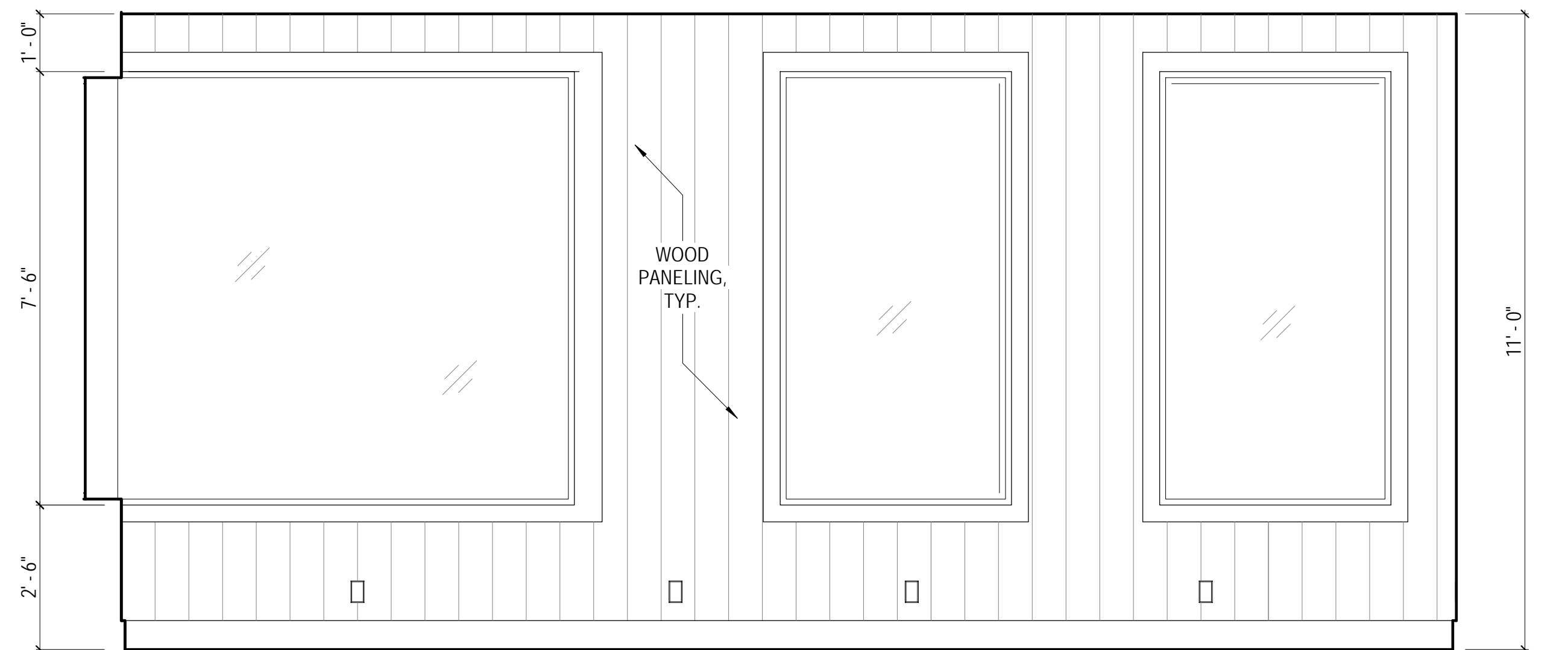
INTERIOR ELEVATIONS

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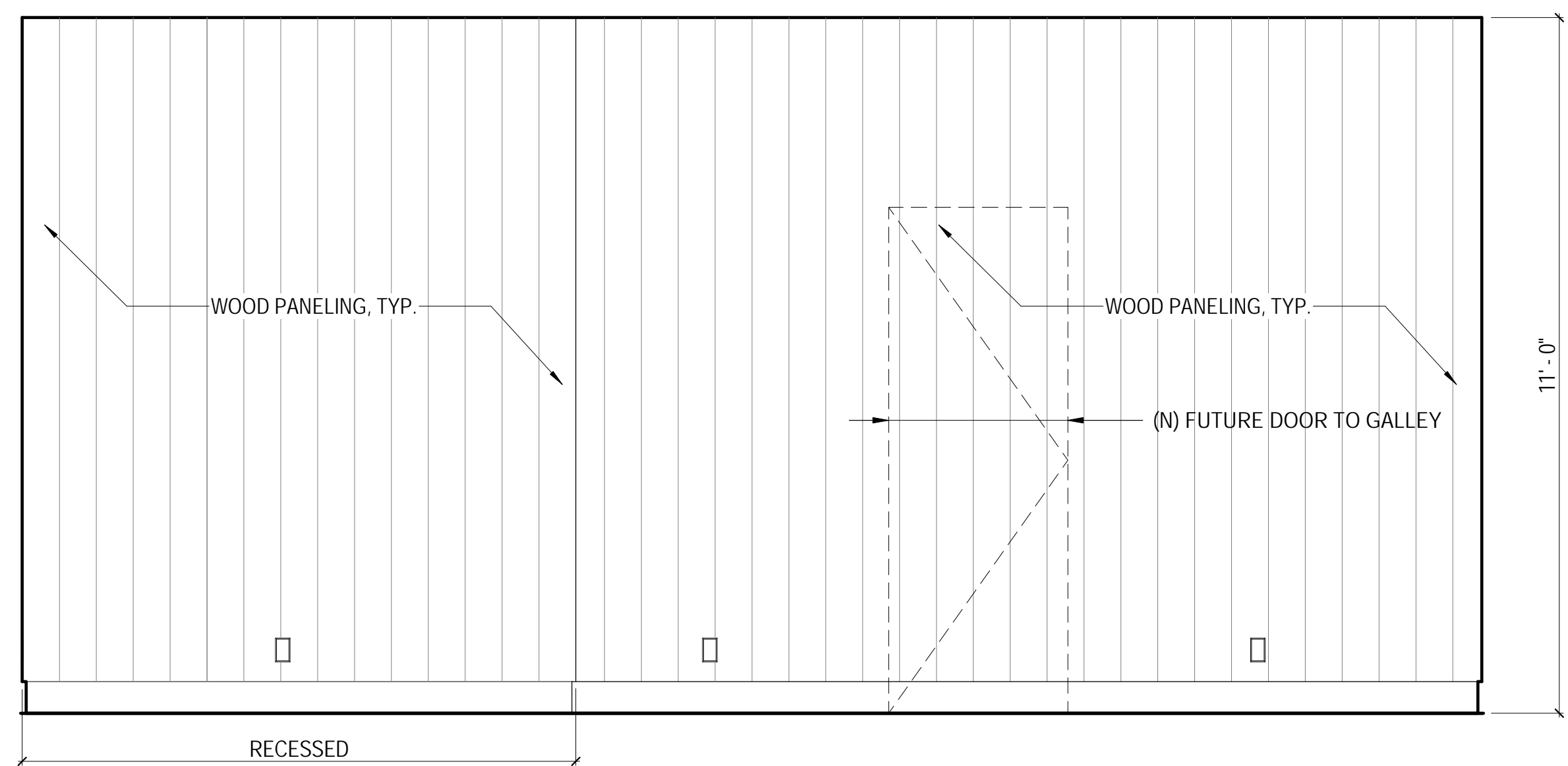
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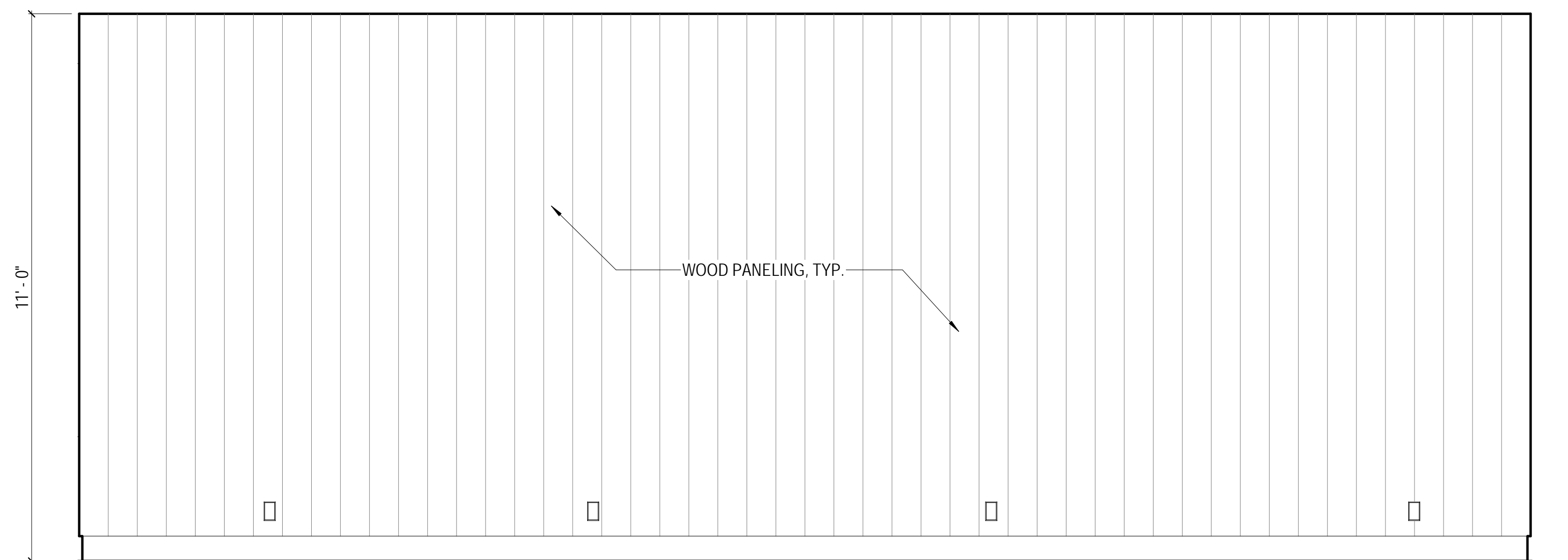
1 WEIGHT ROOM - WEST ELEVATION
SCALE: 1/2" = 1'-0"



2 WEIGHT ROOM - NORTH ELEVATION
SCALE: 1/2" = 1'-0"



4 WEIGHT ROOM - SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



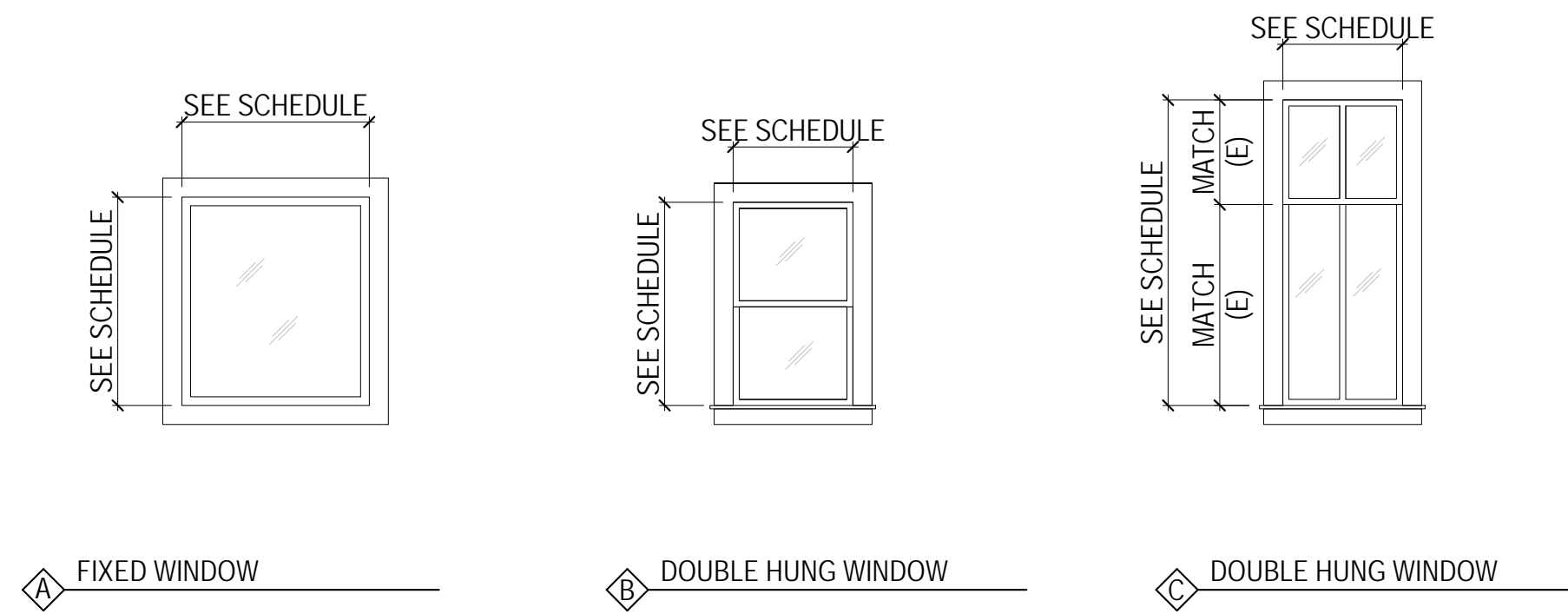
3 WEIGHT ROOM - EAST ELEVATION
SCALE: 1/2" = 1'-0"

WINDOW SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	HEAD HT	MATERIAL	FINISH	TEMPER	NOTES
1	A	4'-0"	7'-6"	10'-0"	WOOD	PAINTED	X	
2	A	4'-0"	7'-6"	10'-0"	WOOD	PAINTED	X	
3	A	8'-0"	7'-6"	10'-0"	WOOD	PAINTED	X	
4	A	8'-0"	7'-6"	10'-0"	WOOD	PAINTED	X	
5	A	4'-0"	7'-6"	10'-0"	WOOD	PAINTED	X	
6	B	3'-0"	5'-0"	8'-9"	WOOD	PAINTED	X	
7	B	3'-0"	5'-0"	8'-9"	WOOD	PAINTED	X	
8	B	3'-0"	5'-0"	7'-6"	WOOD	PAINTED	X	
9	B	3'-0"	5'-0"	7'-6"	WOOD	PAINTED	X	
10	B	3'-0"	5'-0"	7'-6"	WOOD	PAINTED	X	
11	B	3'-0"	5'-0"	7'-6"	WOOD	PAINTED	X	
12	B	3'-0"	5'-0"	7'-6"	WOOD	PAINTED	X	
13	A	4'-6"	5'-0"	7'-6"	WOOD	PAINTED	X	
14	C	4'-0"	7'-4"	9'-4"	WOOD	PAINTED	X	
15	C	4'-0"	7'-4"	8'-4"	WOOD	PAINTED	X	
16	C	4'-0"	7'-4"	8'-4"	WOOD	PAINTED	X	
17	C	4'-0"	7'-4"	8'-4"	WOOD	PAINTED	X	
18	C	4'-0"	7'-4"	8'-4"	WOOD	PAINTED	X	

WINDOW GENERAL NOTES

- NEW WINDOW OPENINGS TO BE ENERGY EFFICIENT.
- WINDOW DIMENSIONS INDICATED ABOVE ARE APPROXIMATE FRAME DIMENSIONS. GENERAL CONTRACTOR TO FIELD VERIFY TRUE WINDOW SIZE REQUIREMENTS PRIOR TO ORDERING WINDOWS.
- ALL WINDOWS ARE TO BE CUSTOM WOOD WINDOWS, UNLESS NOTED OTHERWISE.
- WINDOW SYMBOLS SHOW VIEW FROM EXTERIOR.

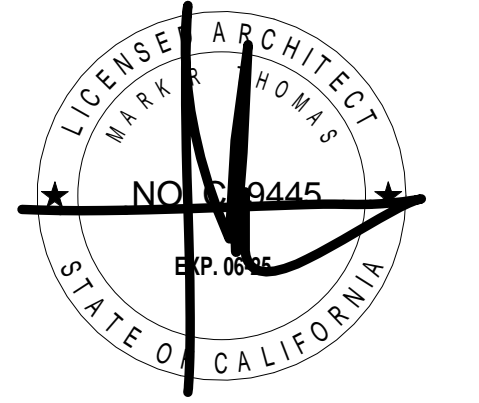
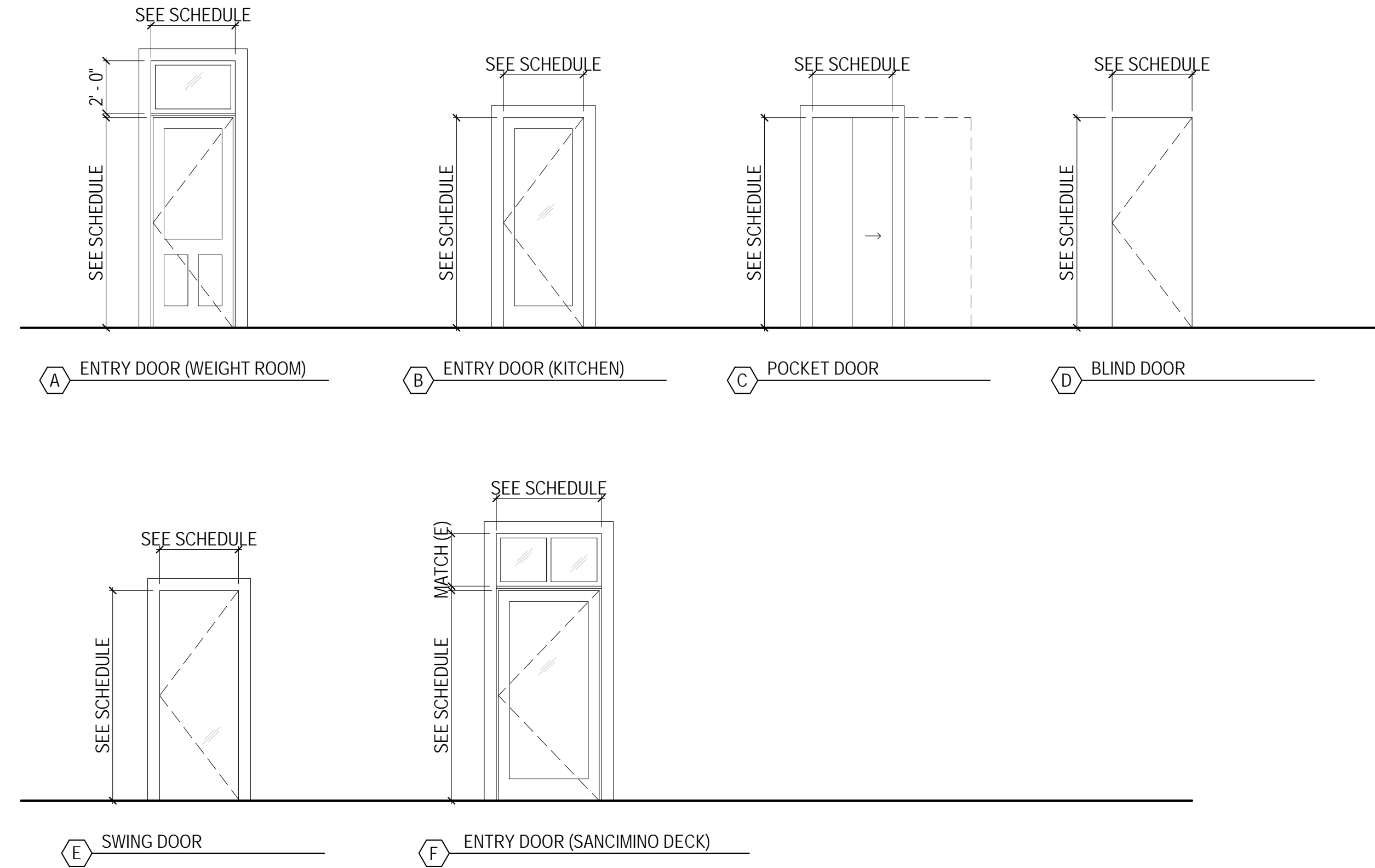


DOOR SCHEDULE

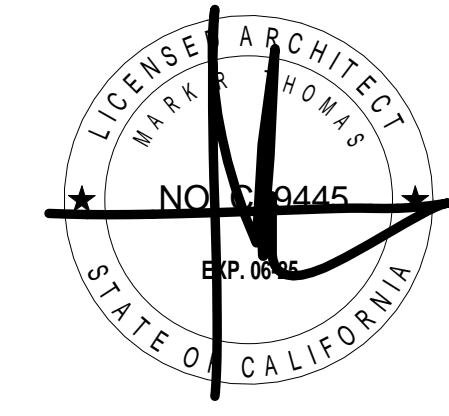
MARK	LOCATION	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	RATING	NOTES
01	(N) GYM	A	3'-0"	8'-0"	WOOD	PAINTED	NA	
02	(N) KITCHEN	B	3'-0"	8'-0"	WOOD	PAINTED	NA	
03	(N) KITCHEN	C	3'-0"	8'-0"	WOOD	PAINTED	NA	
04	(N) STORAGE	D	2'-10"	8'-0"	WOOD	PAINTED	NA	
05	(E) GALLERY	B	3'-0"	8'-0"	WOOD	PAINTED	NA	
07	(N) MEETING ROOM	B	3'-0"	8'-0"	WOOD	PAINTED	NA	
08	(E) LOUNGE	F	4'-0"	8'-0"	WOOD	PAINTED	NA	
09	(E) RESTROOM	E	2'-10"	7'-6"	WOOD	PAINTED	NA	

DOOR GENERAL NOTES

- DIMENSIONS INDICATED ARE OF APPROXIMATE LEAF SIZE OR IN SOME INSTANCES, FINISHED OPENING SIZE.
- STANDARD DOOR THICKNESS TO BE 1-3/4" UNLESS NOTED OTHERWISE.
- ALL FIRE-RATED DOORS SHALL HAVE SMOKE-TIGHT GASKETS AND SELF-CLOSING DEVICES.



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502 JEFFERSON STREET
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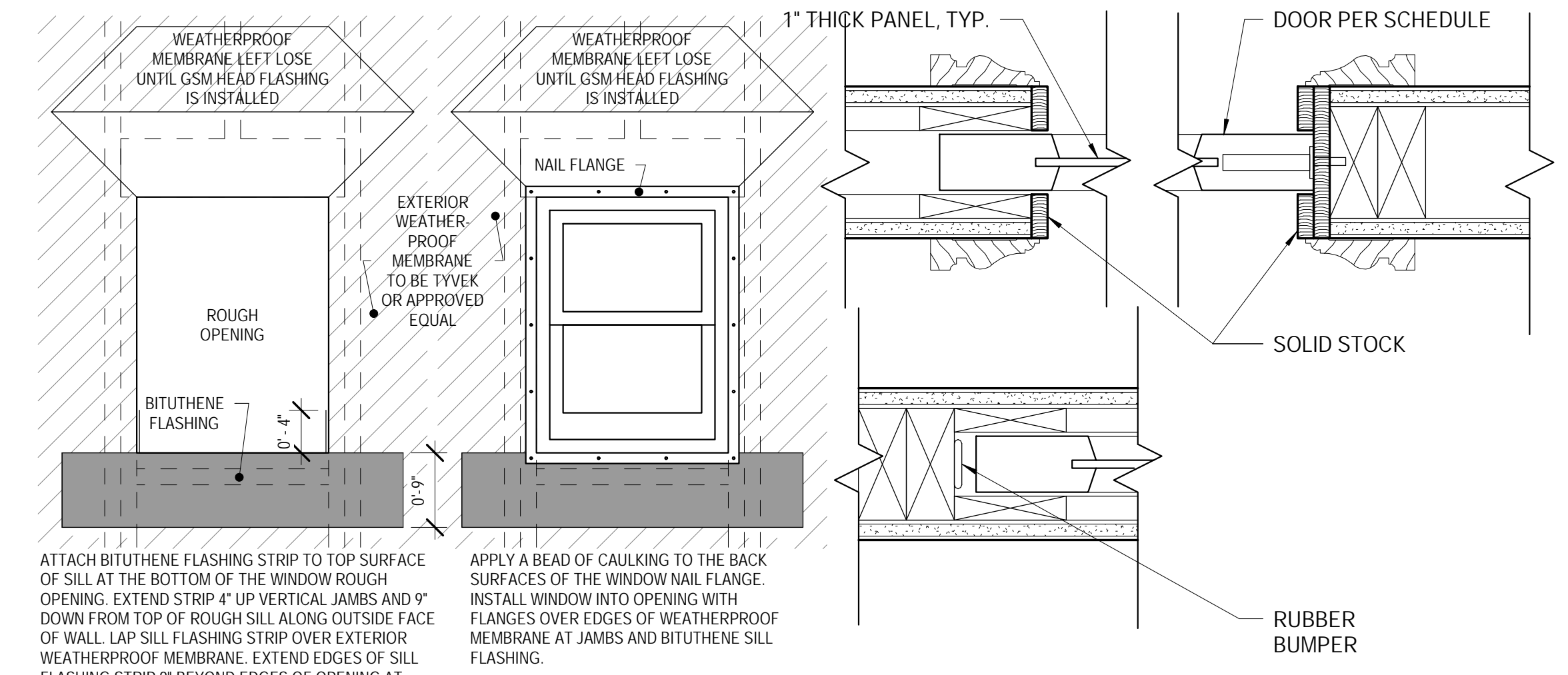
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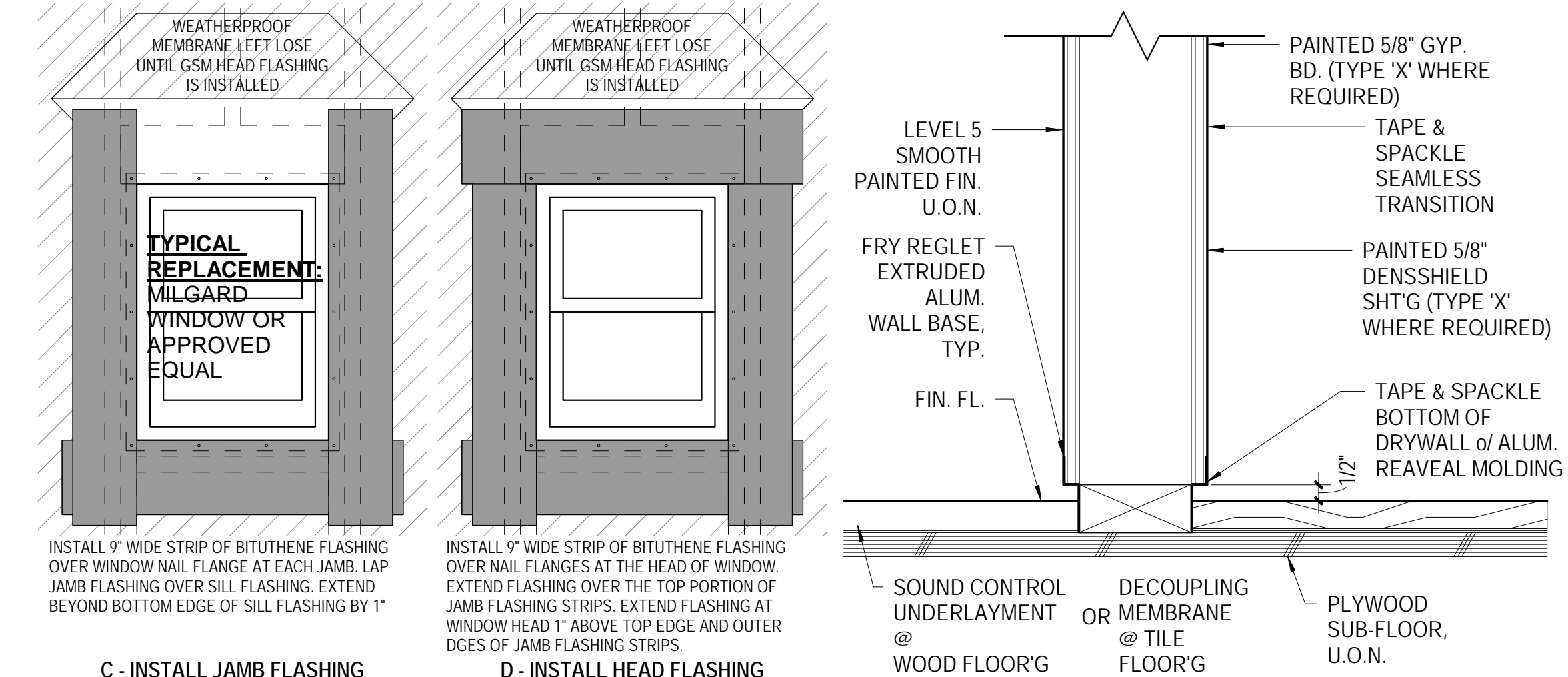
ARCHITECTURAL DETAILS

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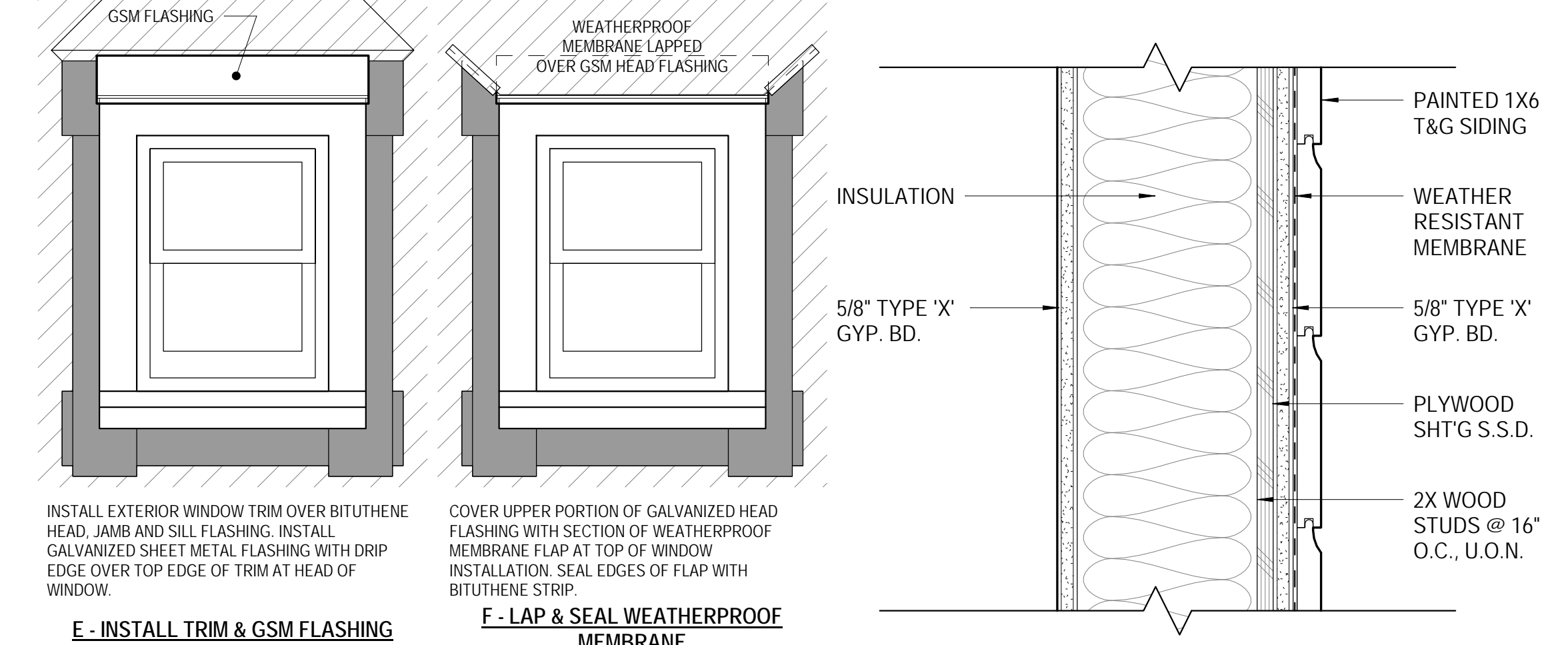
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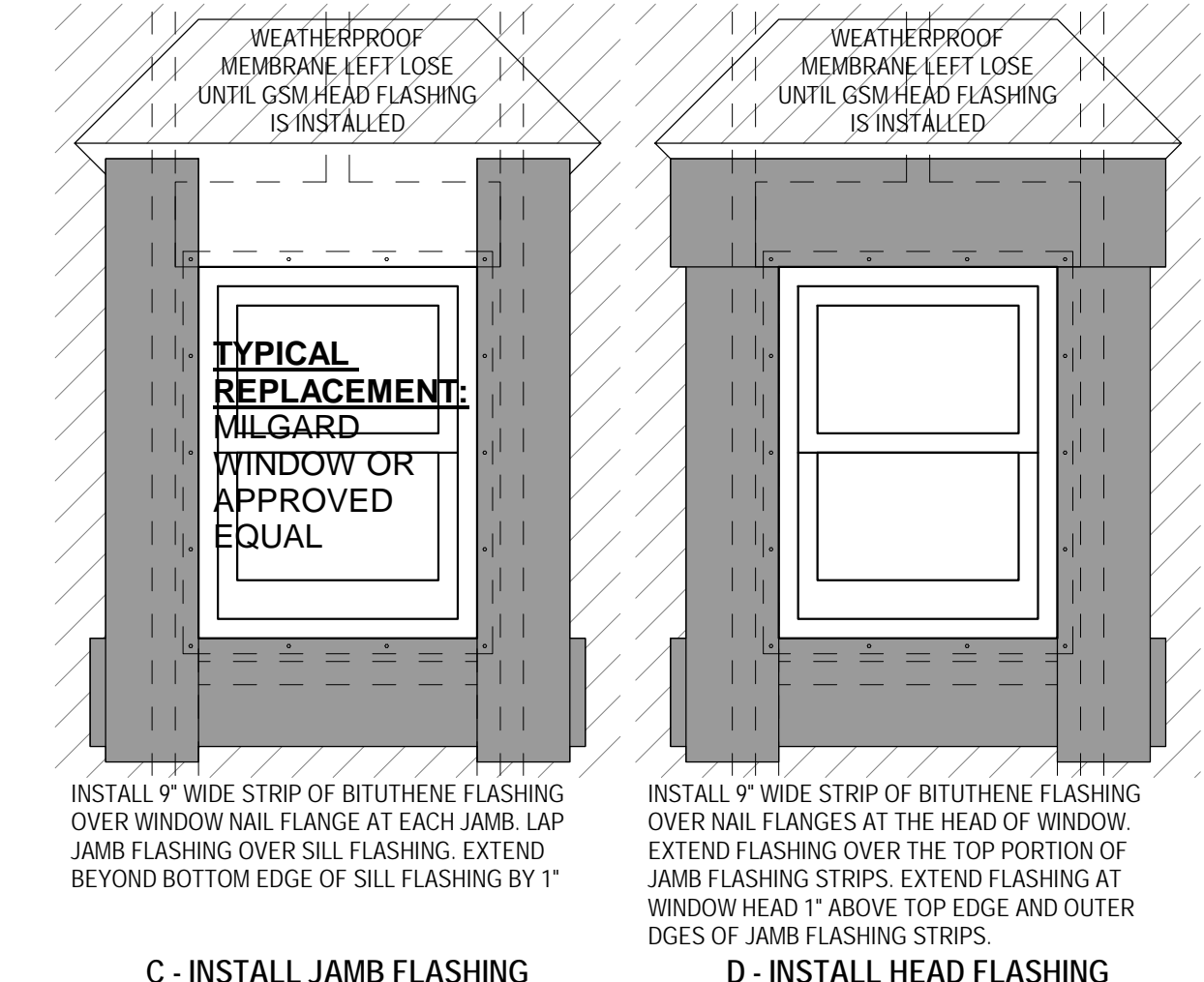
3 TYPICAL POCKET DOOR DETAIL
SCALE: 3" = 1'-0"



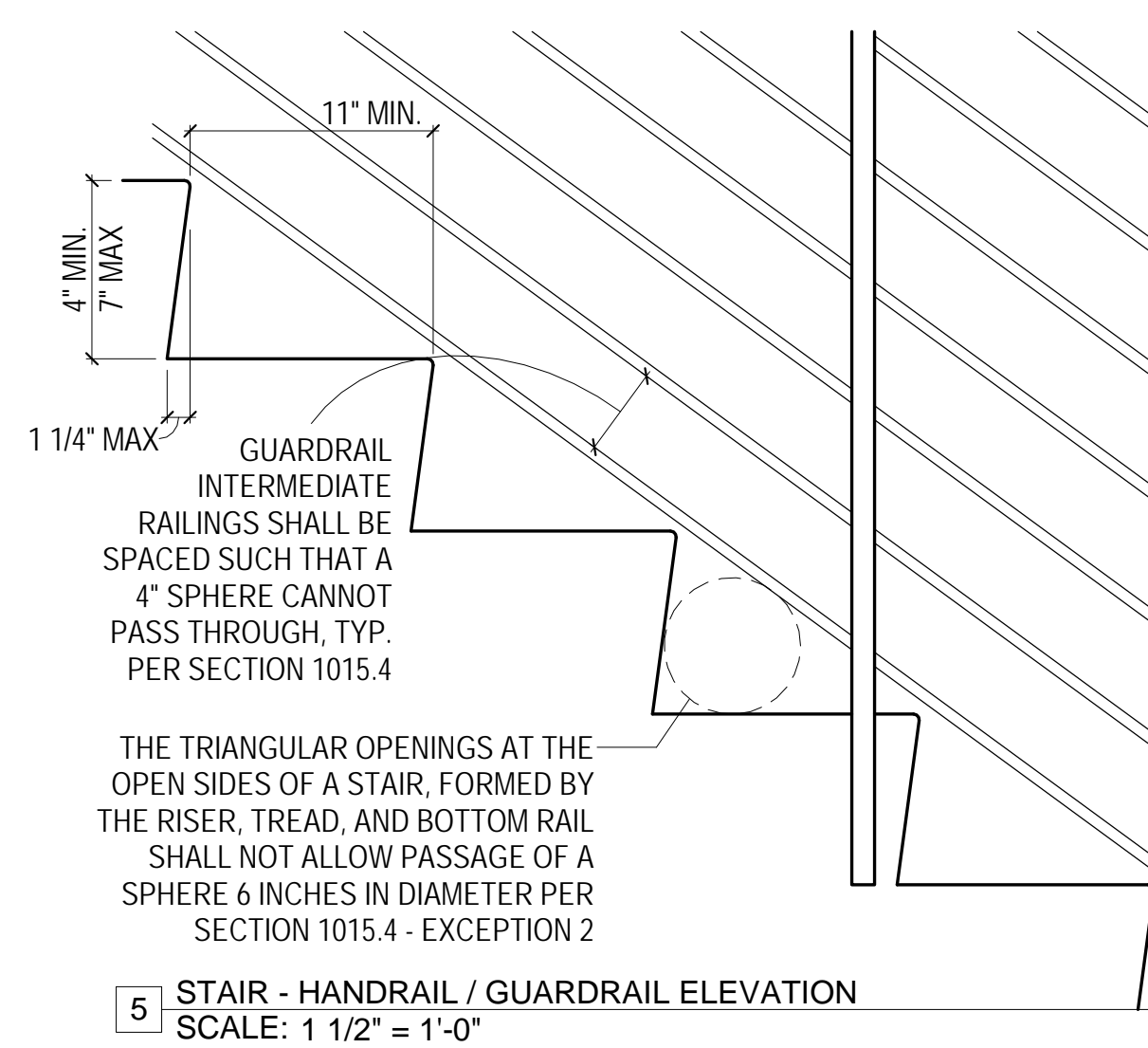
2 TYPICAL INTERIOR PARTITION
SCALE: 3" = 1'-0"



1 WALL - EXTERIOR WALL DETAIL - SIDING
SCALE: 3" = 1'-0"



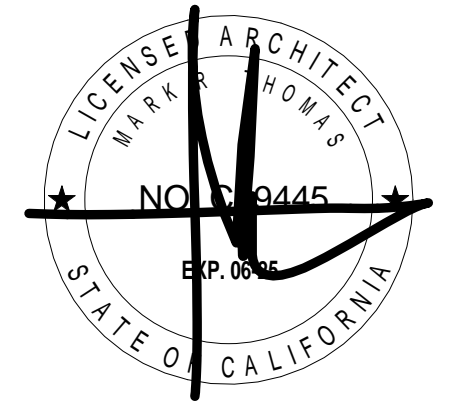
4 WINDOW - WATERPROOFING, TYP.
SCALE: N.T.S.



5 STAIR - HANDRAIL / GUARDRAIL ELEVATION
SCALE: 1 1/2" = 1'-0"

GUARDRAIL INTERMEDIATE RAILINGS SHALL BE SPACED SUCH THAT A 4\"/>

THE TRIANGULAR OPENINGS AT THE OPEN SIDES OF A STAIR, FORMED BY THE RISER, TREAD, AND BOTTOM RAIL SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER PER SECTION 1015.4 - EXCEPTION 2



DOLPHIN CLUB

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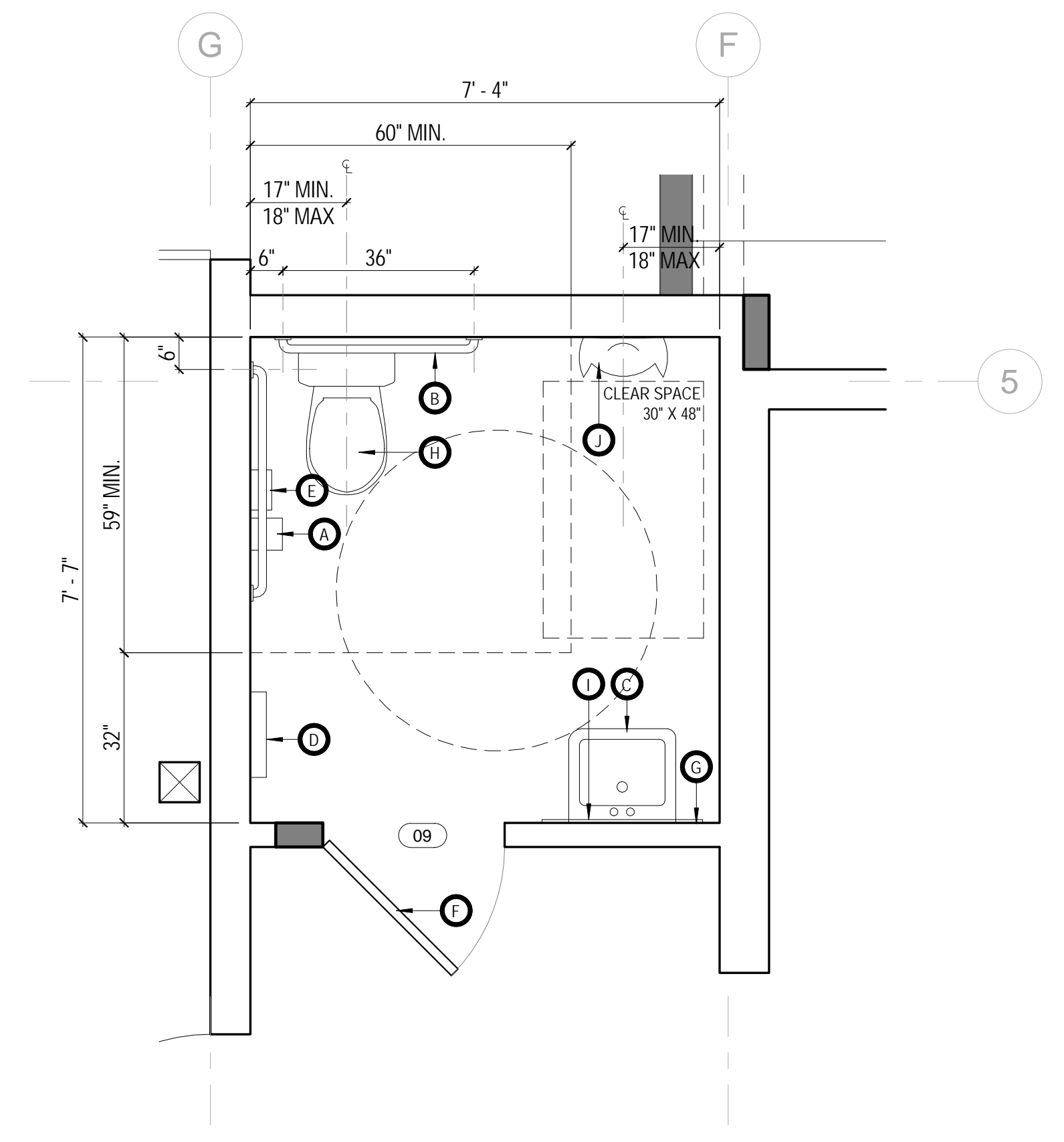
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SHEET TITLE:

ACCESSIBILITY DETAILS

SHEET NUMBER:

A5.3

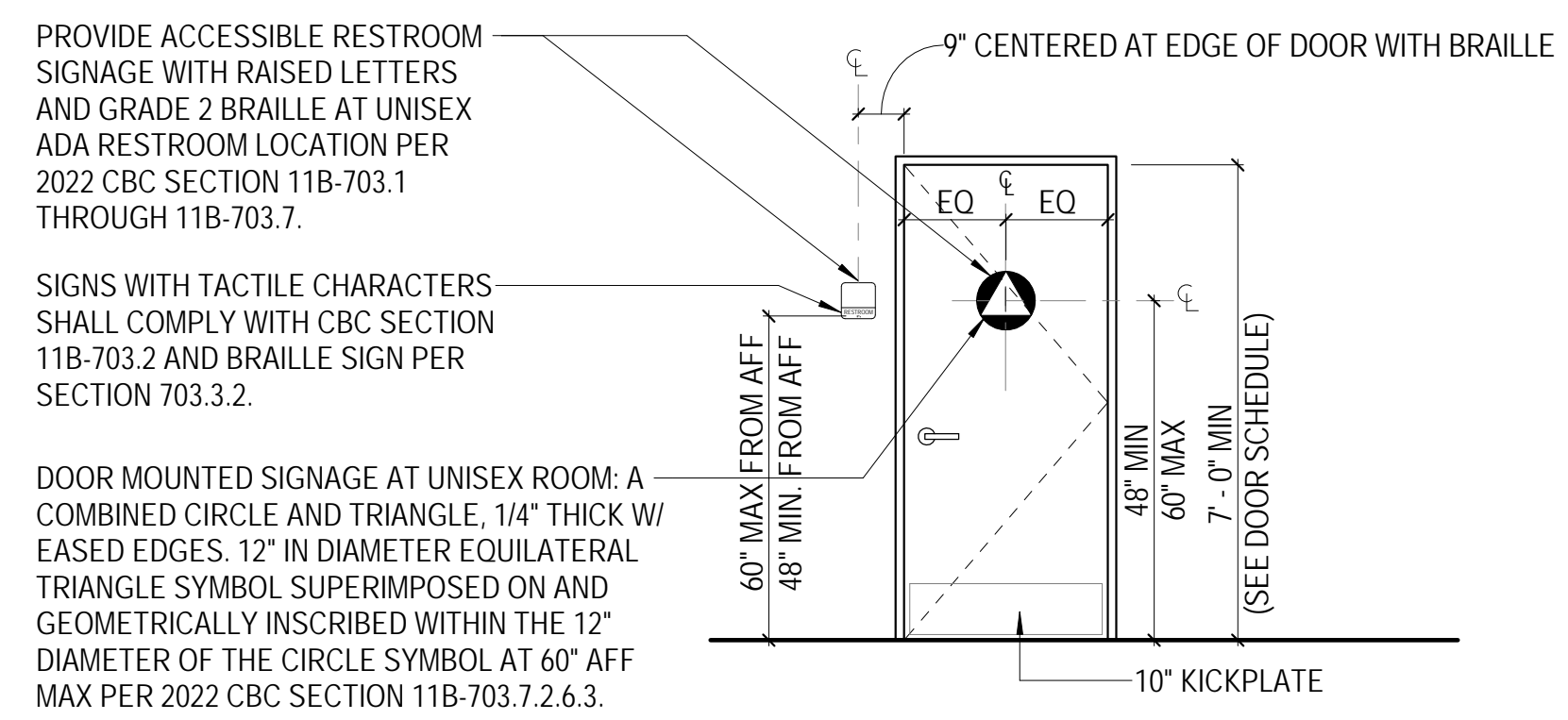


1 ENLARGED PLAN - FLOOR 01 - ACCESSIBLE RESTROOM
SCALE: 1/2" = 1'-0"

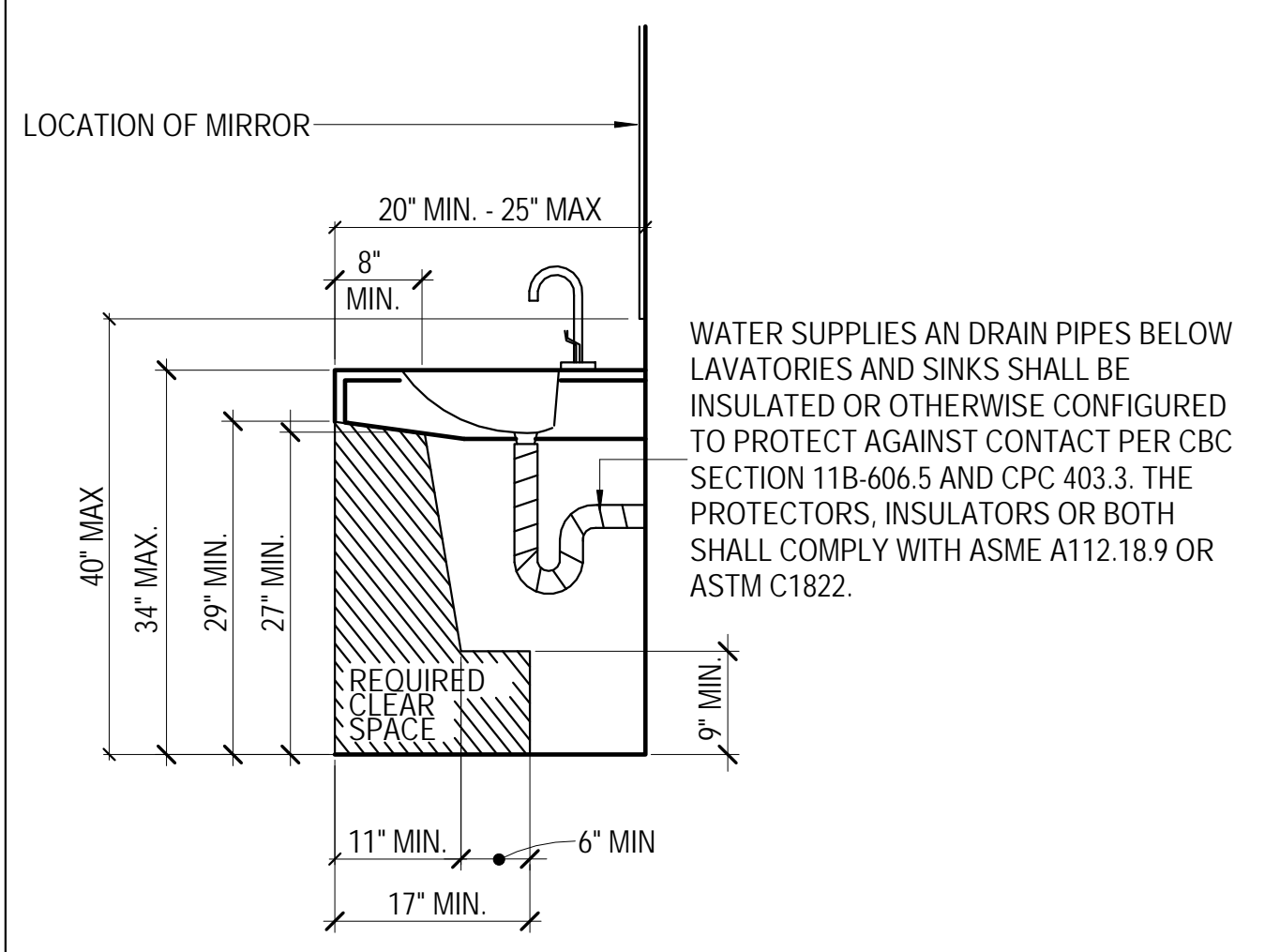
PLUMBING FIXTURE LEGEND		
A	WALL MOUNTED TOILET PAPER DISPENSER	EXISTING
B	WALL MOUNTED STAINLESS STEEL GRAB BAR	EXISTING
C	WALL MOUNTED ACCESSIBLE LAVATORY	EXISTING
D	PAPER TOWEL DISPENSER / WASTE RECEPTABLE	EXISTING
E	WALL MOUNTED SANITARY NAPKIN DISPOSAL	EXISTING
F	ACCESSIBLE WARDROBE HOOK	EXISTING
G	WALL MOUNTED SOAP DISPENSER	EXISTING
H	FLOOR MOUNTED ACCESSIBLE WATER CLOSET	EXISTING
I	TEMPERED MIRROR IN MTL FRAME	EXISTING
J	ACCESSIBLE WALL MOUNTED URINAL	EXISTING

ACCESSIBILITY KEYNOTES

- PROVIDE HAND OPERATED OR AUTOMATIC FLUSH CONTROLS FOR WATER CLOSETS PER CBC 11B-604.6:
 - FOR HAND OPERATED FLUSH CONTROLS
 - A. CONTROLS TO BE LOCATED A MAXIMUM OF 44 INCHES ABOVE THE FINISHED FLOOR.
 - B. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS. (22.2N) MAXIMUM PER SECTION 11B-309.4
- PER 11B-603.2.3 DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE REQUIRED FOR ANY FIXTURE, EXCEPT, WHERE THE TOILET ROOM IS FOR INDIVIDUAL USE AND A 30" X 48" CLEAR FLOOR SPACE IS PROVIDED WITH THE ROOM BEYOND THE ARC OF THE DOOR SWING.
- PROVIDE 48" MIN. CLEAR MANEUVERING SPACE IN FRONT OF THE WATER CLOSET PER SECTION 11B-604.8.1.1.3.
- KNEE AND TOE CLEARANCE PER CBC 11B-306.3.3. KNEE CLEARANCE SHALL BE 11 INCHES DEEP MINIMUM AT 9 INCHES ABOVE THE FINISH FLOOR AND 8 INCHES DEEP MINIMUM AT 27 INCHES ABOVE THE FINISH FLOOR.
- WATER SUPPLIES AND DRAIN PIPES BELOW LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT PER CBC SECTION 11B-606.5 AND CPC 403.3. PROTECTORS, INSULATORS OR BOTH SHALL COMPLY WITH ASME A112.18.9 OR ASTM C1822.



2 SIGNAGE MOUNTING REQUIREMENTS
SCALE: 3/8" = 1'-0"



4 UNDERSINK CLEARANCES
SCALE: 1/2" = 1'-0"

THE STRUCTURAL STRENGTH OF GRAB BARS SHALL MEET THE FOLLOWING SPECIFICATIONS:

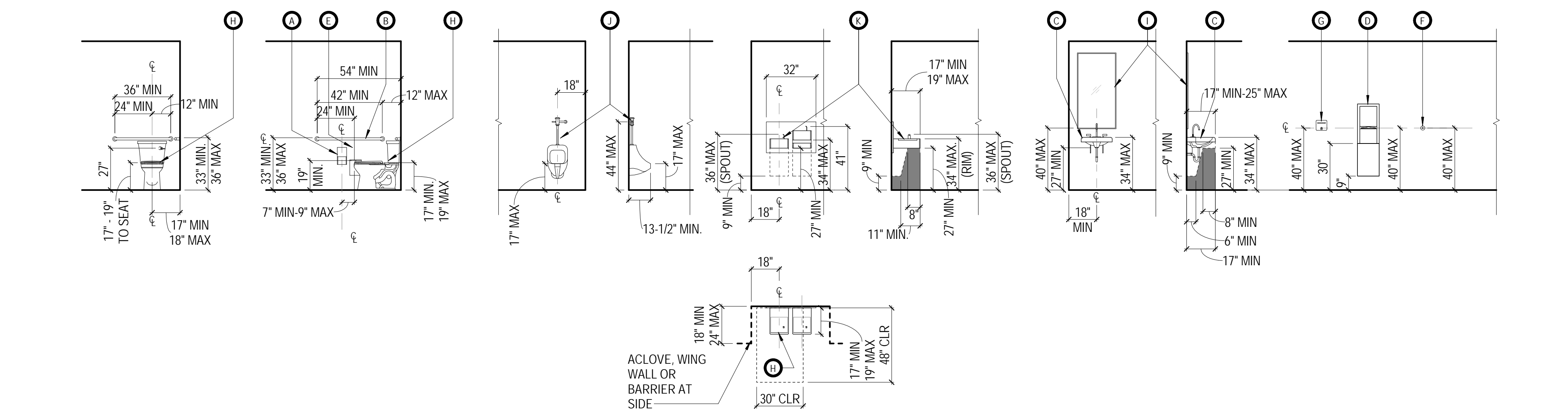
- BENDING STRESS AND SHEAR STRESS INDUCED IN A GRAB BAR BY THE APPLICATION OF A 250-POUND POINT LOAD SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR, AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
- SHEAR FORCE INDUCED IN FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF A 250-POUND POINT LOAD SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
- TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF A 250-POUND POINT LOAD, PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF A 250-POUND POINT LOAD, SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER AND SUPPORTING STRUCTURE.
- GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS. EDGES SHALL HAVE MINIMUM RADIUS OF 1/8", GRAB BAR AND ADJACENT SURFACE SHALL BE FREE OF ABRASIVE ELEMENTS.

PROVIDE BACKING AT GRAB BAR LOCATIONS AS REQUIRED. STRUCTURAL STRENGTH OF GRAB BARS SHALL MEET CBC SECTION 11B-609

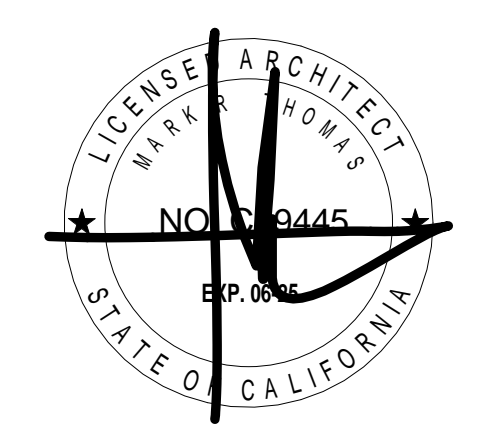
SPECIFIED GRAB BAR: SEE FIXTURE SCHEDULE.

CONCEALED ANCHOR PLATE @ STUD WALL. 12 GA, 3" WIDE, CONTINUOUS @ GRAB BAR LOCATION. COORDINATE REQUIRED LENGTH AND LOCATION OF SCREWS WITH SPECIFIED GRAB BAR.

5 ACCESSIBILITY REQUIREMENTS
SCALE: 3" = 1'-0"



3 SIGNAGE MOUNTING REQUIREMENTS
SCALE: 1/4" = 1'-0"



DOLPHIN CLUB
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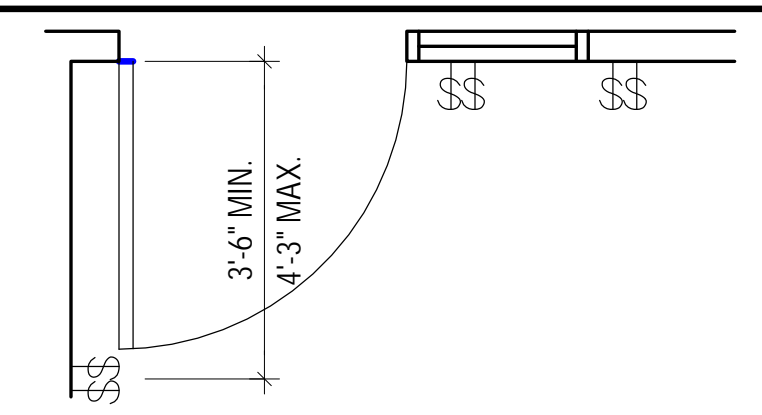
ACCESSIBILITY DETAILS

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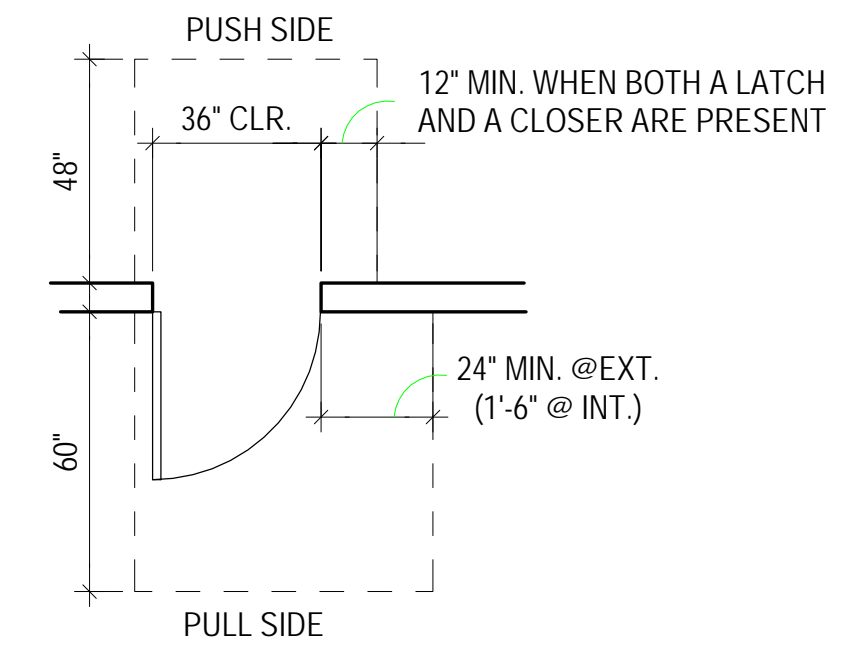
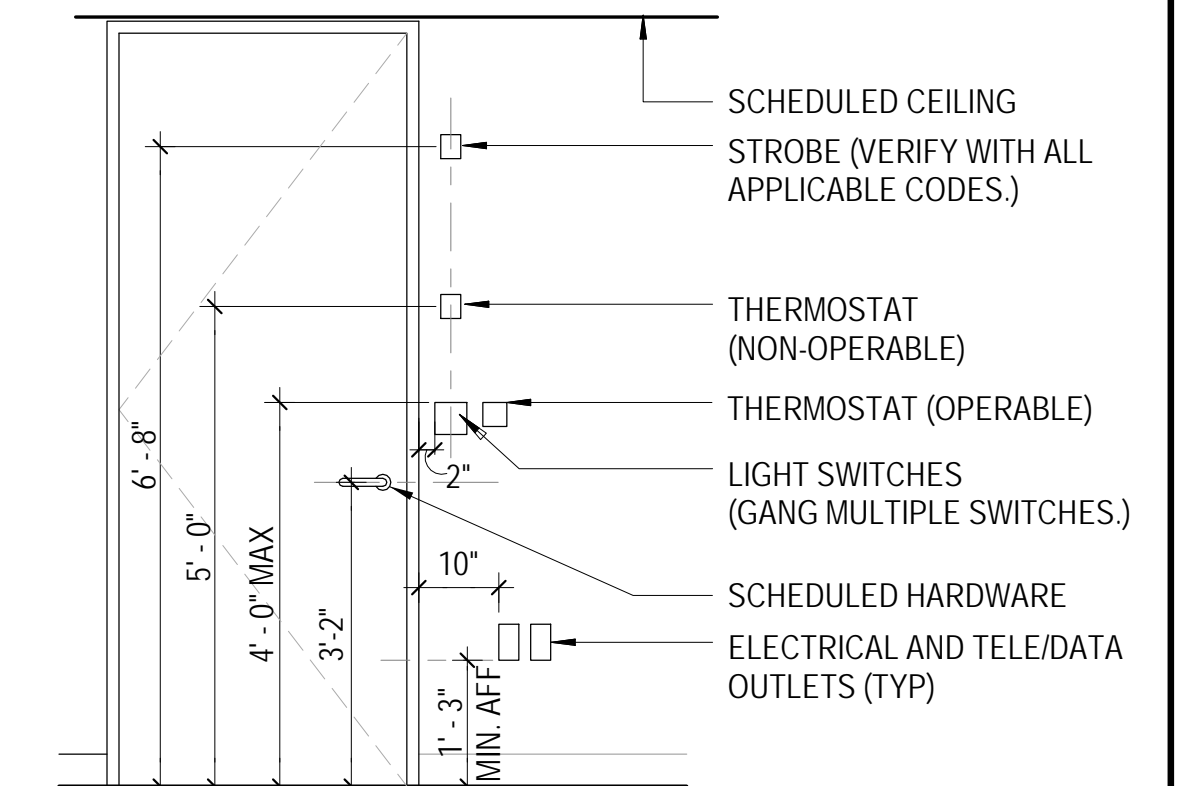
A5.4

DOOR ACCESSIBILITY NOTES

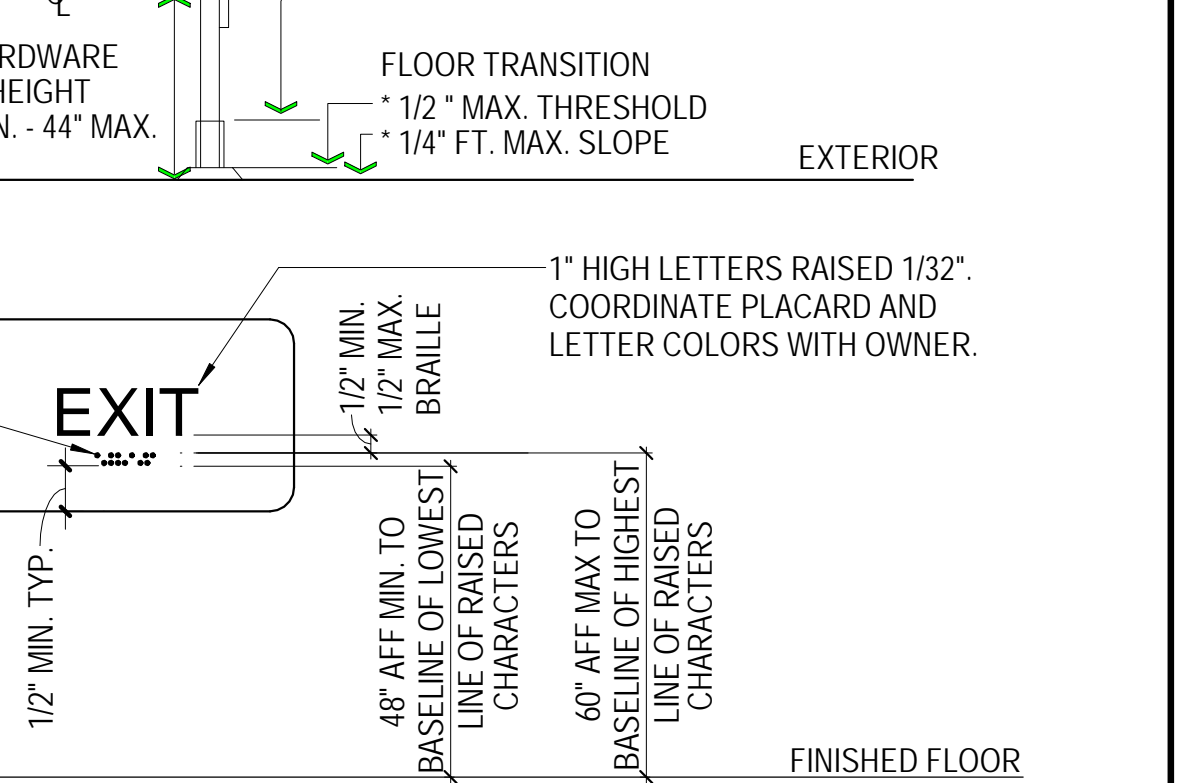
1. AUTOMATIC DOORS: WHEN AN AUTOMATIC DOORS OPERATOR IS UTILIZED TO OPERATE A PAIR OF DOORS, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
2. FLOOR LEVEL AT DOORS: REGARDLESS OF THE OCCUPANT LOAD, THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR PER 2019 CBC SECTIONS 1010.1.6 AND 11B-404.2.4.4.
3. THRESHOLDS: THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY PER 2019 CBC SECTION 11B-404.2.5 AND SECTION 11B-303.4. CHANGE IN LEVEL BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL. CHANGE IN LEVEL GREATER THAN 1/2 INCH SHALL BE ACCOMPLISHED BY MEANS OF A RAMP.
4. MANUEVERING CLEARANCES AT DOORS: MIN. MANUEVERING CLEARANCES AT DOORS SHALL BE PER CBC 11B-404.2.4. THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR.
5. SWINGING DOORS AND GATES SHALL HAVE MANUEVERING CLEARANCES COMPLYING WITH TABLE 11B-404.2.4.1. DOORWAYS LESS THAN 36 INCHES WIDE WITHOUT DOORS OR GATES, SLIDING DOORS AND FOLDING DOORS SHALL HAVE MANUEVERING CLEARANCES COMPLYING WITH TABLE 11B-404.2.4.2. RECESSED DOORS AND GATES SHALL COMPLY WITH SECTION 11B-404.2.3.
6. THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR THE INTERIOR DOORS.
7. PER CBC SECTIONS 11B-404.2.6 AND 1010.1.8, THE DISTANCE BETWEEN TWO HINGED OR PIVOTED DOORS IN SERIES AND GATES IN SERIES SHALL BE 48 INCHES MINIMUM PLUS THE WIDTH OF DOORS AND GATES SWINGING INTO THE SPACE. DOORS IN A SERIES SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN THE DOORS.
8. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE SHALL BE PER CBC 11B-404.2.9: 5 LBS MAX. AT INTERIOR DOORS, 5 LBS MAX. FOR SLIDING OR FOLDING DOORS, 5 LBS MAX. FOR EXTERIOR HINGED DOORS, AT REQUIRED FIRE DOORS, THE MINIMUM OPENING FORCE SHALL NOT EXCEED 15 LBS. DOORS & GATES EQUIPPED WITH SELF-CLOSING DEVICES SHALL BE PER CBC 11B-404.2.9.
9. HAND OPERATED DOOR HARDWARE SHALL BE CENTERED BETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR PER CBC 11B-404.2.7. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND WHICH ARE IN THE PATH OF TRAVEL SHALL BE OPERABLE WITH ONE HAND BY LEVER TYPE HARDWARE, PANIC BAR, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 LBS. MAX. PER CBC 11B-309.4.
10. SMOOTH SURFACE: PER CBC 11B-404.2.10 THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENING BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
11. ALL EXIT DOORS TO SWING IN THE DIRECTION OF TRAVEL AND BE OPERABLE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE
12. REGARDLESS OF THE OCCUPANT LOAD SERVED, EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.



NOTE: ALL DEVICE LOCATIONS SHOWN BELOW ARE DIMENSIONED WITH RESPECT TO THE STRIKE SIDE DOOR JAMB. WHERE SIDELIGHT OCCURS, SHIFT ALL DEVICES TO INDICATED DISTANCES WITH RESPECT TO SIDELIGHT JAMB. REFERENCE ARCHITECTURAL THEN ELECTRICAL DRAWINGS AT EACH DOOR TO DETERMINE IF SWITCHES ARE LOCATED ON DOOR WALL OR SIDE WALL. NOTIFY ARCHITECT PRIOR TO INSTALLATION WHERE LOCATION IS NOT CLEAR. ALL DEVICES SHALL ALIGN VERTICALLY WHERE POSSIBLE AT INDICATED SWITCH LOCATION.

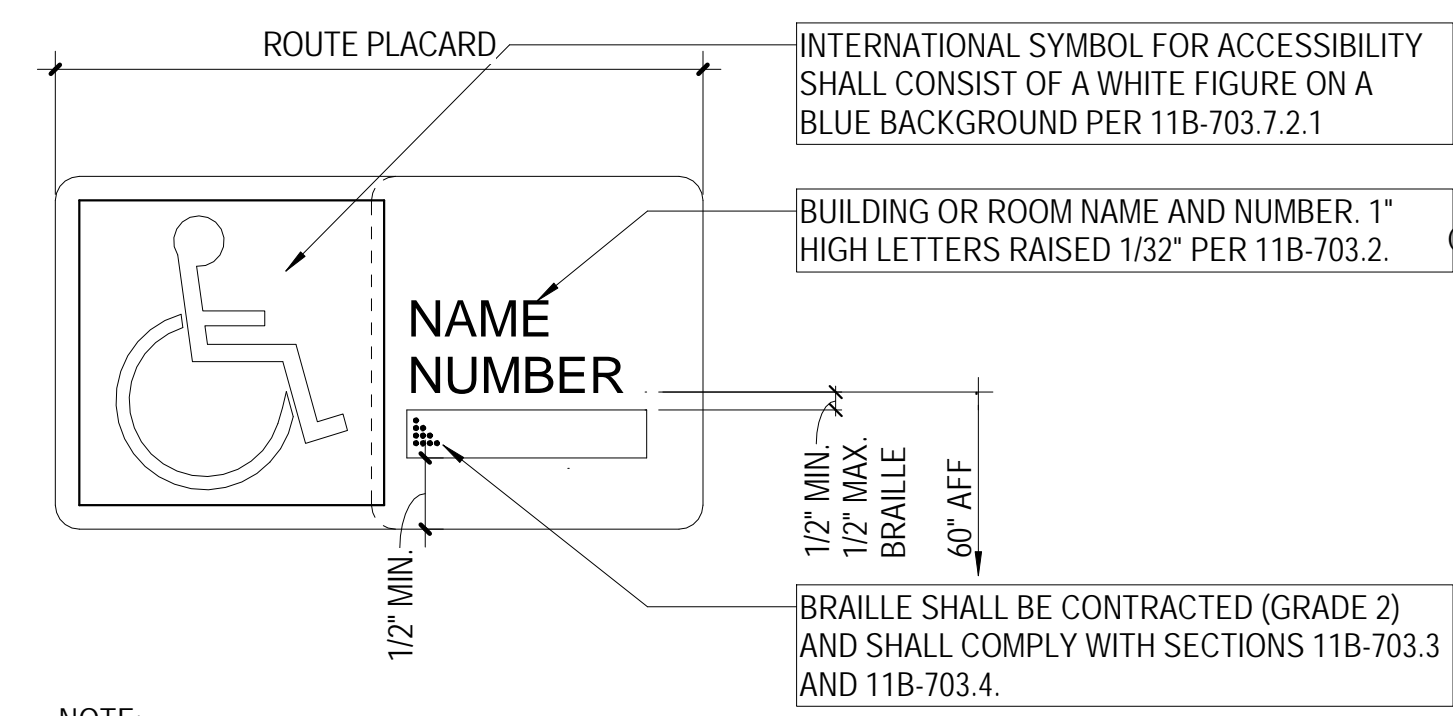


- TYPICAL DOOR SIZE**
- * 3'-0" DOOR WIDTH @ EXTERIOR & TOILET ROOM
 - * 2'-10" DOOR WIDTH @ INTERIOR DOORS
 - * 6'-8" HEIGHT
 - * 32" CLEAR WIDTH MINIMUM
- DOOR OPERATION**
- * TYPE OF HARDWARE: (PUSH/PULL/LEVER)
 - * MAX. EFFORT FOR EXT. DOORS = 5 LBS.
 - * MAX. EFFORT FOR INT. DOORS = 5 LBS.
 - * REQUIRED FIRE DOORS, MAX EFFORT = 15 LBS.
- DOOR SURFACE**
- * 10" KICK PLATE OR SMOOTH FULL WIDTH OF DOOR
 - * 4" FOR SOLID GLASS DOORS 30 BEVEL ALL SURFACES



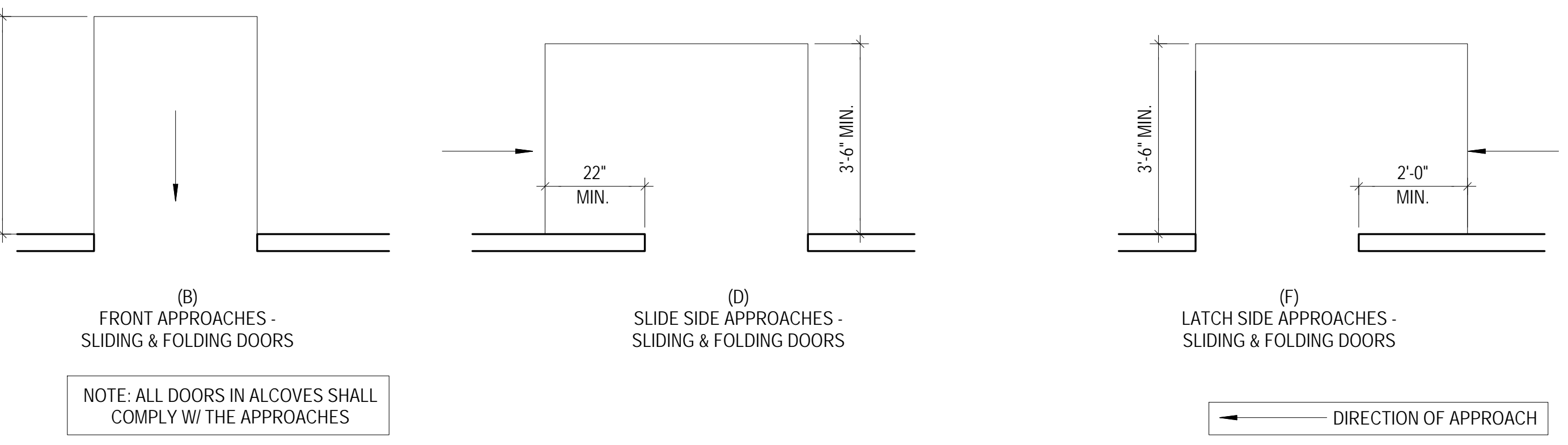
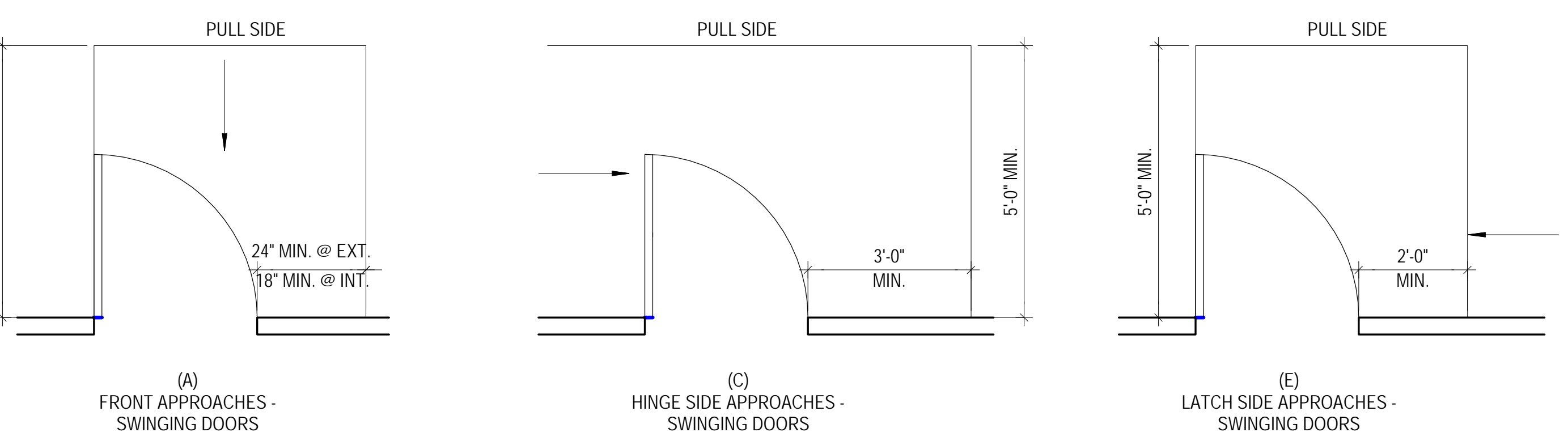
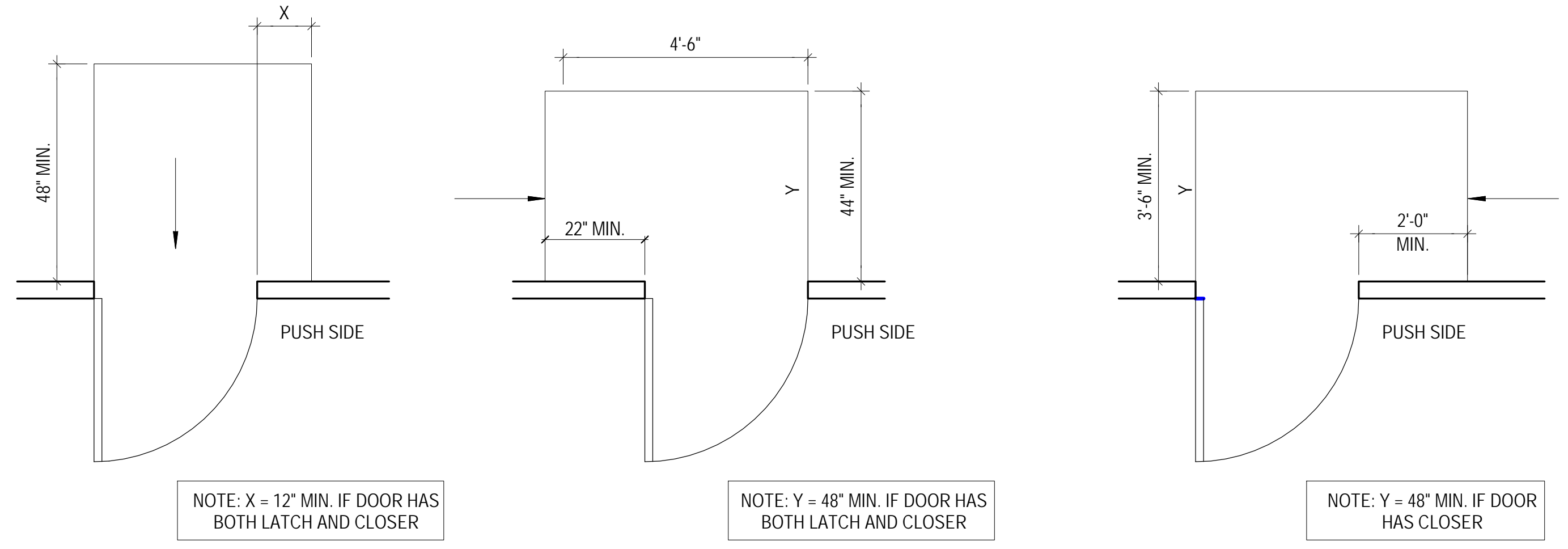
- NOTE:
1. SIGNS FOR MEANS OF EGRESS SHALL COMPLY WITH SECTION 11B-216.4, 1013.4, AND 11B-703 FOR TACTILE EXIT SIGNS.
 2. PLACARD MATERIAL TO BE 1/8" THICK ES PLASTIC WITH 1/32" RAISED BORDER GRAPHICS AND LETTERS. PROVIDE MECHANICAL MOUNTING WITH VANDAL-RESISTANT FASTENERS.
 3. LOCATE SIGN ON LATCH SIDE OF THE DOOR IN ACCORDANCE WITH SECTIONS 11B-703.4.
 4. PROVIDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AT ALL ACCESSIBLE ENTRY DOORS IN ACCORDANCE WITH SECTIONS 11B-216.6 AND 11B-703.7.2.1, AND IF NOT ALL ENTRANCES ARE ACCESSIBLE, PROVIDE DIRECTIONAL SIGNS COMPLYING WITH SECTION 11B-703.5 INCLUDING THE ISA TO INDICATE THE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE AT ALL NON-ACCESSIBLE ENTRY DOORS AND AT ALL JUNCTIONS WHERE THE ACCESSIBLE ROUTE DIVERGES FROM THE REGULAR CIRCULATION PATH.

1 ACCESSIBLE EXIT SIGN
SCALE: 3" = 1'-0"



- NOTE:
1. PER SECTION 11B-216.2 INTERIOR AND EXTERIOR SIGNS IDENTIFYING PERMANENT ROOMS AND SPACES SHALL COMPLY WITH SECTIONS 11B-703.1, 11B-703.2, 11B-703.3 AND 11B-703.5. WHERE PICTOGRAMS ARE PROVIDED AS DESIGNATIONS OF PERMANENT ROOMS AND SPACES, THE PICTOGRAMS SHALL COMPLY WITH SECTION 11B-703.6 AND SHALL HAVE TEXT DESCRIPTORS COMPLYING WITH SECTIONS 11B-703.2 AND 11B-703.5.
 2. PLACARD MATERIAL TO BE 1/8" THICK ES PLASTIC WITH 1/32" RAISED BORDER GRAPHICS AND LETTERS. PROVIDE MECHANICAL MOUNTING WITH VANDAL-RESISTANT FASTENERS. LOCATE AT INTERIOR SIDE OF ALL DESIGNATED EXIT DOORS. SEE FLOOR PLAN.
 3. LOCATE SIGN ON LATCH SIDE OF THE DOOR IN ACCORDANCE WITH SECTIONS 11B-703.4

2 ACCESSIBLE ROOM NAME SIGN
SCALE: 3" = 1'-0"

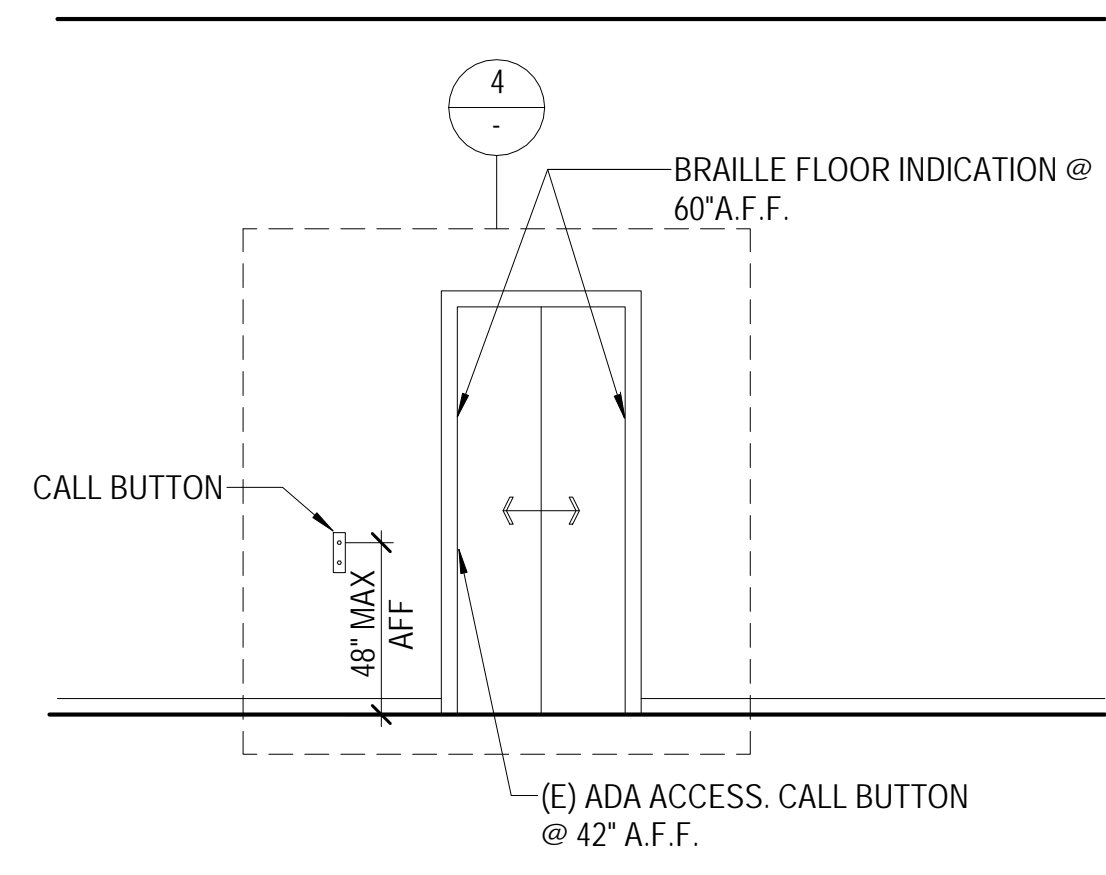


MANUEVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES PER CBC 2019 11B-404.2.4.1

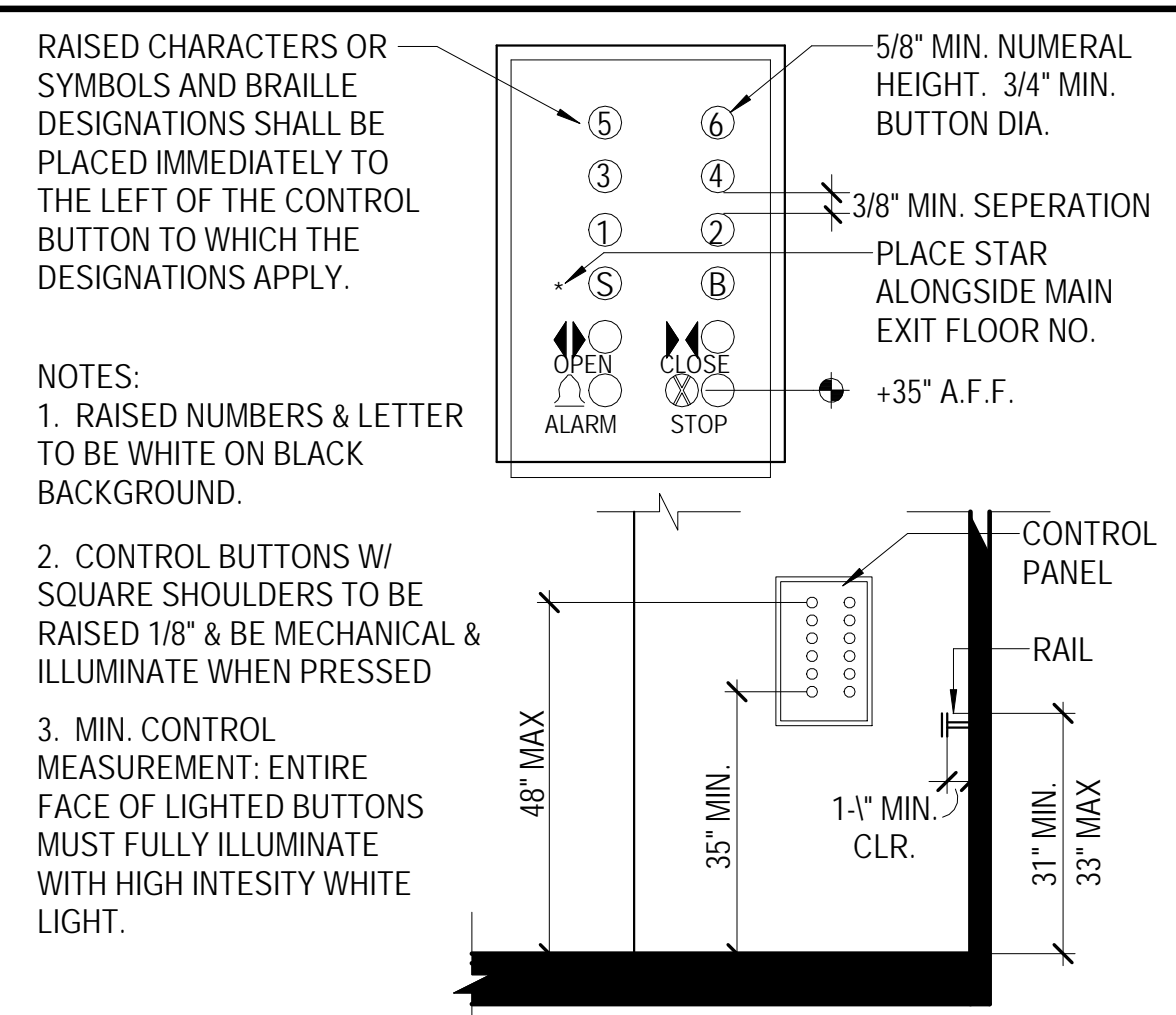


2 ACCESSIBLE ROOM NAME SIGN
SCALE: 3" = 1'-0"

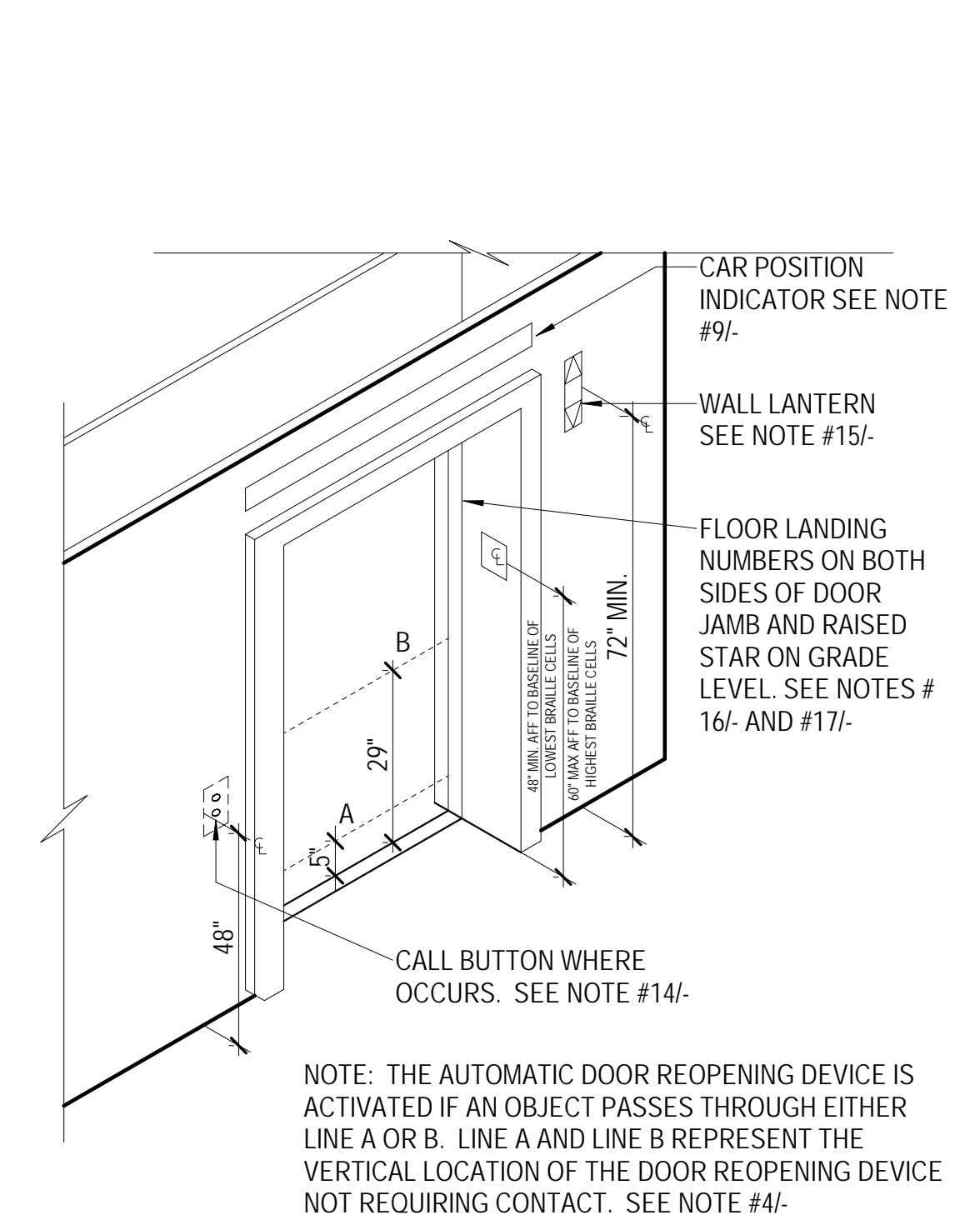
1 ACCESSIBLE EXIT SIGN
SCALE: 3" = 1'-0"



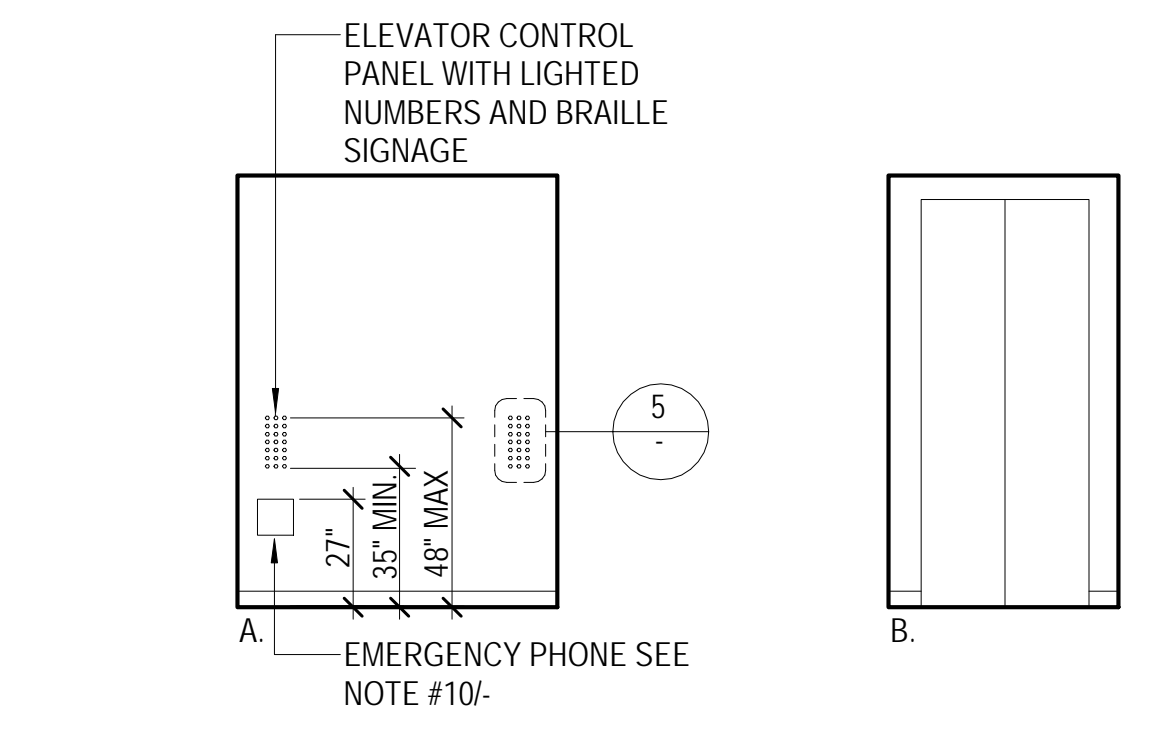
6 ELEVATOR LOBBY - TYPICAL
SCALE: 1/4" = 1'-0"



5 ELEVATOR CONTROL PANEL
SCALE: 1 : 1



4 ELEVATOR ENTRANCE
SCALE: 1 : 1



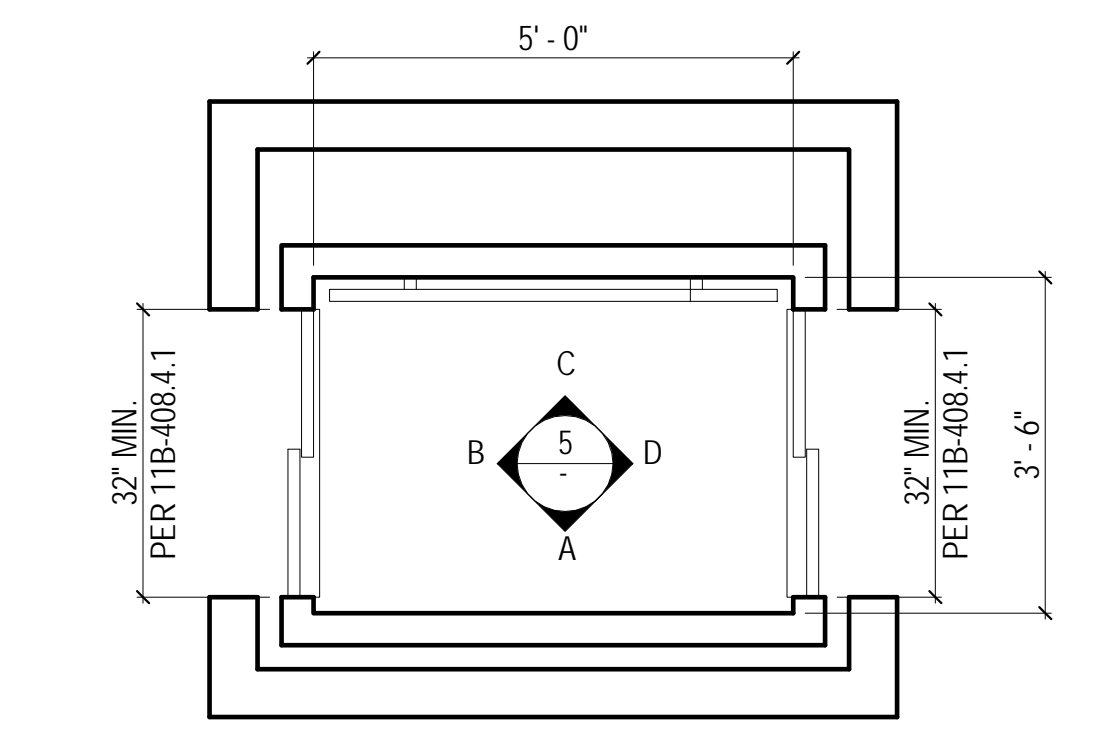
3 ELEVATOR CAB ELEVATIONS
SCALE: 1/4" = 1'-0"

ELEVATOR ACCESSIBILITY NOTES

- OPERATION AND LEVELING: THE ELEVATOR SHALL BE AUTOMATIC AND BE PROVIDED WITH A SELF-LEVELING FEATURE THAT WILL ALLOW A TOLERANCE OF PLUS OR MINUS 1/2 INCH UNDER NORMAL LOADING AND UNLOADING CONDITIONS. THIS SELF LEVELING SHALL, WITHIN ITS ZONE, BE ENTIRELY AUTOMATIC AND INDEPENDENT OF THE OPERATING DEVICE AND SHALL CORRECT THE OVERTRAVEL OR UNDERTRAVEL. THE CARE SHALL ALSO BE MAINTAINED APPROXIMATELY LEVEL WITH THE LANDING, IRRESPECTIVE OF LOAD.
- DOOR OPERATION: POWER-OPERATED HORIZONTALLY SLIDING CAR AND HOISTWAY DOORS OPENED AND CLOSED BY MEANS SHALL BE PROVIDED. PROVIDE DOOR CLOSING DELAY AND MINIMUM 5 SECOND FULLY OPEN.
- DOOR SIZE: MINIMUM CLEAR WIDTH FOR ELEVATOR DOORS SHALL BE 36 INCHES.
- DOOR PROTECTIVE AND REOPENING DEVICES: DOORS CLOSED BY AUTOMATIC MEANS SHALL BE PROVIDED WITH A DOOR-REOPENING DEVICE THAT WILL FUNCTION TO STOP AND REOPEN A CAR DOOR AND ADJACENT HOISTWAY DOOR IN CASE THE CAR DOOR IS OBSTRUCTED WHILE CLOSING. THIS REOPENING DEVICE SHALL ALSO BE CAPABLE OF SENSING AN OBJECT OR PERSON IN THE PATH OF A CLOSING DOOR WITHOUT REQUIRING CONTACT FOR ACTIVATION AT A NOMINAL 5 INCH AND 29 INCHES ABOVE THE FLOOR.
- HALL CALL: THE MINIMUM ACCEPTABLE TIME FROM NOTIFICATION THAT A CAR IS ANSWERING A CALL (LANTERN AND AUDIBLE SIGNAL) UNTIL THE DOORS OF THAT CAR START TO CLOSE SHALL BE AS INDICATED IN THE FOLLOWING TABLE:

0 TO 5 FT.	4 SECONDS
10 FT.	7 SECONDS
15 FT.	10 SECONDS
20 FT.	13 SECONDS
- THE DISTANCE SHALL BE ESTABLISHED FROM A POINT IN THE CENTER OF THE CORRIDOR LOBBY DIRECTLY OPPOSITE THE FARTHEST HALL BUTTON TO THE CENTER LINE OF THE HOISTWAY ENTRANCE.
- CAR CALL: THE MIN. ACCEPTABLE TIME FOR DOORS TO REMAIN FULLY OPEN SHALL NOT BE LESS THAN THREE SECONDS.
- CAR DIMENSION: LULA ELEVATOR CARS SHALL PROVIDE A CLEAR WIDTH 42 INCHES MINIMUM AND A CLEAR DEPTH 54 INCHES MINIMUM PER 11B-408.4.1.
- CAR CONTROLS: CAR CONTROLS SHALL BE READILY ACCESSIBLE FROM A WHEELCHAIR UPON ENTERING AN ELEVATOR AND SHALL BE CENTERED ON ONE OF THE SIDE WALLS OF THE CAR PER 11B-408.4.6. THE CENTERLINE OF THE ALARM BUTTON AND EMERGENCY STOP SWITCH SHALL BE AT A NOMINAL 35 INCHES, AND THE HIGHEST FLOOR BUTTON NO HIGHER THAN 48 INCHES AFF PER 11B-408.4.6 AND 11B-407.4.6. FLOOR REGISTRATION BUTTONS, EXCLUSIVE OF BORDER, SHALL BE A MINIMUM 3/4 INCH IN SIZE, RAISED FLUSH OR RECESSED. VISUAL INDICATION SHALL BE PROVIDED TO SHOW EACH CALL REGISTERED AND EXTINGUISHED WHEN THE CALL IS ANSWERED. DEPTH OF FLUSH OR RECESSED BUTTONS WHEN OPERATED SHALL NOT EXCEED 3/8 INCH. MARKINGS SHALL BE ADJACENT TO THE CONTROLS ON A CONTRASTING COLOR BACKGROUND TO THE LEFT OF THE CONTROLS. LETTERS OR NUMBERS SHALL BE A MINIMUM OF 5/8 INCH HIGH AND RAISED 1/32 INCH. APPLIED PLATES PERMANENTLY ATTACHED SHALL BE ACCEPTABLE. EMERGENCY CONTROLS SHALL BE GROUPED TOGETHER AT THE BOTTOM OF THE CONTROL PANEL. CONTROLS NOT ESSENTIAL TO THE AUTOMATIC OPERATION OF THE ELEVATOR MAYBE LOCATED AS CONVENIENT.
- CAR POSITION INDICATOR AND SIGNAL: A CAR POSITION INDICATOR SHALL BE PROVIDED ABOVE THE CAR OPERATING PANEL OR OVER THE OPENING OF EACH CAR TO SHOW THE POSITION OF THE CAR IN THE HOISTWAY BY ILLUMINATION OF THE INDICATION CORRESPONDING TO THE LANDING AT WHICH THE CAR IS PASSING. INDICATIONS SHALL BE ON A CONTRASTING COLOR BACKGROUND AND A MIN. OF 1/2 INCH IN HEIGHT. IN ADDITION, AN AUDIBLE SIGNAL SHALL SOUND TO TELL A PASSENGER THAT THE CAR IS STOPPING OR PASSING A FLOOR SERVED BY THE ELEVATOR.
- EMERGENCY COMMUNICATION: PER SECTION 11B-407.4.9 EMERGENCY TWO-WAY COMMUNICATION SYSTEMS SHALL COMPLY WITH SECTION 11B-308. EMERGENCY TWO-WAY COMMUNICATION SYSTEMS BETWEEN THE ELEVATOR AND A POINT OUTSIDE THE HOISTWAY SHALL COMPLY WITH ASME A17.1. AND IN ADDITION, THE TWO-WAY COMMUNICATION SYSTEM SHALL MEET THE FOLLOWING REQUIREMENTS PER CBC SECTION 3001.2: IS A VISUAL AND TEXT-BASED AND A VIDEO-BASED 24/7 LIVE, INTERACTIVE SYSTEM, IS FULLY ACCESSIBLE BY THE DEAF, HARD OF HEARING AND SPEECH IMPAIRED, AND SHALL INCLUDE VOICE-ONLY OPTIONS FOR HEARING INDIVIDUALS. HAS THE ABILITY TO COMMUNICATE WITH EMERGENCY PERSONNEL UTILIZING EXISTING VIDEO CONFERENCE TECHNOLOGY, CHAT/TEXTSOFTWARE OR OTHER APPROVED TECHNOLOGY. IF A TELEPHONE IS PROVIDED, IT SHALL BE LOCATED A MAXIMUM OF 54 INCHES FROM THE FLOOR WITH A MINIMUM CORD LENGTH OF 29 INCHES. MARKINGS OR THE INTERNATIONAL SYMBOL FOR TELEPHONES SHALL BE ADJACENT TO THE CONTROL ON A CONTRASTING COLOR BACKGROUND. LETTERS OR NUMBERS SHALL BE A MINIMUM OF 5/8 INCH HIGH AND RAISED OR RECESSED 1/32 INCH. APPLIED PLATES PERMANENTLY ATTACHED SHALL BE ACCEPTABLE.
- FLOOR COVERING: FLOOR COVERING SHALL HAVE A NON-SLIP HARD SURFACE THAT PERMITS EASY MOVEMENT OF WHEELCHAIRS. IF CARPETING IS USED, IT SHALL BE SECURELY ATTACHED, HEAVY DUTY, WITH A TIGHT WEAVE AND LOW PILE, INSTALLED WITHOUT PADDING.
- SUPPORT RAIL: SUPPORT RAILS SHALL BE PROVIDED ON AT LEAST ONE WALL OF THE CAR, PREFERABLY THE REAR. CLEARANCE BETWEEN SUPPORT RAILS AND ADJACENT SURFACES SHALL BE 1 1/2 INCHES MINIMUM. TOP OF SUPPORT RAILS SHALL BE 31 INCHES MINIMUM TO 33 INCHES MAXIMUM ABOVE THE FLOOR OF THE CAR. THE ENDS OF THE SUPPORT RAIL SHALL BE 6 INCHES MAXIMUM FROM ADJACENT WALLS PER CBC 2019 SECTION 11B-407.4.10.1. SUPPORT RAILS SHALL BE SMOOTH AND ANY SURFACE ADJACENT TO THEM SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS PER 11B-407.4.10.2. ALLOWABLE STRESSES SHALL NOT BE EXCEEDED FOR MATERIALS USED WHEN A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS IS APPLIED AT ANY POINT ON THE SUPPORT RAIL, FASTENER, MOUNTING DEVICE OR SUPPORTING STRUCTURE PER 11B-407.4.10.3.
- MINIMUM ILLUMINATION: THE MINIMUM ILLUMINATION AT THE CAR CONTROLS, THRESHOLD AND LANDING WHEN THE CAR AND LANDING DOORS ARE OPEN SHALL NOT BE LESS THAN 5 FOOT CANDLES
- HALL BUTTONS: THE CENTER LINE OF THE HALL CALL BUTTONS SHALL BE A NOMINAL 42 INCHES AFF (48" MAX). DIRECTION BUTTONS, EXCLUSIVE OF BORDER, SHALL BE A MINIMUM OF 3/4 INCH IN SIZE, RAISED, FLUSH, OR RECESSED. VISUAL INDICATION SHALL BE PROVIDED TO SHOW EACH CALL REGISTERED AND EXTINGUISHED WHEN THE CALL IS ANSWERED. DEPTH OF FLUSH OR RECESSED BUTTON WHEN OPERATED SHALL NOT EXCEED 3/8 INCH.
- HALL LANTERN: A VIABLE AND AUDIBLE SIGNAL SHALL BE PROVIDED AT EACH HOISTWAY ENTRANCE INDICATING TO THE PROSPECTIVE PASSENGER THE CAR ANSWERING THE CALL AND ITS DIRECTION OF TRAVEL. THE VIABLE SIGNAL FOR EACH DIRECTION SHALL BE A MINIMUM OF 2.5 INCHES IN SIZE AND VISIBLE FROM THE PROXIMITY OF THE HALL CALL BUTTON. THE AUDIBLE SIGNAL SHALL SOUND ONCE FOR THE UP DIRECTION AND TWICE FOR THE DOWN DIRECTION. THE CENTER LINE OF THE FIXTURE SHALL BE LOCATED A MINIMUM OF SIX FEET FROM THE FLOOR. THE USE OF IN CAR LANTERNS CONFORMING TO THE ABOVE AND LOCATED IN THE JAMB SHALL BE ACCEPTABLE.
- DOOR JAMB MARKING: FLOOR DESIGNATIONS COMPLYING WITH SECTIONS 11B-703.2 AND 11B-703.4.1 SHALL BE PROVIDED ON BOTH JAMBS OF ELEVATOR HOISTWAY ENTRANCES. FLOOR DESIGNATIONS SHALL BE PROVIDED IN BOTH RAISED CHARACTERS AND BRAILLE. RAISED CHARACTERS SHALL BE 2 INCHES HIGH. A RAISED STAR, PLACED TO THE LEFT OF THE FLOOR DESIGNATION, SHALL BE PROVIDED ON BOTH JAMBS AT THE MAIN ENTRY LEVEL. THE OUTSIDE DIAMETER OF THE STAR SHALL BE 2 INCHES AND ALL POINTS SHALL BE OF EQUAL LENGTH. RAISED CHARACTERS, INCLUDING THE STAR, SHALL BE WHITE ON A BLACK BACKGROUND. BRAILLE COMPLYING WITH SECTION 11B-703.3 SHALL BE PLACED BELOW THE CORRESPONDING RAISED CHARACTERS AND THE STAR. THE BRAILLE TRANSLATION FOR THE STAR SHALL BE "MAIN". APPLIED PLATES ARE ACCEPTABLE IF THEY ARE PERMANENTLY FIXED TO THE JAMB.
- TACTILE FLOOR DESIGNATION SIGN: TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS PER SECTIONS 11B-407.2.3.1 AND 11B-703.4.1.

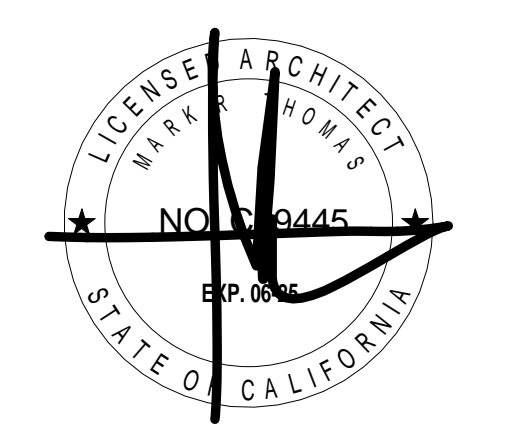
1 ELEVATOR ACCESSIBILITY NOTES
SCALE: 1 : 1



2 (N) LULA ELEVATOR CAB PLAN - PER SECTION 11B-408
SCALE: 1/2" = 1'-0"



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
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DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

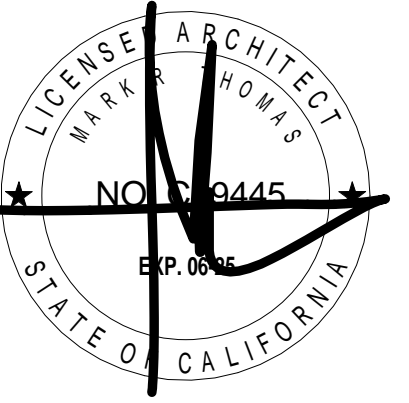
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SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

ELEVATOR DETAILS

SHEET NUMBER:

A5.5



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

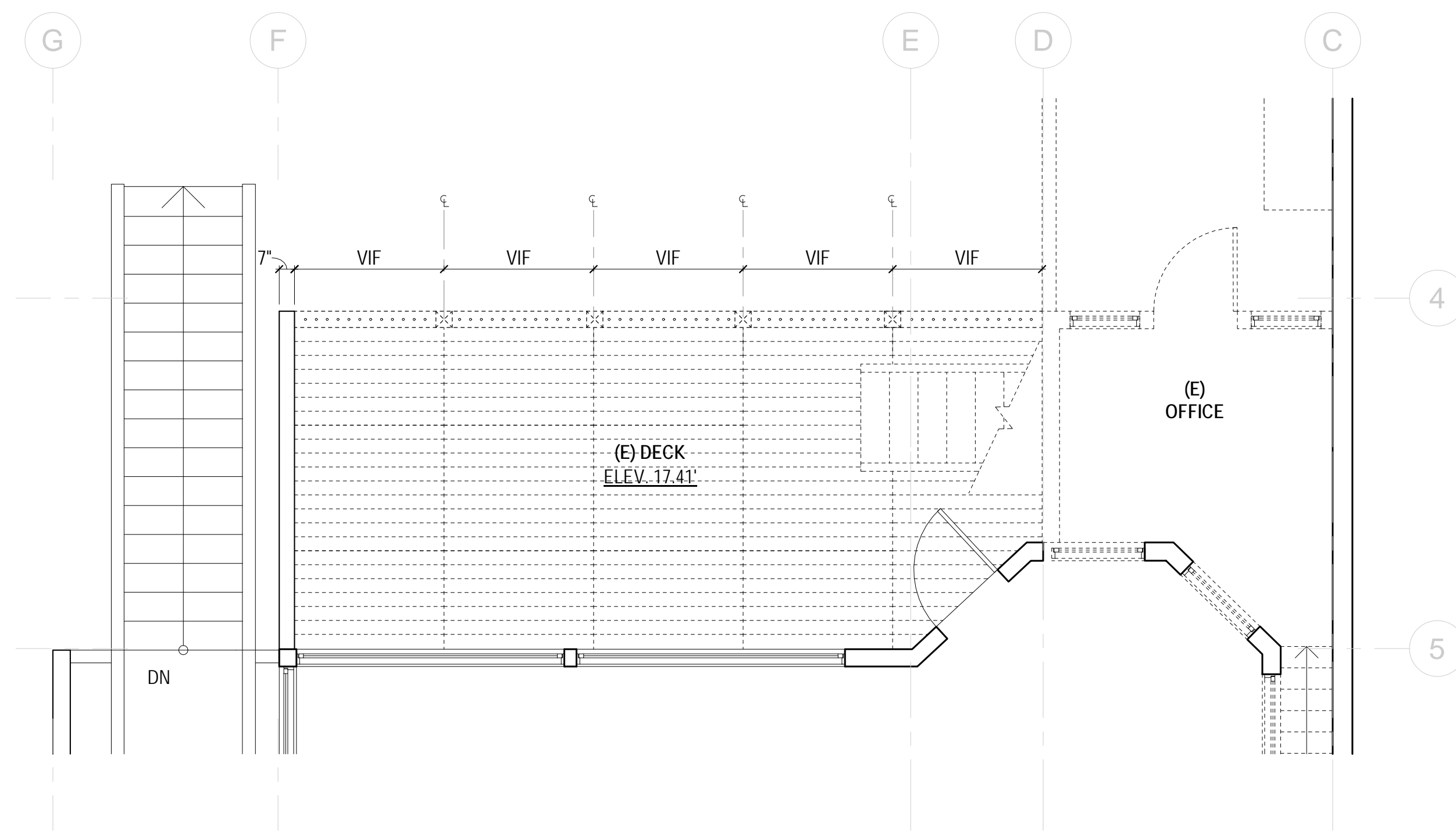
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BUILDING PERMIT	09.15.24

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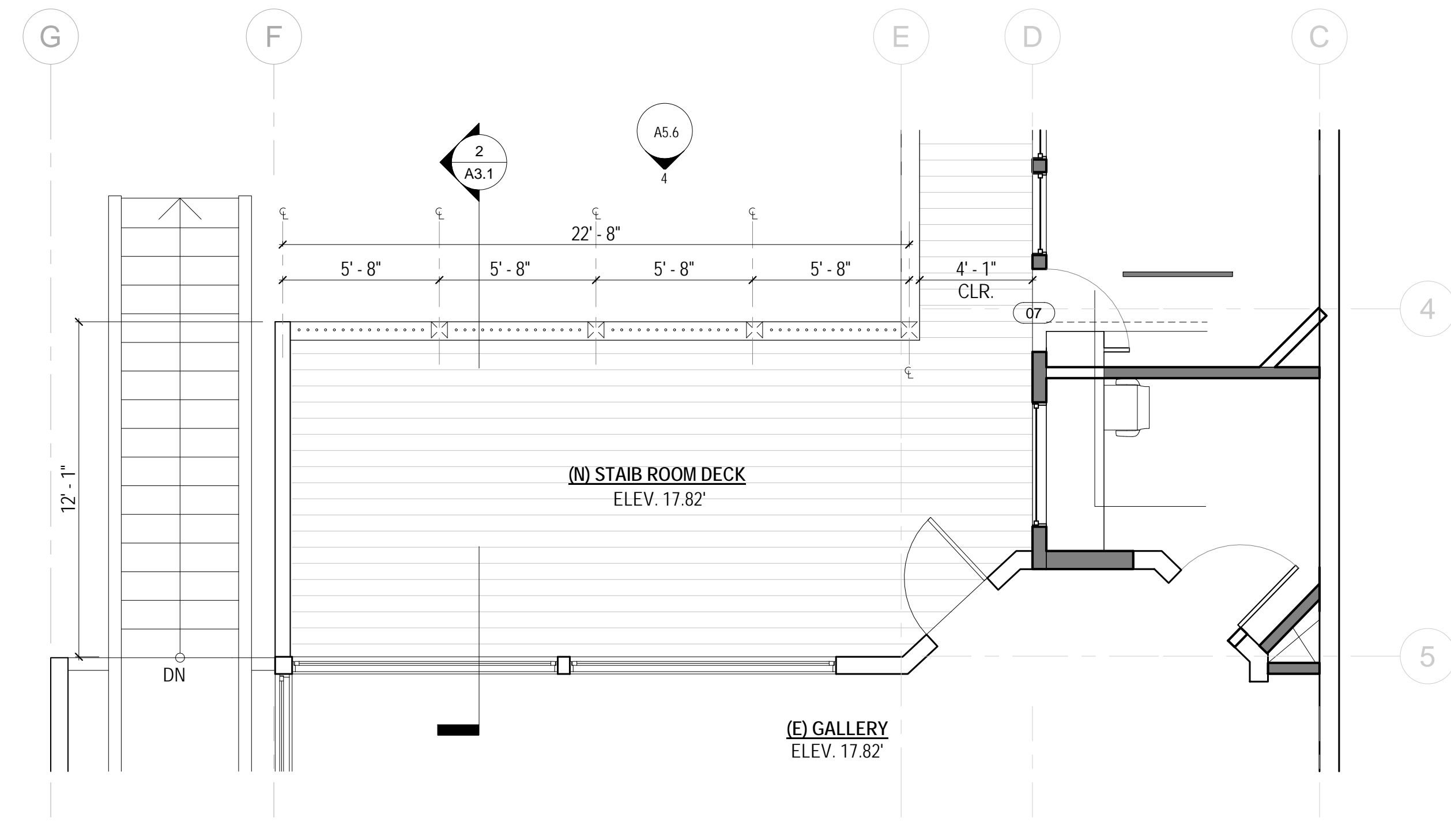
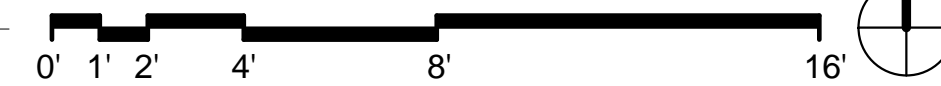
GUARDRAIL LAYOUT & DETAILS

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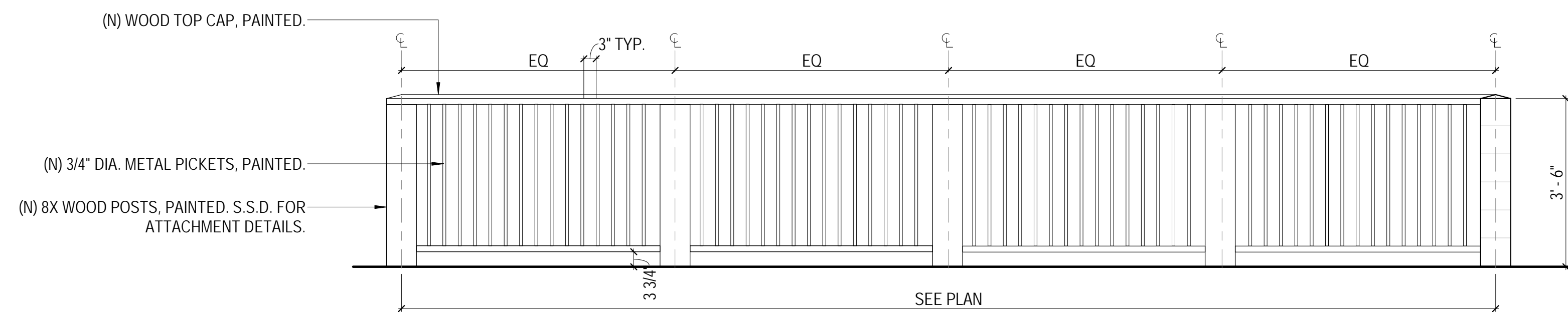
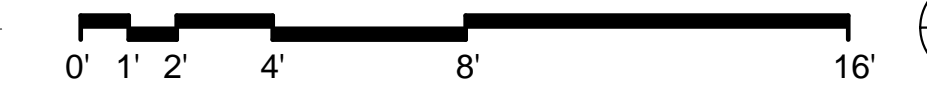
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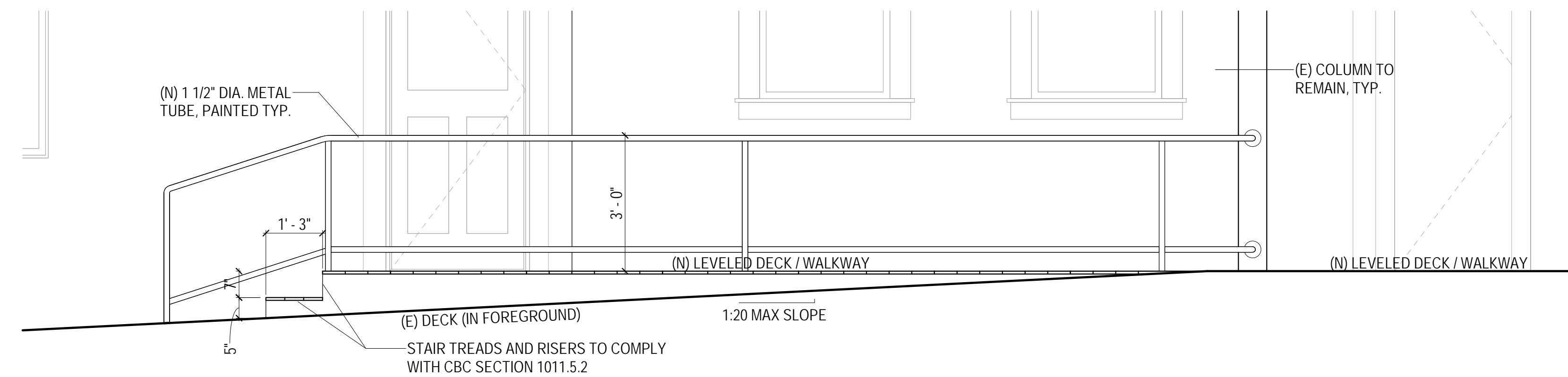
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SCALE: 1/4" = 1'-0"



3 FLOOR 02 - PARTIAL PROPOSED FLOOR PLAN - STAIB DECK
SCALE: 1/4" = 1'-0"

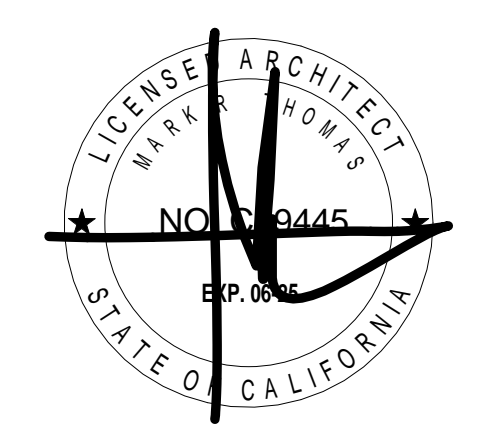


4 NEW STAIB ROOM DECK - NORTH GUARDRAIL ELEVATION
SCALE: 1/2" = 1'-0"



2 METAL TUBE HANDRAIL ELEVATION
SCALE: 1/2" = 1'-0"





DOLPHIN CLUB
ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

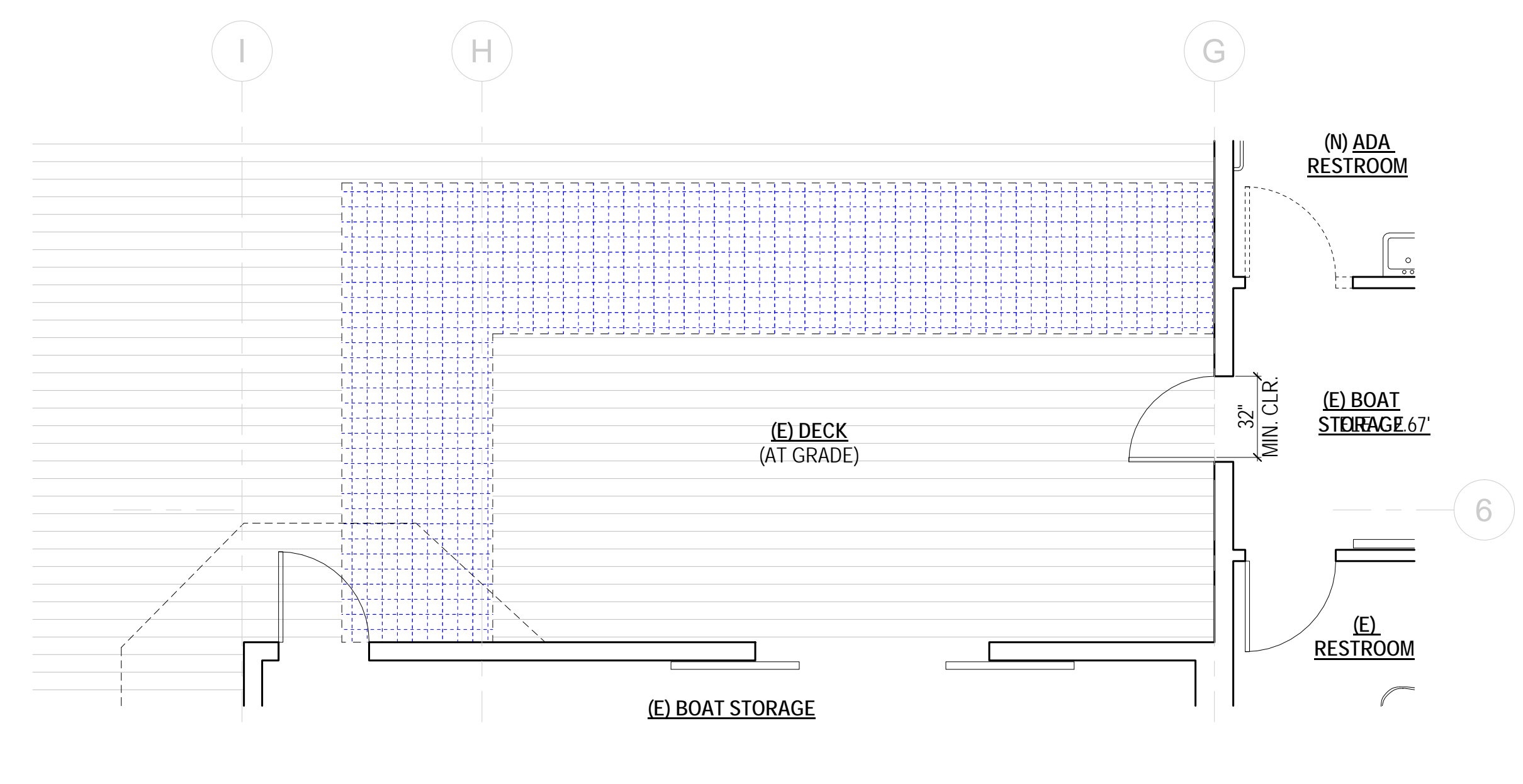
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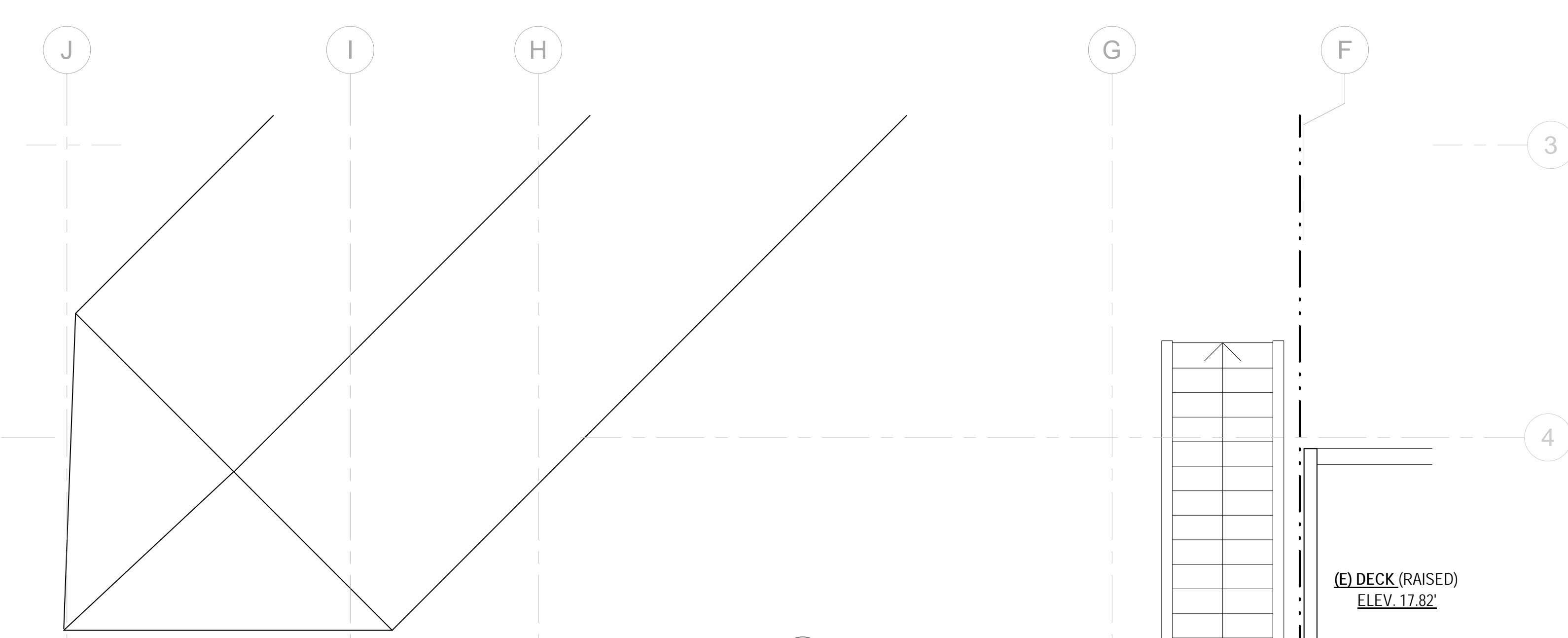
GUARDRAIL LAYOUT & DETAILS

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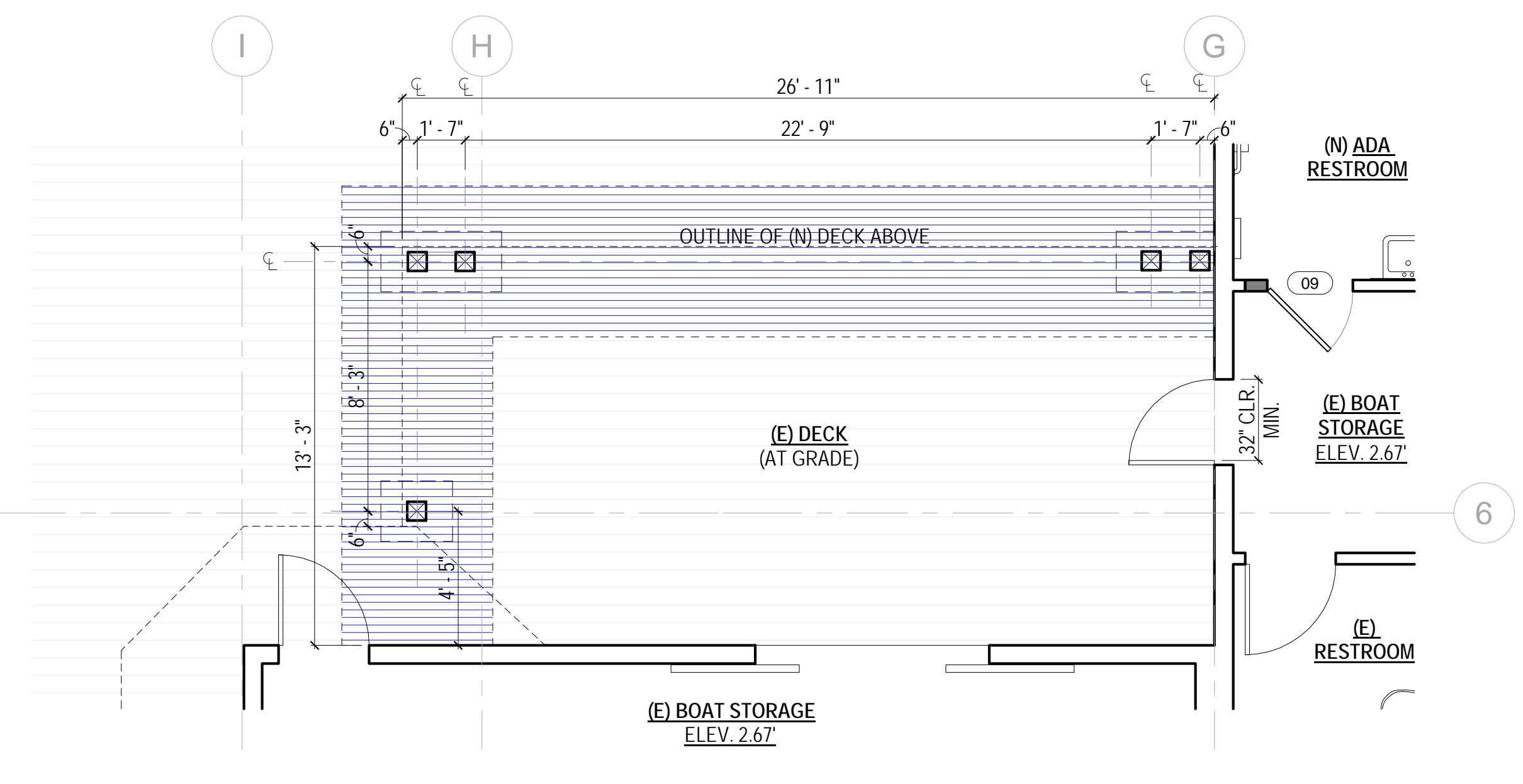
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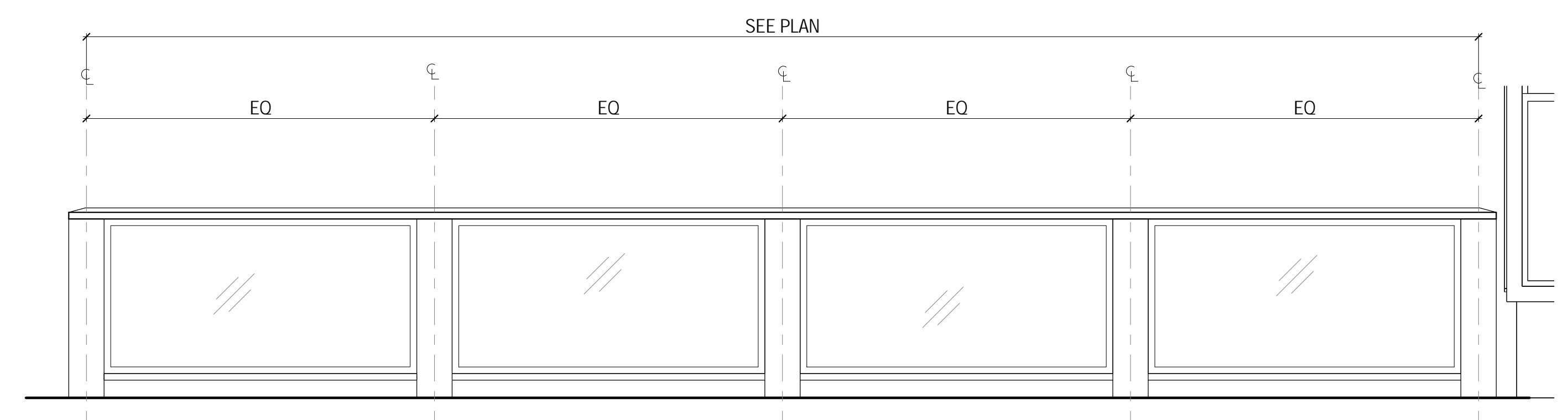
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SCALE: 1/4" = 1'-0"



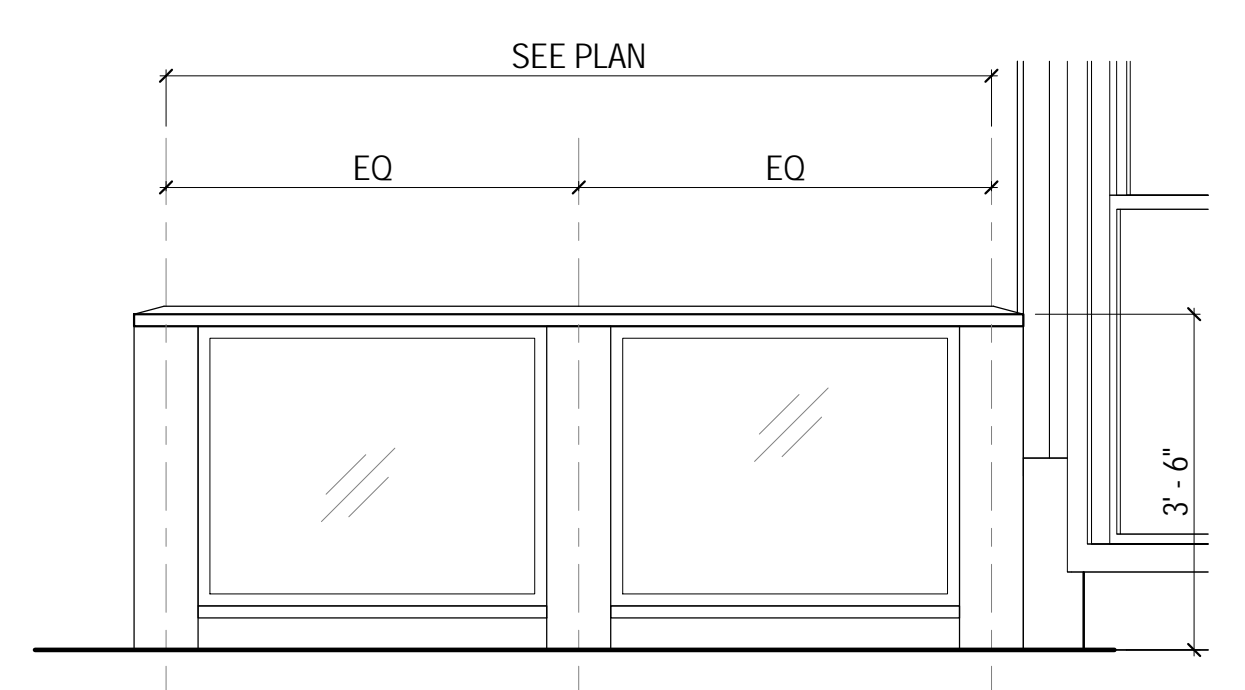
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SCALE: 1/4" = 1'-0"



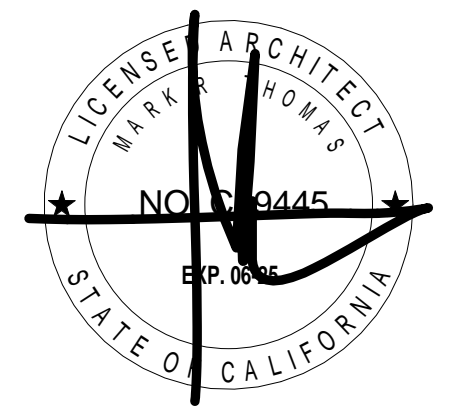
2 FLOOR 01 - PARTIAL PROPOSED FLOOR PLAN - NEW SANCIMINO DECK
SCALE: 1/4" = 1'-0"



4 NEW SANCIMINO ROOM DECK - NORTH GUARDRAIL ELEVATION
SCALE: 1/2" = 1'-0"



5 NEW SANCIMINO ROOM DECK - WEST GUARDRAIL ELEVATION
SCALE: 1/2" = 1'-0"



DOLPHIN CLUB

ALTERATIONS & ADDITION

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SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

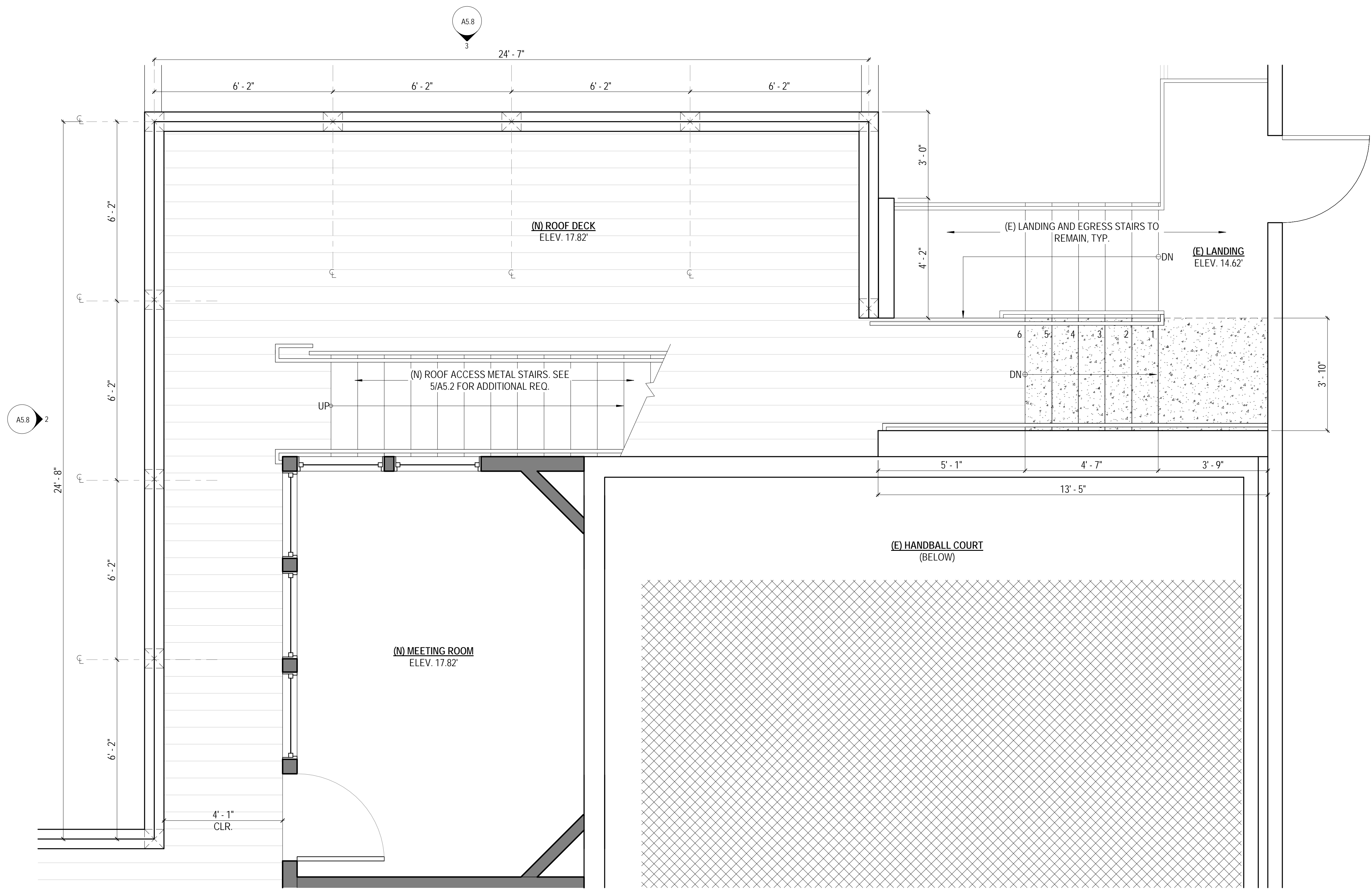
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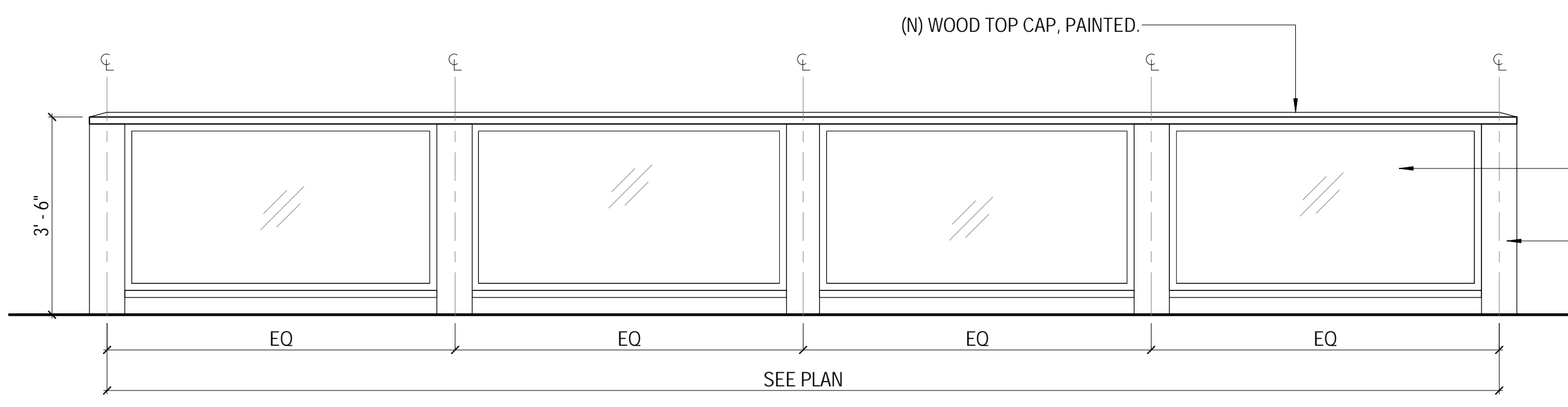
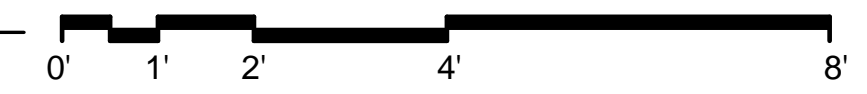
GUARDRAIL LAYOUT & DETAILS

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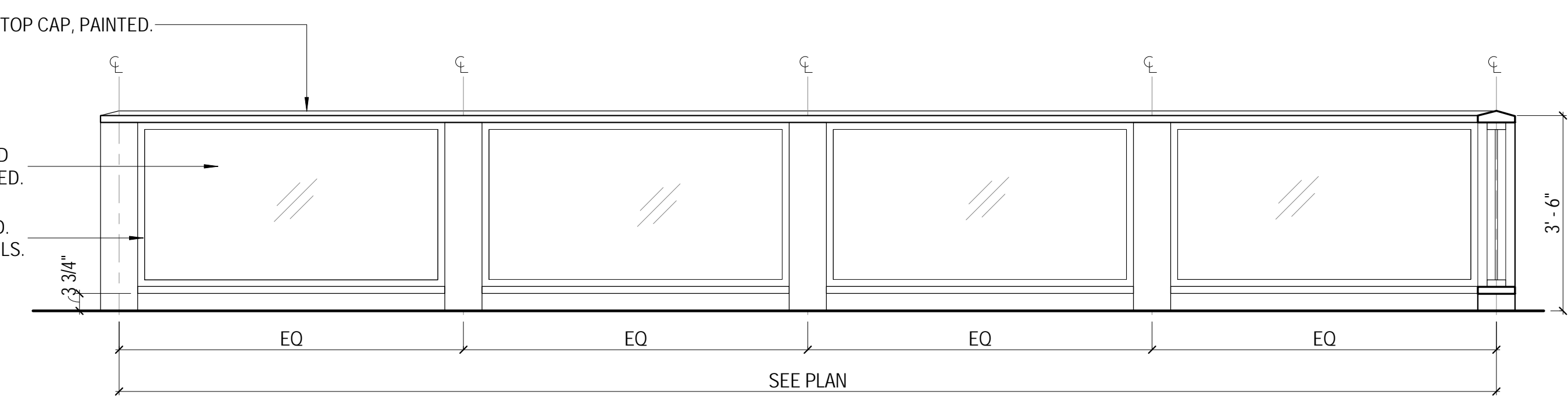
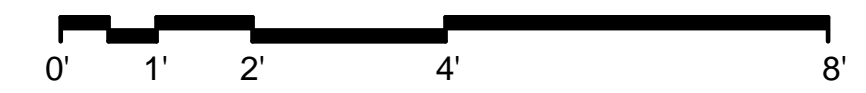
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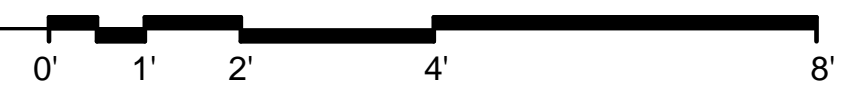
1 FLOOR 02 - PARTIAL PROPOSED FLOOR PLAN - NEW ROOF DECK
SCALE: 1/2" = 1'-0"



3 NEW ROOF DECK - NORTH GUARDRAIL ELEVATION
SCALE: 1/2" = 1'-0"



2 NEW ROOF DECK - WEST GUARDRAIL ELEVATION
SCALE: 1/2" = 1'-0"





- NEW WALL
- DEMOLISHED WALL
- EXISTING WALL
- NEW 1-HOUR RATED WALL

DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

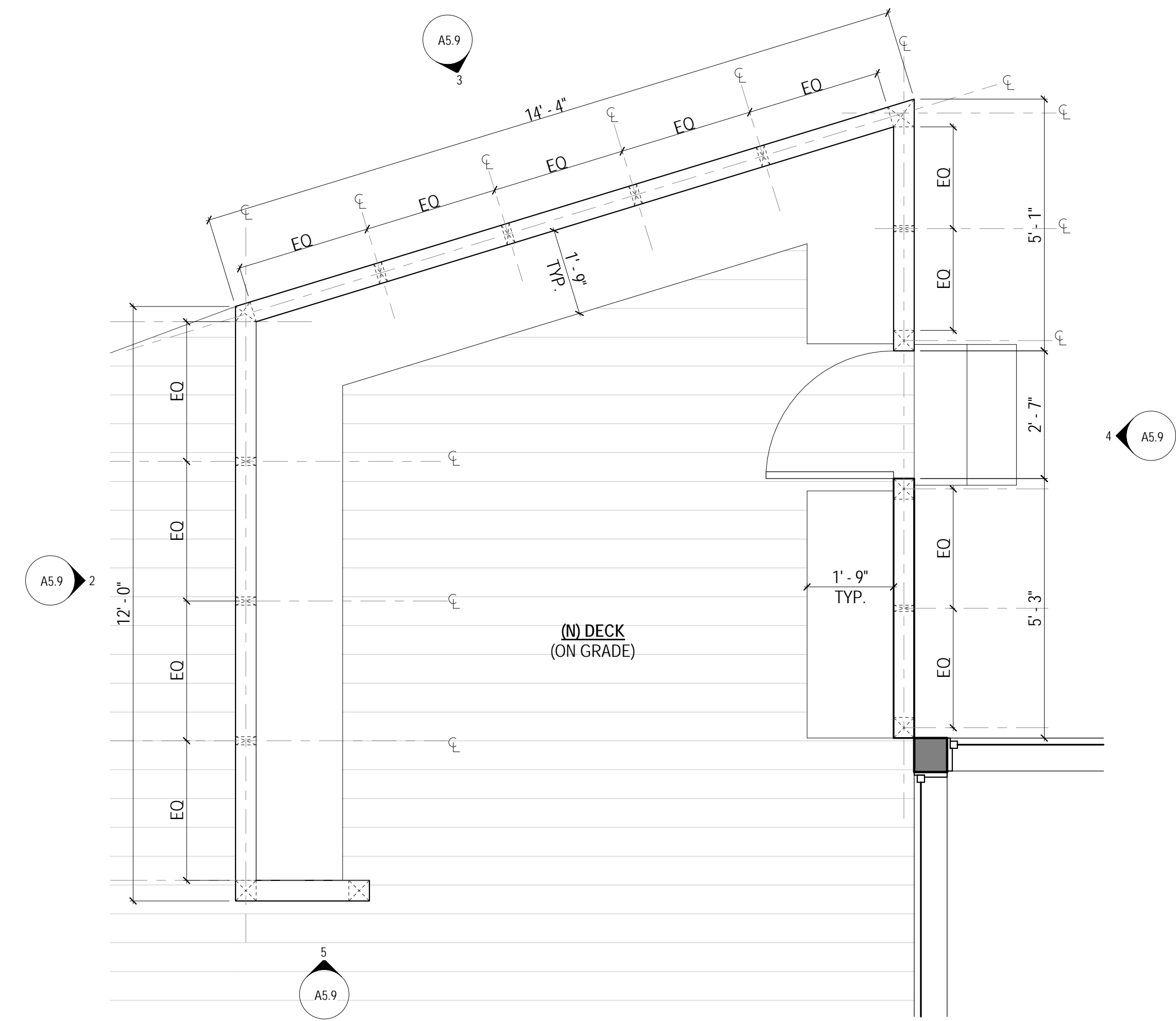
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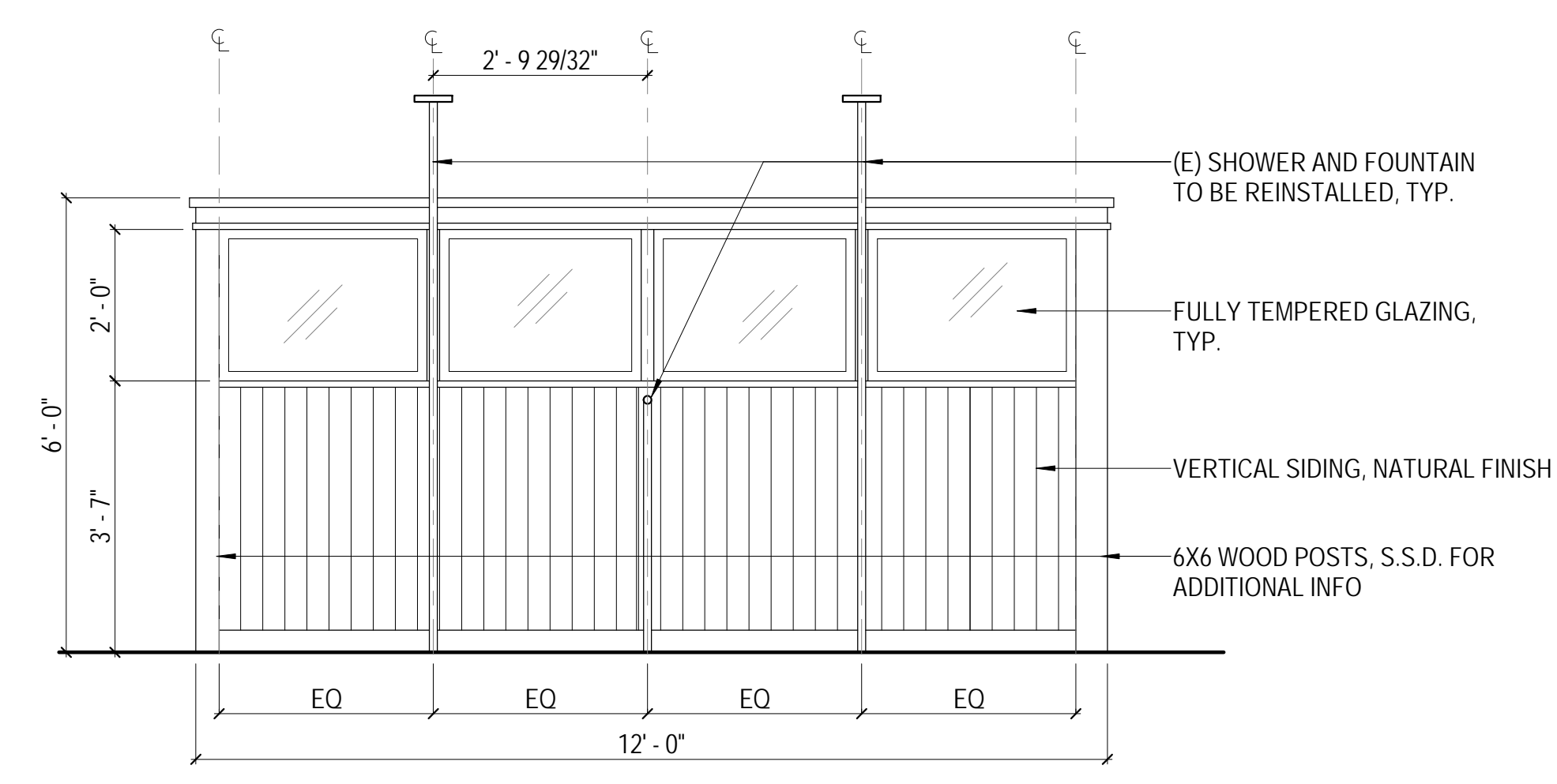
WINDSCREEN LAYOUT & ELEVATIONS

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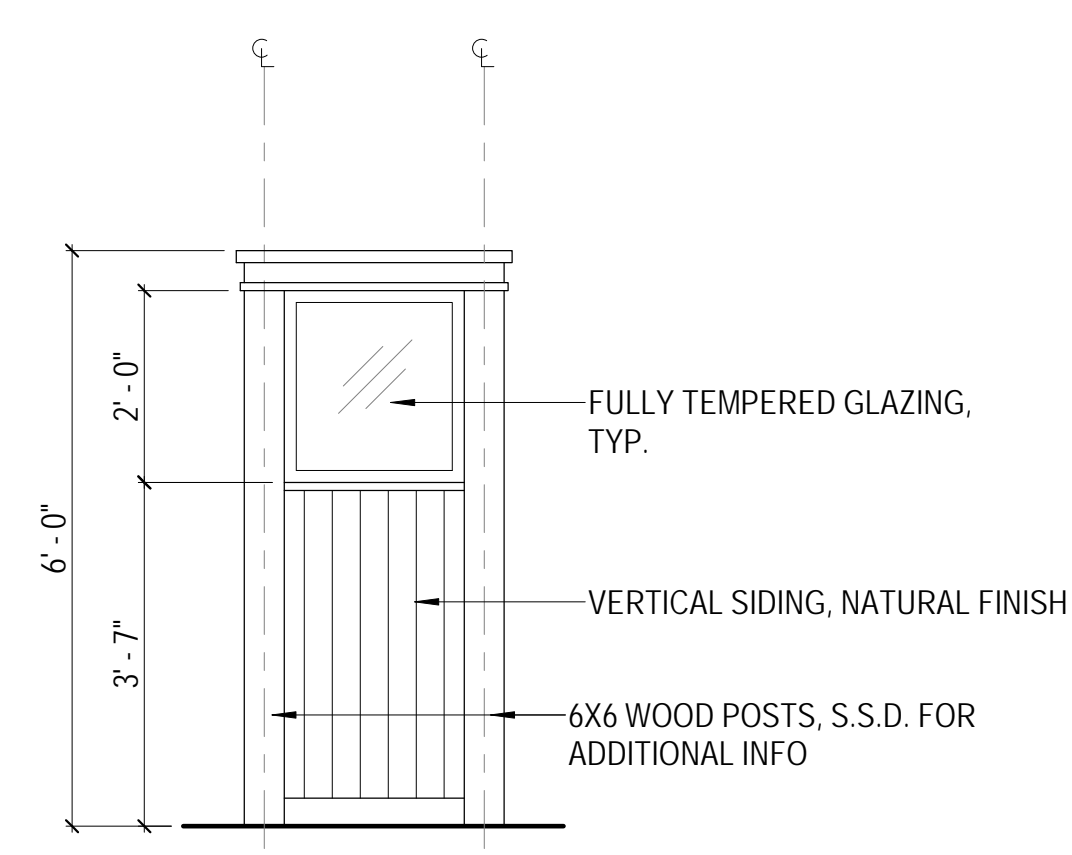
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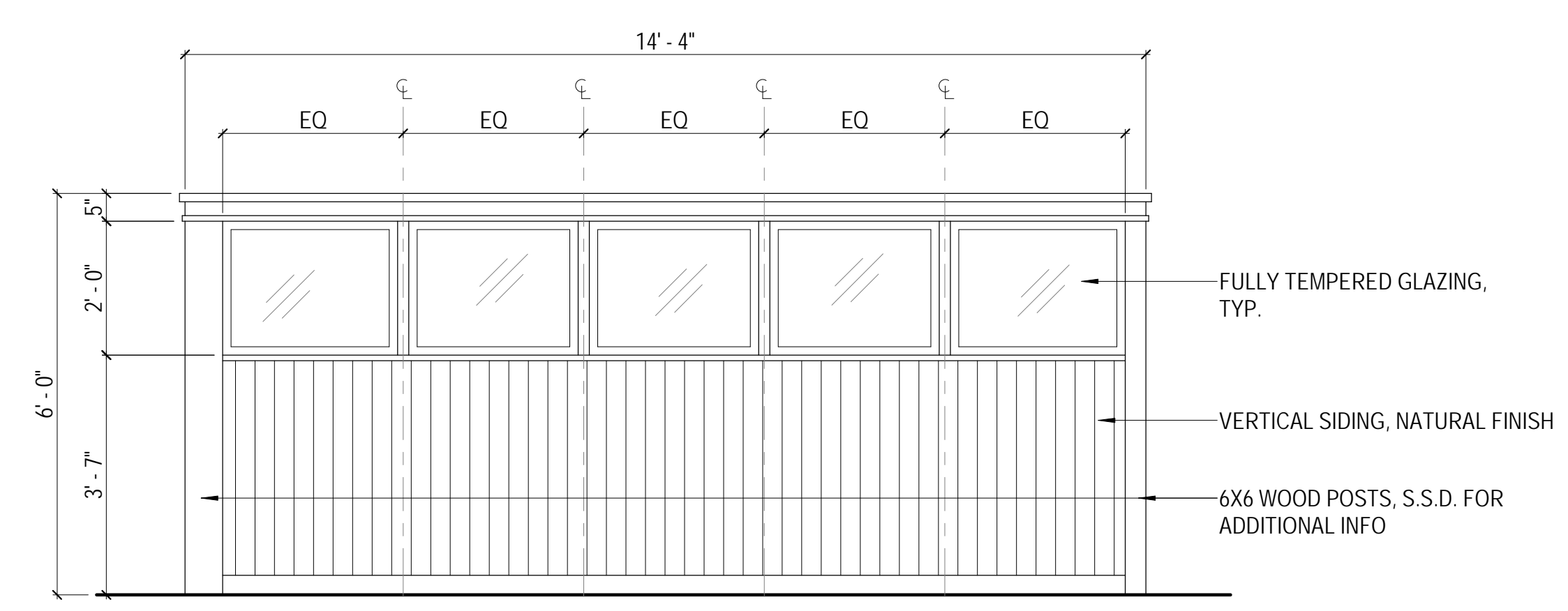
1 FLOOR 01 - PARTIAL PROPOSED FLOOR PLAN - WINDSCREENS
SCALE: 1/2" = 1'-0"



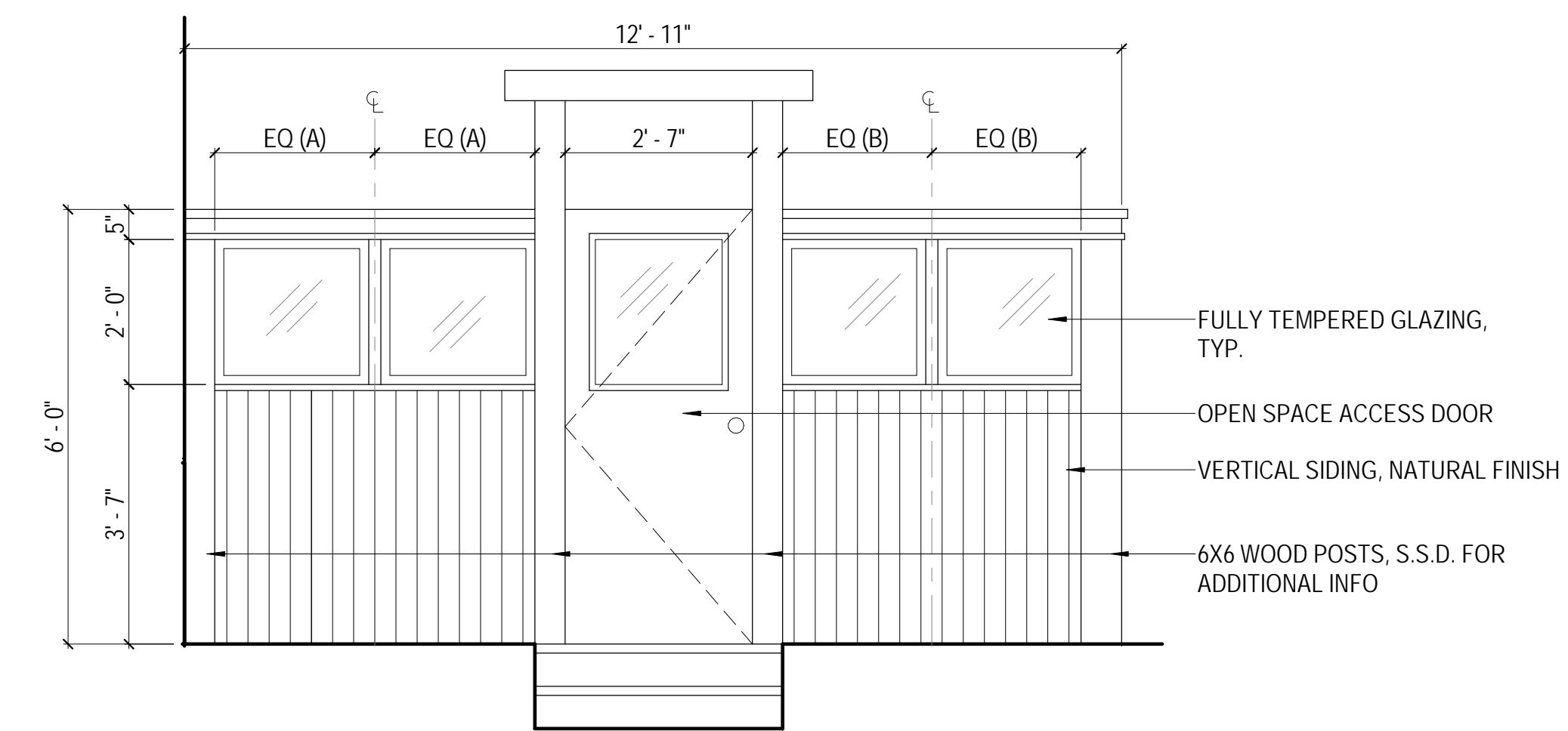
2 WINDSCREEN - WEST ELEVATION
SCALE: 1/2" = 1'-0"



5 WINDSCREEN - SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



3 WINDSCREEN - NORTH ELEVATION
SCALE: 1/2" = 1'-0"



4 WINDSCREEN - EAST ELEVATION
SCALE: 1/2" = 1'-0"

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD		NRCC-PRF-E		
Nonresidential Performance Compliance Method		(Page 1 of 14)		
Project Name:	Dolphin Club	Date Prepared:	2024-08-13	
A. General Information				
1 Project Name	Dolphin Club			
2 Run Title	Title 24 Analysis			
3 Project Location	502 Jefferson Street			
4 City	San Francisco	5 Standards Version	Compliance 2022	
6 Zip code	94109	7 Compliance Software (version)	EnergyPro 9.3	
8 Climate Zone	3	9 Building Orientation (deg)	0	
10 Building Type(s)	• Nonresidential		11 Weather File	OAKLAND-INTL_STYP20.epw
12 Project Scope	• Existing addition and alteration			
13 Number of Dwelling Units	0			
14 Total Conditioned Floor Area in Scope (ft ²)	17833		15 Total # of hotel/motel rooms	0
16 Total Unconditioned Floor Area (ft ²)	0		17 Fuel Type	Natural gas
18 Nonresidential Conditioned Floor Area	17833		19 Total # of Stories (Habitable Above Grade)	2
20 Residential Conditioned Floor Area	0			

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Schema Version: rev 20220601 Report Generated: 2024-08-13 14:38:34 Compliance ID: EnergyPro-0000-0824-0167

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD		NRCC-PRF-E	
Nonresidential Performance Compliance Method		(Page 4 of 14)	

C2. TDV ENERGY COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual TDV Energy Use, kBtu/ft ² - yr)			
COMPLIES ²			
Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) ¹
Space Heating	17.9	17.79	0.11
Space Cooling	22.07	22.09	-0.02
Indoor Fans	13.26	12.26	1
Heat Rejection	0	0	0
Pumps & Misc.	0	0	0
Domestic Hot Water	9.51	9.51	0
Indoor Lighting	43.35	43.35	0
Flexibility	—	—	—
EFFICIENCY COMPLIANCE TOTAL	106.09	105	1.09 (1%)
Photovoltaics	—	—	—
Batteries	—	—	—
TOTAL COMPLIANCE	106.09	105	1.09 (1%)

¹ Notes: This number in parenthesis following the Compliance Margin in column 4, represents the Percent Better than Standard.

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Schema Version: rev 20220601 Report Generated: 2024-08-13 14:38:34 Compliance ID: EnergyPro-0000-0824-0167

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD		NRCC-PRF-E	
Nonresidential Performance Compliance Method		(Page 2 of 14)	
B. PROJECT SUMMARY			
Table B shows which building components are included in the performance calculation. If indicated as not included, the project must show compliance prescriptively if within the permit application.			
Building Components Complying via Performance		Building Components Complying Prescriptively	
Envelope (See Table G)	Nonres Performance Not Included	Solar Thermal Water Heating (See Table I3) <input type="checkbox"/> Performance <input checked="" type="checkbox"/> Not Included	The following building components are ONLY eligible for prescriptive compliance and should be documented on the NRCC form listed if within the scope of the permit application (i.e. compliance will not be shown on the NRCC-PRF-E).
Mechanical (See Table H)	Nonres Performance Not Included	Covered Process: Commercial Kitchens (see Table J) <input type="checkbox"/> Performance <input checked="" type="checkbox"/> Not Included	Indoor Lighting (Unconditioned) 140.6 & 170.2(e) NRCC-LTI-E is required
Domestic Hot Water (See Table I)	Nonres Performance Not Included	Covered Process: Laboratory Exhaust (see Table J) <input type="checkbox"/> Performance <input checked="" type="checkbox"/> Not Included	Outdoor Lighting 140.7 & 170.2(e) NRCC-LTO-E is required
Lighting (Indoor Conditioned, see Table K)	Nonres Performance Not Included	Photovoltaics (see Table F) <input type="checkbox"/> Performance <input checked="" type="checkbox"/> Not Included	Sign Lighting 140.8 & 170.2(e) NRCC-LTS-E is required
		Battery (see Table F) <input type="checkbox"/> Performance <input checked="" type="checkbox"/> Not Included	Building Components Complying with Mandatory Measures Electrical power systems, commissioning, solar ready, elevator and escalator requirements are mandatory and should be documented on the NRCC form listed if applicable (i.e. compliance will not be shown on the NRCC-PRF-E.) Electrical Power Distribution 110.11 NRCC-ELC-E is required
			Commissioning 120.8 NRCC-CXR-E is required
			Solar and Battery 110.10 NRCC-SAB-E is required

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD		NRCC-PRF-E	
Nonresidential Performance Compliance Method		(Page 5 of 14)	

C3. TDV ENERGY RESULTS FOR NON-REGULATED COMPONENTS ¹			
Non-Regulated Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) ²
Receptacle	45.98	45.98	—
Process	—	—	—
Other Ltg	—	—	—
Process Motors	—	—	—
TOTAL (TOTAL COMPLIANCE + NON-REGULATED COMPONENTS)	152.07	150.98	1.09 (0.7%)

¹ Notes: This table is not used for Energy Code Compliance.

C6. 'ABOVE CODE' QUALIFICATIONS	
<input type="checkbox"/> This project is pursuing CalGreen Tier 1	<input type="checkbox"/> This project is pursuing CalGreen Tier 2

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD		NRCC-PRF-E	
Nonresidential Performance Compliance Method		(Page 3 of 14)	

C1. COMPLIANCE SUMMARY			
	COMPLIES ³		Source Energy Use
	Time Dependent Valuation (TDV)		
	Efficiency ¹ (kBtu/ft ² - yr)	Total ² (kBtu/ft ² - yr)	Total ² (kBtu/ft ² - yr)
Standard Design	106.09	n/a	n/a
Proposed Design	105	n/a	n/a
Compliance Margins	1.09	n/a	n/a
	Pass	n/a	n/a

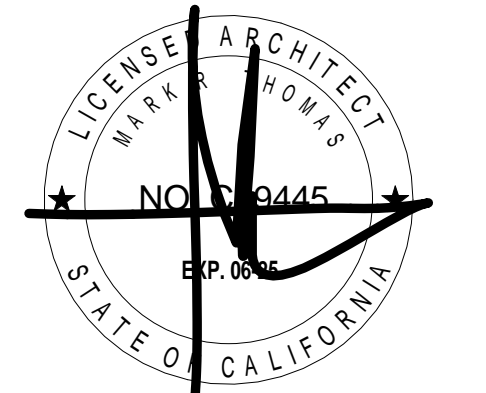
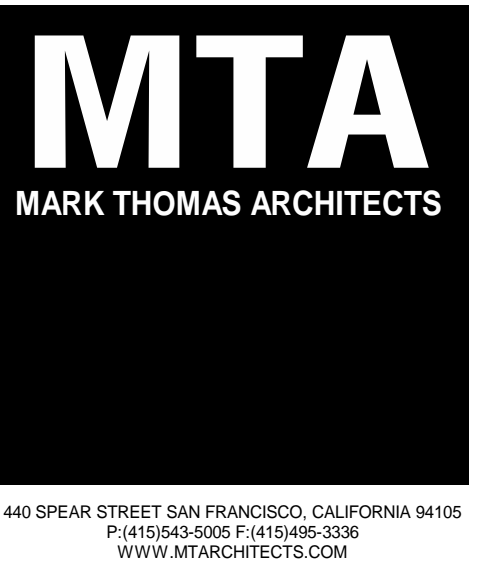
¹ Efficiency measures include improvements like a better building envelope and more efficient equipment
² Compliance Totals include efficiency, photovoltaics and batteries
³ New Construction, Complete Addition Scope: Building complies when all efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded
Existing, Addition and Alteration Scope: Building complies when efficiency compliance margin is greater than or equal to zero and unmet load hour limits are not exceeded

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CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD		NRCC-PRF-E	
Nonresidential Performance Compliance Method		(Page 6 of 14)	

C7. ENERGY USE SUMMARY						
Energy Component	Standard Design Site (MWh)	Proposed Design Site (MWh)	Margin (MWh)	Standard Design Site (MBtu)	Proposed Design Site (MBtu)	Margin (MBtu)
Space Heating	—	—	—	116	115.2	0.8
Space Cooling	9	9	0	—	—	—
Indoor Fans	7.7	7.7	0	—	—	—
Heat Rejection	—	—	—	—	—	—
Pumps & Misc.	—	—	—	—	—	—
Domestic Hot Water	0	0	0	66.6	66.6	0
Indoor Lighting	30.6	30.6	0	—	—	—
Flexibility	—	—	—	—	—	—
EFFICIENCY TOTAL	47.3	47.3	0	182.6	181.8	0.8
Photovoltaics	—	—	—	—	—	—
Batteries	—	—	—	—	—	—
ENERGY USE SUBTOTAL	47.3	47.3	0	182.6	181.8	0.8
Receptacle	32.5	32.5	0	—	—	—
Process	—	—	—	—	—	—
Other Ltg	—	—	—	—	—	—
Process Motors	—	—	—	—	—	—
ENERGY USE TOTAL	79.8	79.8	0	182.6	181.8	0.8

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DOLPHIN CLUB
ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94100
BLOCK: 0405 LOT: 004

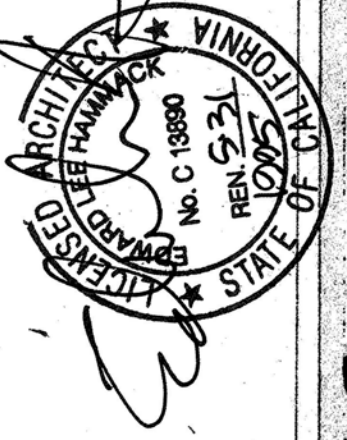
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

TITLE 24
SHEET NUMBER:

A6.1

RECEIVED
DEC 30 1994
BUREAU OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR MICROFILMING
ACCEPTED



DOLPHIN SWIMMING & BOATING CLUB
SAN FRANCISCO ORGANIZED 1977
LOCKER ROOM & SHOWER EXPANSION

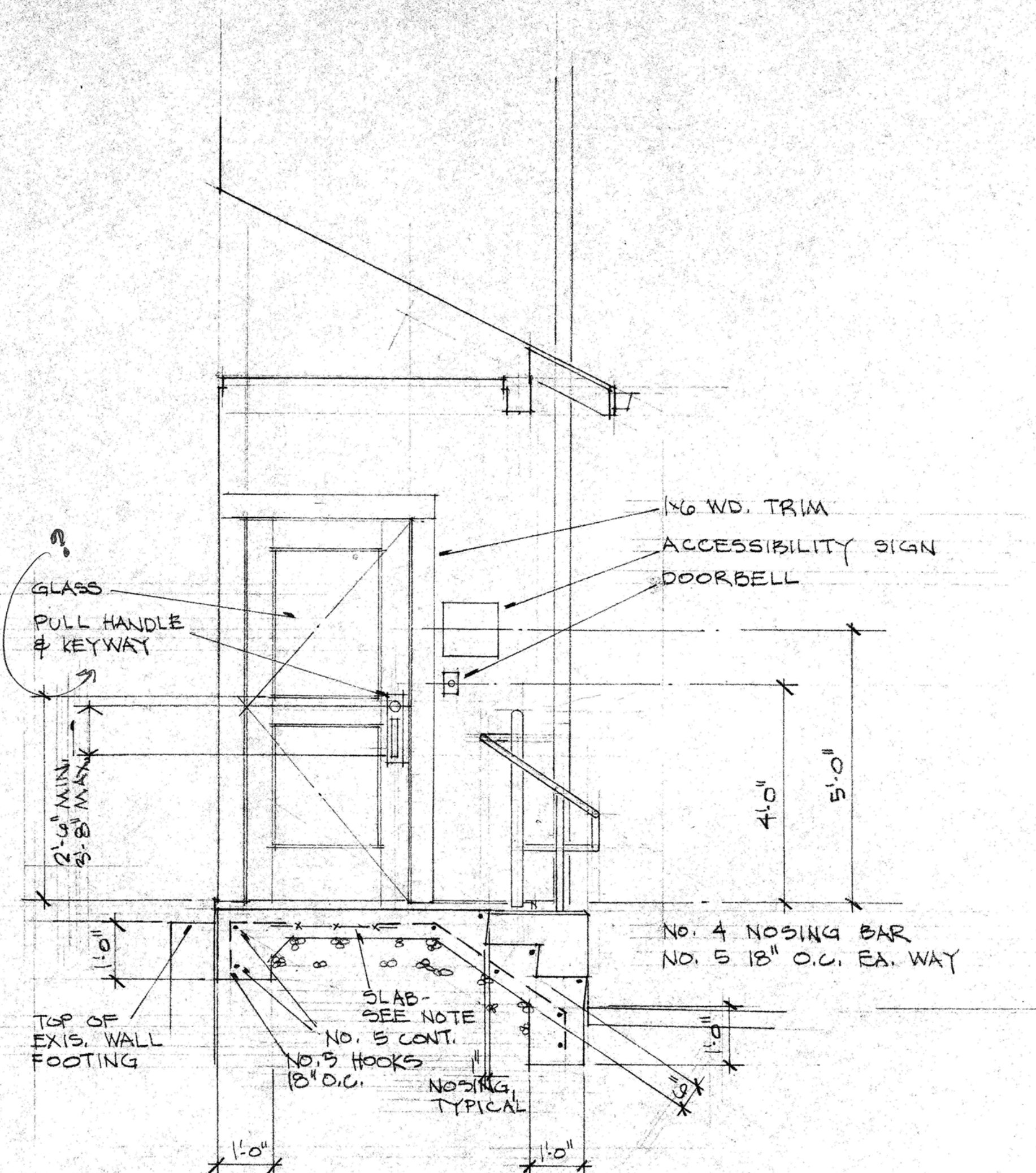


PHASE 1
NEW MEN'S
TOILETS
LARGE-SCALE PLANS -
GROUND FLOOR ACCESS-
IBILITY UPGRADES

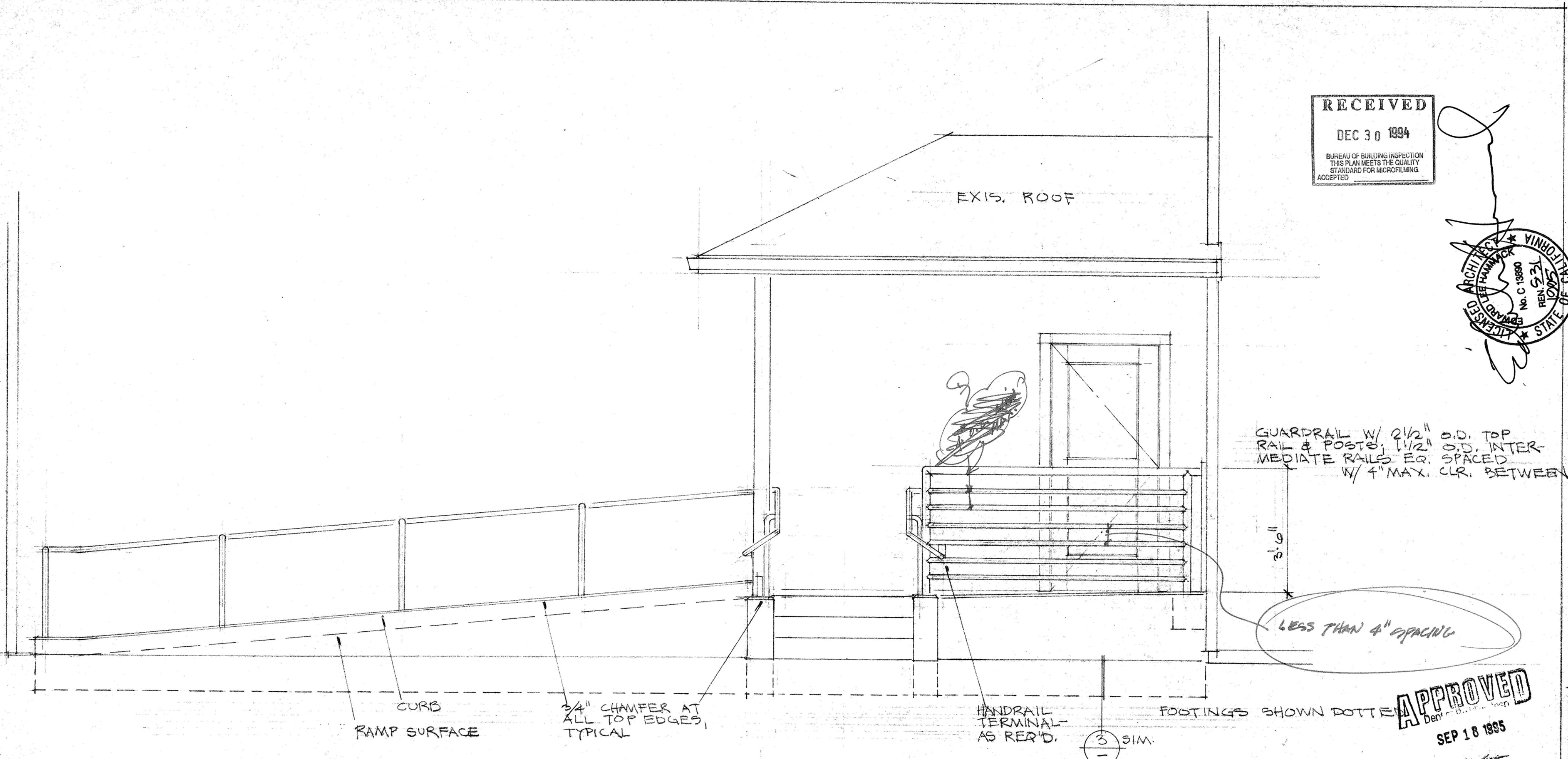
ISSUE DATE:
CORRECTION
21 DEC 94
(NEW SHEET)

SHT. NO

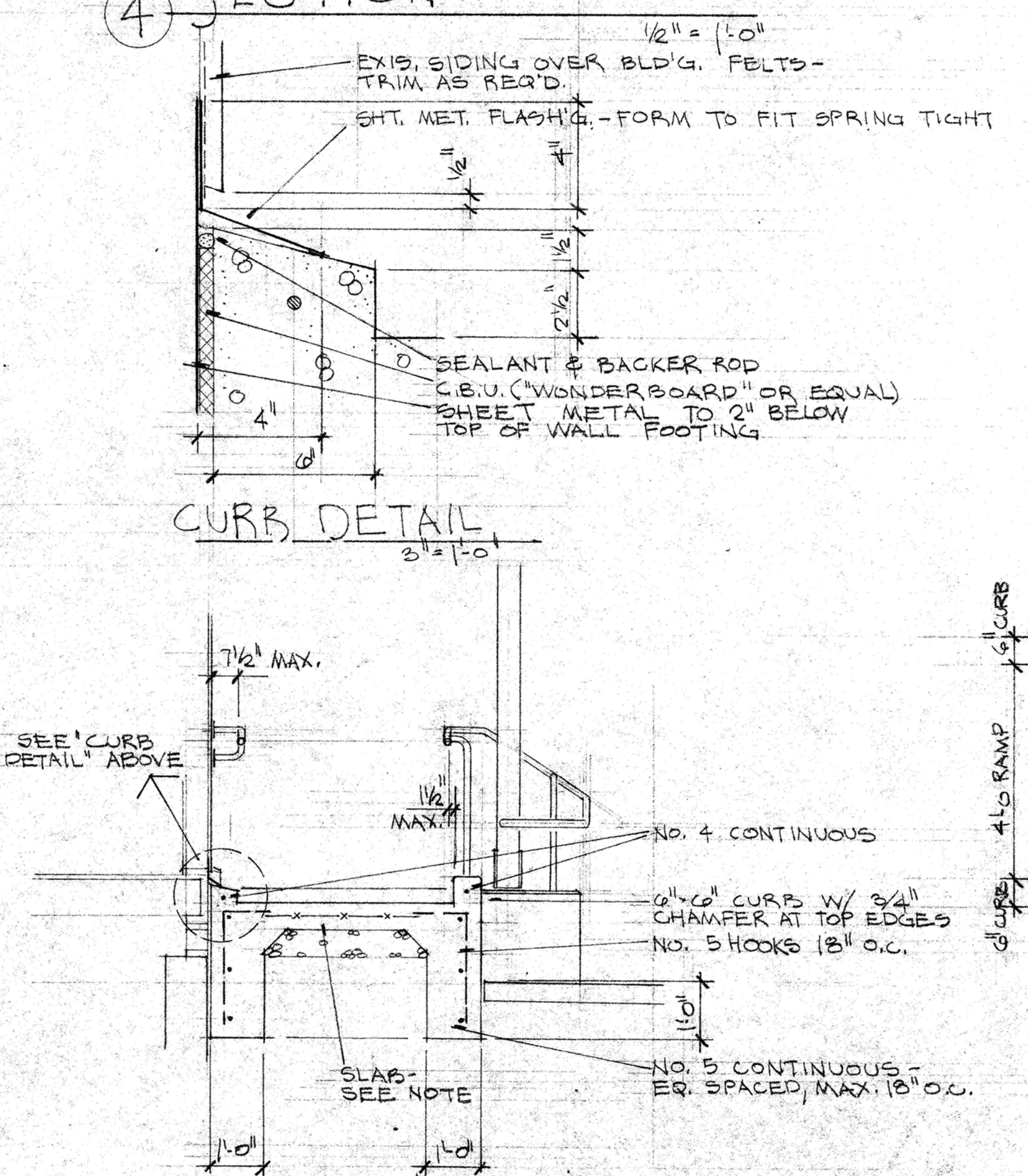
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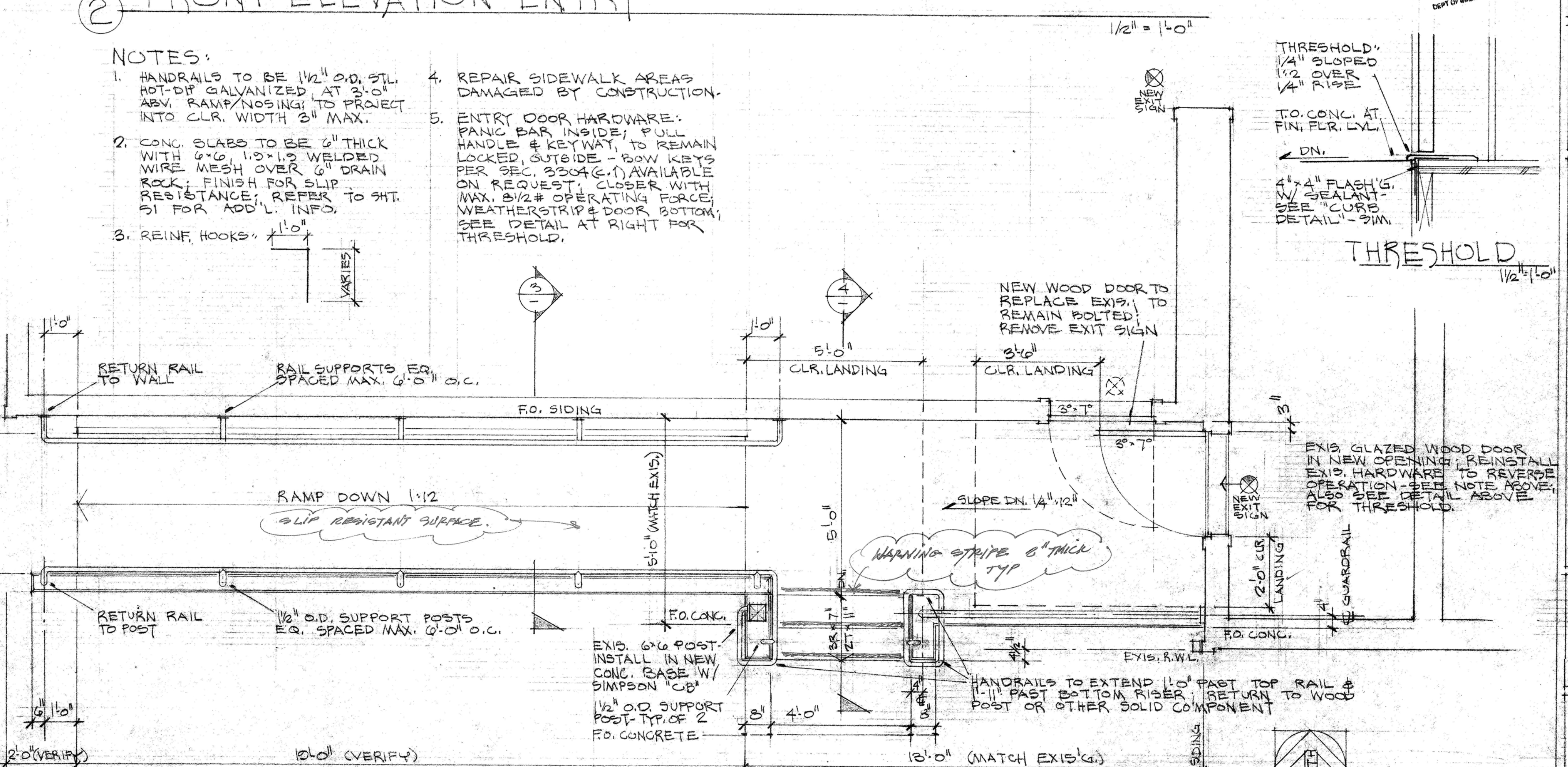


② FRONT ELEVATION - ENTRY



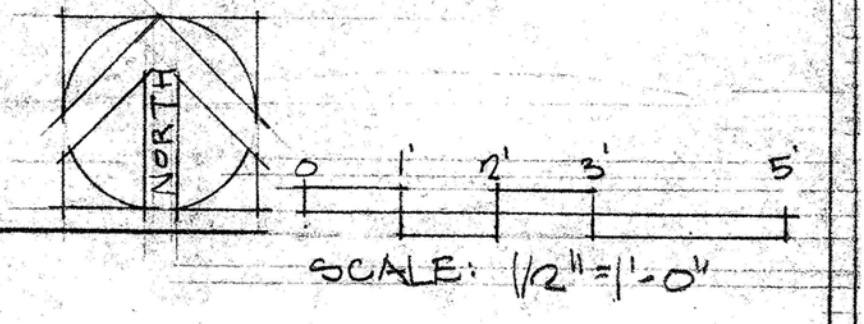
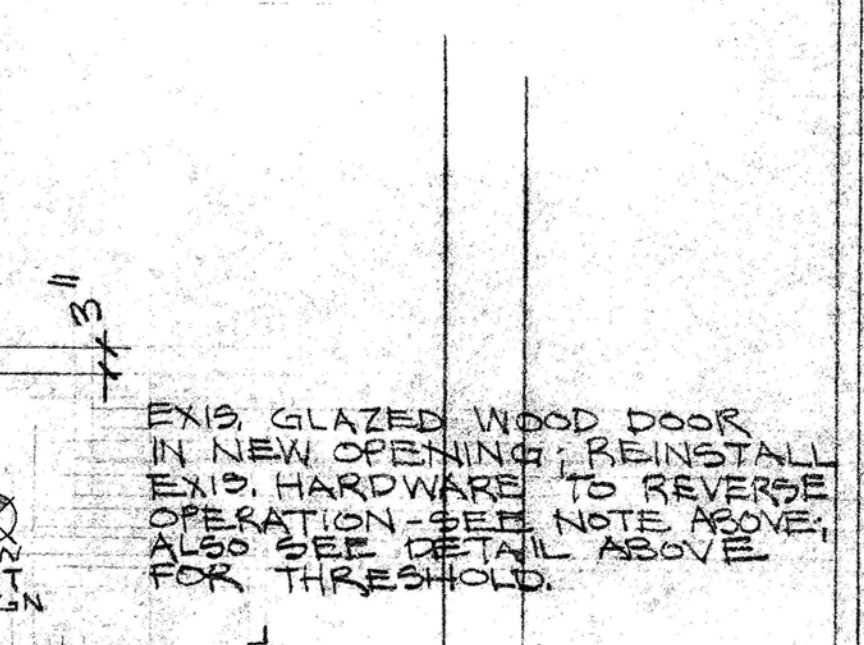
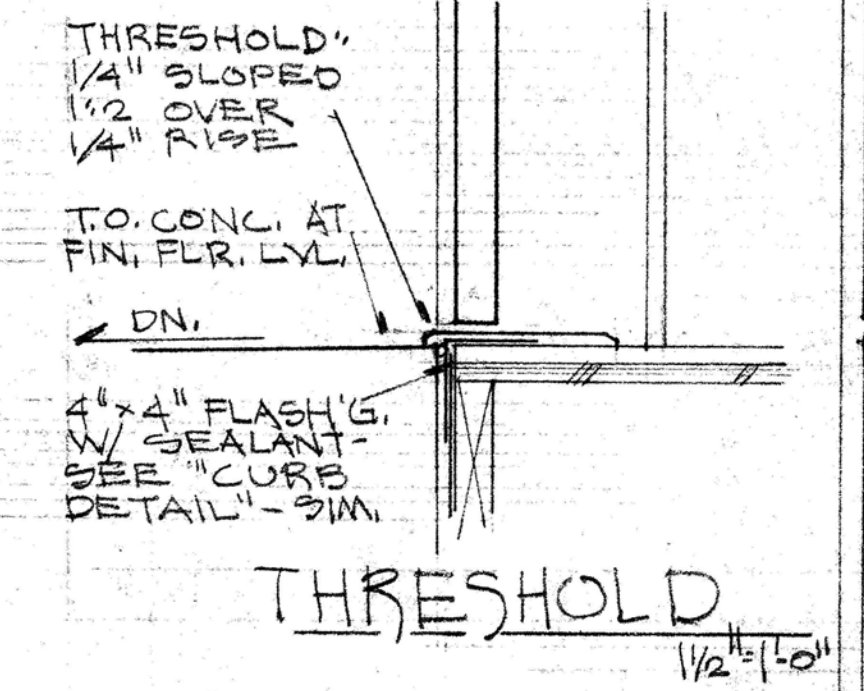
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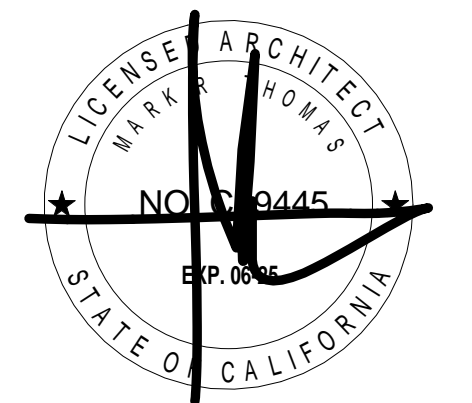
- NOTES:
- HANDRAILS TO BE 1 1/2" O.D. STL. HOT-DIP GALVANIZED AT 3'-0" ABV. RAMP/NOSING TO PROJECT INTO CLR. WIDTH 3" MAX.
 - CONC. SLABS TO BE 6" THICK WITH 4"x6" 1.0"x1.0" WELDED WIRE MESH OVER 6" DRAIN ROCK. FINISH FOR SLIP RESISTANCE; REFER TO SHT. 51 FOR ADD'L. INFO.
 - REINF. HOOKS: 1'-0" (VARIES)
 - REPAIR SIDEWALK AREAS DAMAGED BY CONSTRUCTION.
 - ENTRY DOOR HARDWARE: PANIC BAR INSIDE; PULL HANDLE & KEYWAY TO REMAIN LOCKED & OUTSIDE - BOW KEYS PER SEC. 2304 (C.I.) AVAILABLE ON REQUEST. CLOSER WITH MAX. 8 1/2# OPERATING FORCE; WEATHERSTRIP & DOOR BOTTOM; SEE DETAIL AT RIGHT FOR THRESHOLD.



① PLAN - ENTRY

APPROVED
SEP 18 1985
DIRECTOR
DEPT. OF BUILDING INSPECTION





DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94109
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

**GALLEY
POWER SIGNAL
PLAN**

SHEET NUMBER:

E1.1

SHEET NOTE

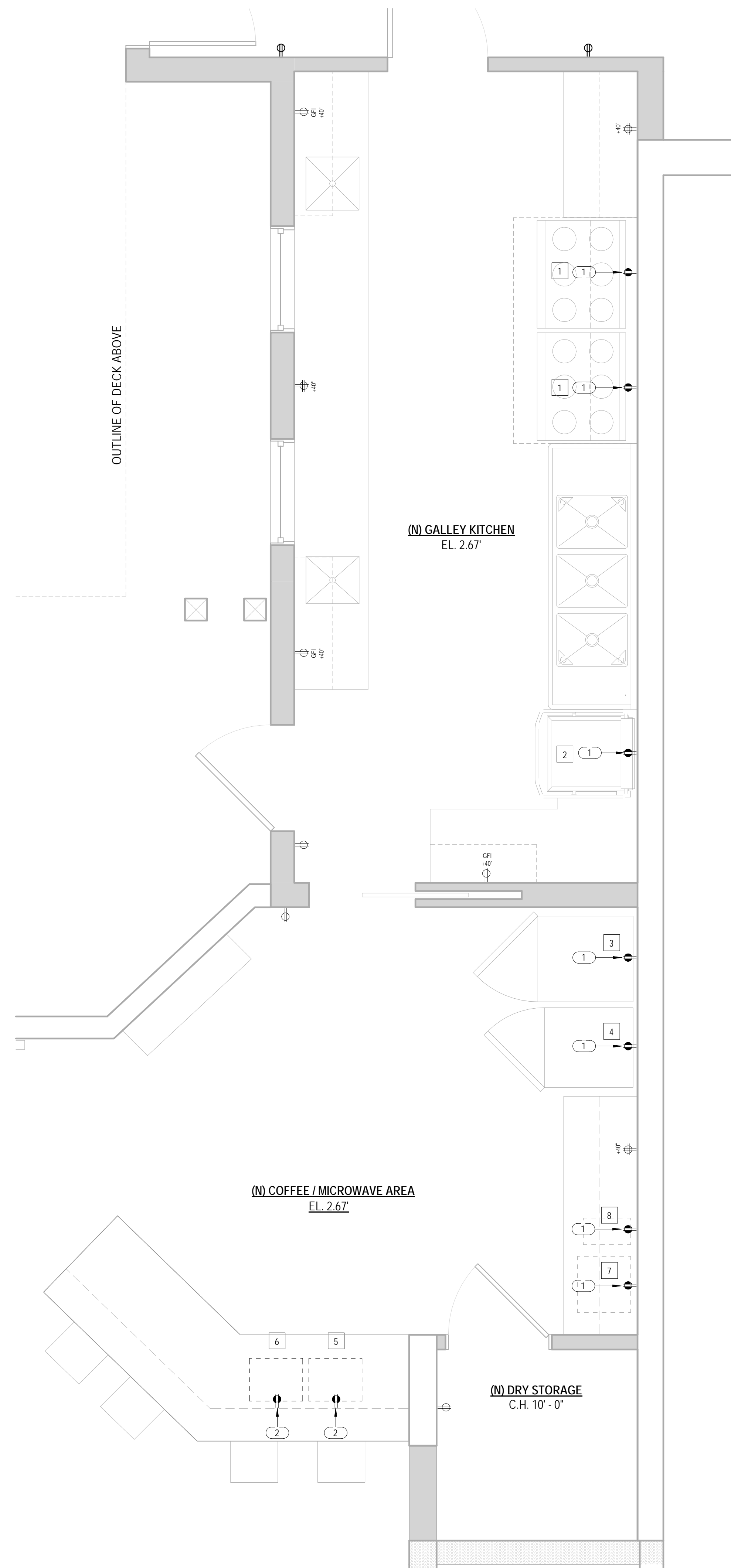
- REFER TO A0.2 FOR GENERAL NOTES.
- REFER TO A0.3 FOR SYMBOL LEGEND.
- REFER TO DETAIL E2.1 FOR TYPICAL DEVICE MOUNTING HEIGHTS.
- REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- SEE E2.1 FOR WALL SWITCH LOCATIONS.
- TELE / DATA CABLING PROVIDED BY TENANT UNDER SEPARATE CONTRACT. VERIFY OUTLET AND CONDUIT REQUIREMENTS WITH TENANT'S VENDOR. GC TO PROVIDE CONDUIT, BACK BOX, AND TAGGED PULL STRINGS.
- FURNITURE IS SHOWN FOR REFERENCE ONLY AND IS NOT IN CONTRACT. GC TO VERIFY FURNITURE POWER AND SIGNAL REQUIREMENTS AND LOCATIONS WITH FURNITURE VENDOR PRIOR TO BEGINNING WORK. GC TO CUT FURNITURE WHIPS TO APPROPRIATE LENGTHS AND TO CONNECT WHIPS TO FURNITURE POWER IN FEEDS.
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- MOUNT ALL TELEPHONE / DATA / ELECTRICAL RECEPTACLES ABOVE WORK SURFACES HORIZONTALLY.
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- HORIZONTAL DIMENSION ARE TO THE CENTER LINE OF SINGLE OUTLETS AND THE MID-POINT OF MULTI-GANG DEVICES.
- MAINTAIN 3" CLEAR AT FLOOR OUTLETS ADJACENT TO WALL UON.
- WHERE FLOOR MONUMENTS ARE SHOWN NEXT TO EACH OTHER, LOCATE THEM AS CLOSE TOGETHER AS PRACTICAL.
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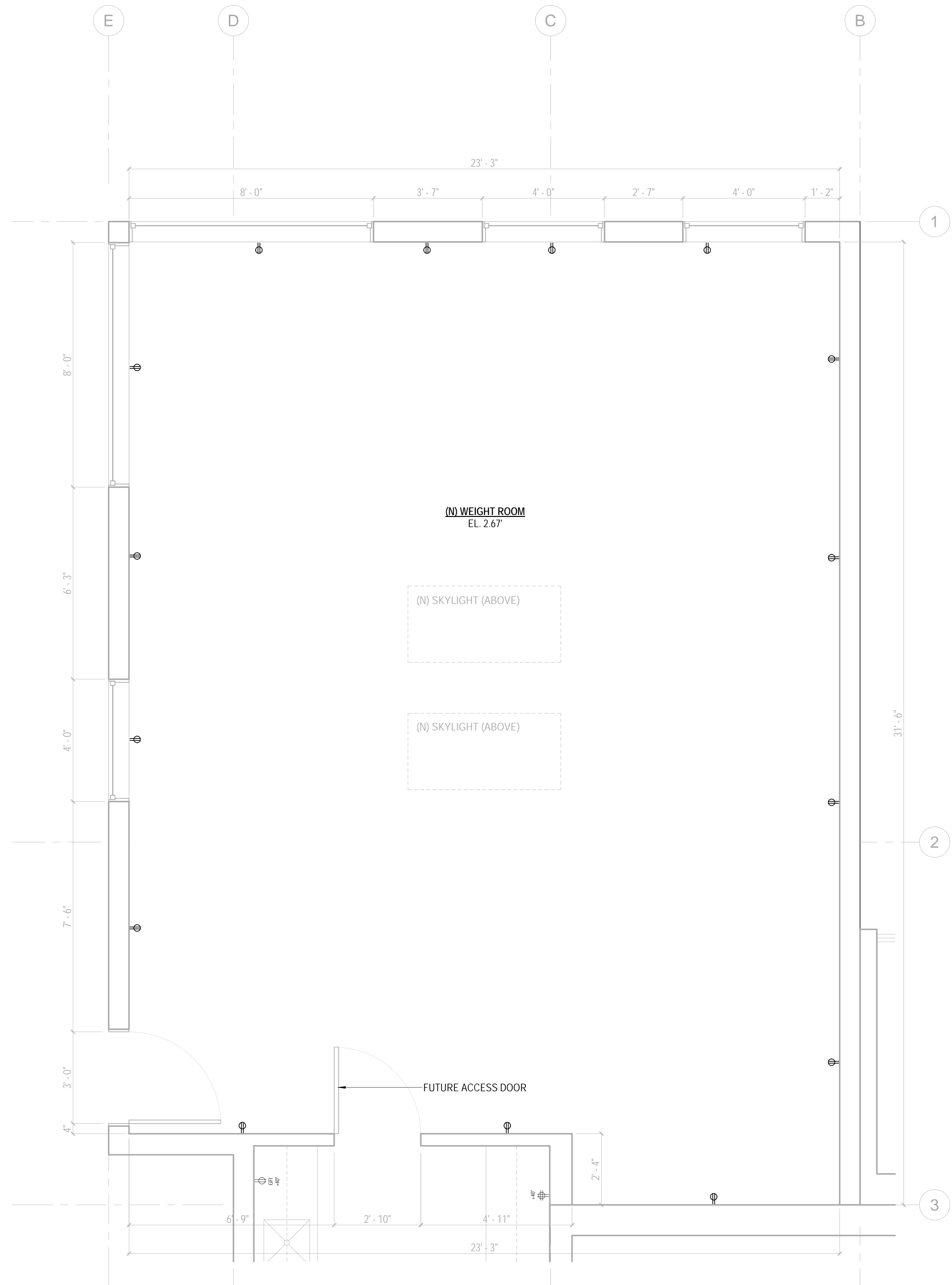
KEYNOTES E1.1

1	COORDINATE OUTLET LOCATION WITH MFR'S SPECIFICATIONS, TYP.
2	(N) MILLWORK MOUNTED ELECTRICAL OUTLETS, TYP. COORDINATE OUTLET LOCATON WITH MFR'S SPECIFICATIONS, TYP.

EQUIPMENT SCHEDULE

NUM	DESCRIPTION	COMMENTS
1	(N) 36" RANGE W/ 6 OPEN BURNERS	
2	(N) COMMERCIAL DISHWASHER	
3	EXISTING FREEZER	
4	EXISTING REFRIGERATOR	
5	(N) MICROWAVE	
6	(N) CONVECTION OVEN	
7	(N) COFFEE MACHINE	
8	(N) COFFEE GRINDER	





1 ENLARGED PLAN - WEIGHT ROOM - POWER SIGNAL PLAN
SCALE: 1/2" = 1'-0"

SHEET NOTE

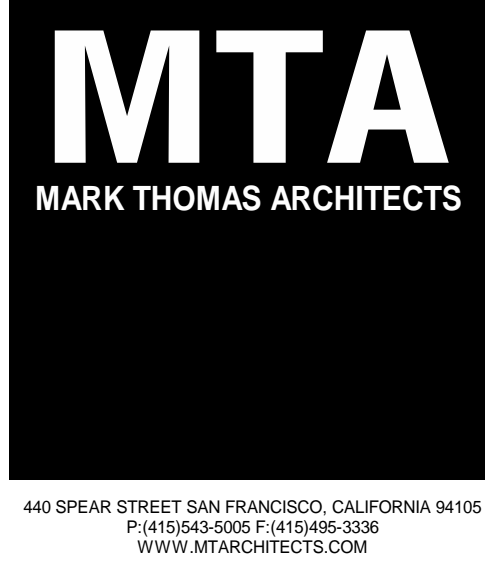
1. REFER TO A0.2 FOR GENERAL NOTES.
2. REFER TO A0.3 FOR SYMBOL LEGEND.
3. REFER TO DETAIL E2.1 FOR TYPICAL DEVICE MOUNTING HEIGHTS.
4. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
5. SEE E2.1 FOR WALL SWITCH LOCATIONS.
6. TELE / DATA CABLING PROVIDED BY TENANT UNDER SEPARATE CONTRACT. VERIFY OUTLET AND CONDUIT REQUIREMENTS WITH TENANT'S VENDOR. GC TO PROVIDE CONDUIT, BACK BOX, AND TAGGED PULL STRINGS.
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8. COVER PLATES, SWITCHES, AND OUTLETS TO BE WHITE IN COLOR, UON. AT MILLWORK, SPECIALTY FINISH AND ACCENT WALL LOCATIONS, CONFIRM COLOR W/ ARCHITECT.
9. GC TO LAYOUT FLOOR CORE LOCATIONS FOR ARCHITECT'S REVIEW ON SITE PRIOR TO BEGINNING WORK.
10. MOUNT ALL TELEPHONE / DATA / ELECTRICAL RECEPTACLES ABOVE WORK SURFACES HORIZONTALLY.
11. ALL OUTLETS AT WET LOCATIONS TO BE GFI DEVICES.
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KEYNOTES E1.2

1	COORDINATE OUTLET LOCATION WITH MFR'S SPECIFICATIONS, TYP.
2	(N) MILLWORK MOUNTED ELECTRICAL OUTLETS, TYP. COORDINATE OUTLET LOCATON WITH MFR'S SPECIFICATIONS, TYP.

EQUIPMENT SCHEDULE

NUM	DESCRIPTION	COMMENTS
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2	(N) COMMERCIAL DISHWASHER	
3	EXISTING FREEZER	
4	EXISTING REFRIGERATOR	
5	(N) MICROWAVE	
6	(N) CONVECTION OVEN	
7	(N) COFFEE MACHINE	
8	(N) COFFEE GRINDER	



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94109
BLOCK: 0405 LOT: 004

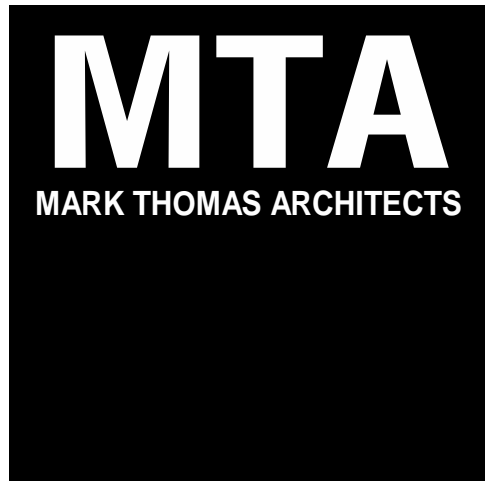
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SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

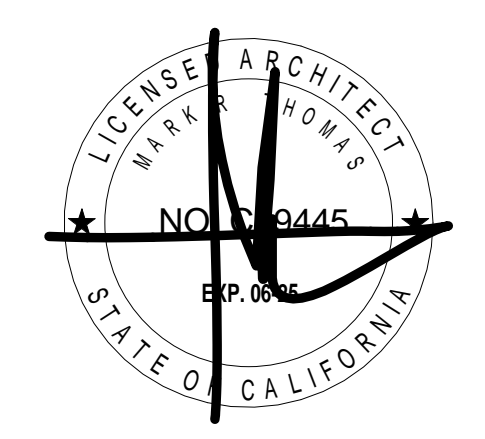
WEIGHT ROOM
POWER SIGNAL
PLAN

SHEET NUMBER:

E1.2



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P: 415.463.5005 F: 415.466.3336
WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94109
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

OFFICE POWER
SIGNAL PLAN

SHEET NUMBER:

E1.3

SHEET NOTE

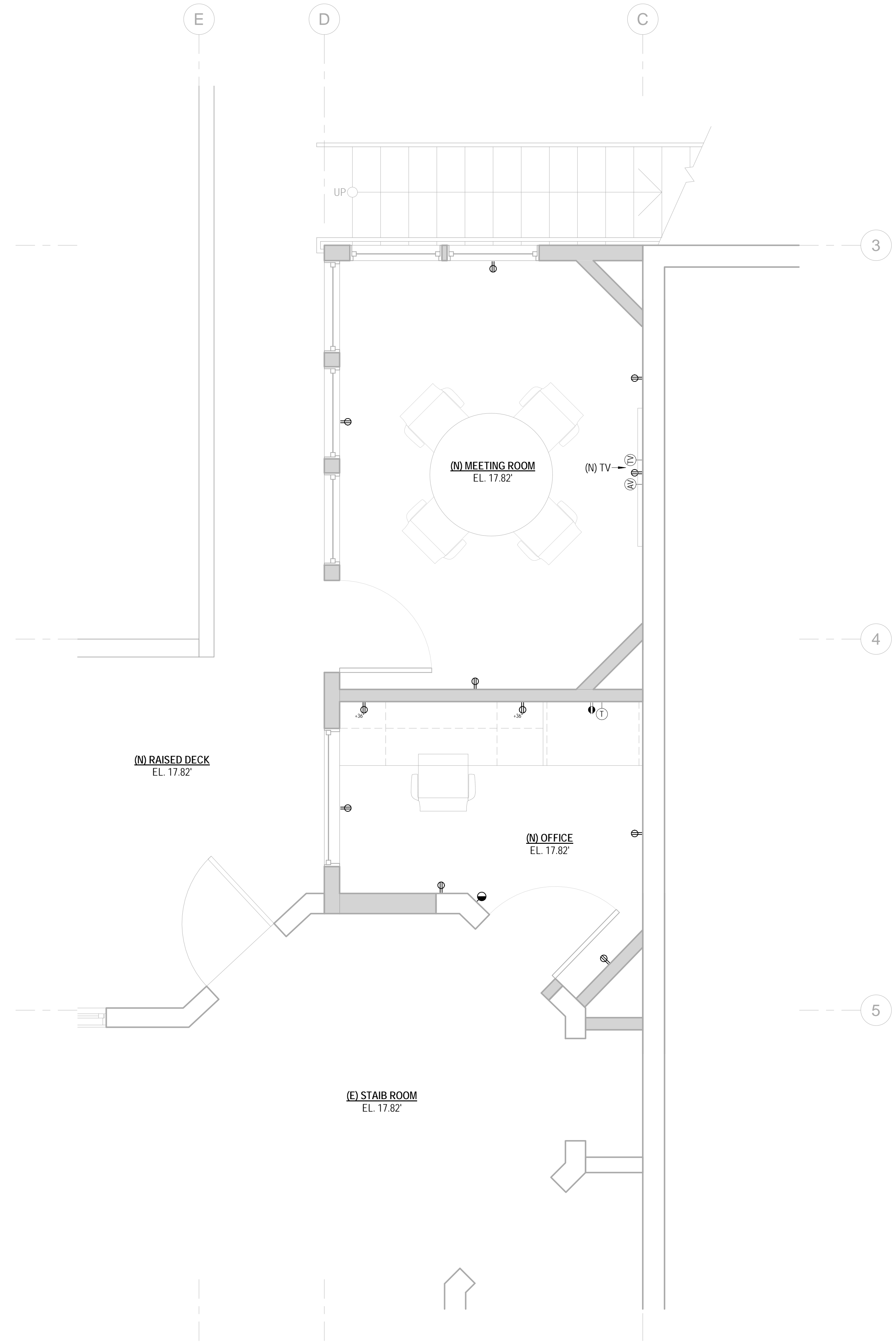
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- REFER TO A0.3 FOR SYMBOL LEGEND.
- REFER TO DETAIL E2.1 FOR TYPICAL DEVICE MOUNTING HEIGHTS.
- REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
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- LOCATE WALL OUTLETS AT DIMENSION NOTED OR ON STUD WITHIN 12" OF LOCATION SHOWN ON DOCUMENT IF NOT NOTED.
- HORIZONTAL DIMENSION ARE TO THE CENTER LINE OF SINGLE OUTLETS AND THE MID-POINT OF MULTI-GANG DEVICES.
- MAINTAIN 3" CLEAR AT FLOOR OUTLETS ADJACENT TO WALL UON.
- WHERE FLOOR MONUMENTS ARE SHOWN NEXT TO EACH OTHER, LOCATE THEM AS CLOSE TOGETHER AS PRACTICAL.
- ARCHITECTURAL DRAWINGS OVER-RIDE ENGINEERING DOCUMENTS FOR THE LOCATIONS OF OUTLETS.
- PROVIDE ABOVE CEILING POWER FOR EQUIPMENT LOCATED AT CEILING. REFER TO E2.1 FOR LOCATIONS.
- AV EQUIPMENT PROVIDED AND INSTALLED BY TENANT'S VENDOR. GC TO PROVIDE ASSOCIATED POWER, SIGNAL, AND CONDUIT. GC TO VERIFY REQUIREMENTS WITH AV VENDOR.
- SECURITY CAMERAS AND CARD READERS BY TENANT'S SECURITY VENDOR. GC TO PROVIDE ASSOCIATED POWER, SIGNAL, AND CONDUIT. VERIFY REQUIREMENTS AND LOCATIONS WITH TENANT'S SECURITY VENDOR PRIOR TO COMPLETING WORK.

KEYNOTES E1.2

1	COORDINATE OUTLET LOCATION WITH MFR'S SPECIFICATIONS, TYP.
2	(N) MILLWORK MOUNTED ELECTRICAL OUTLETS, TYP. COORDINATE OUTLET LOCATON WITH MFR'S SPECIFICATIONS, TYP.

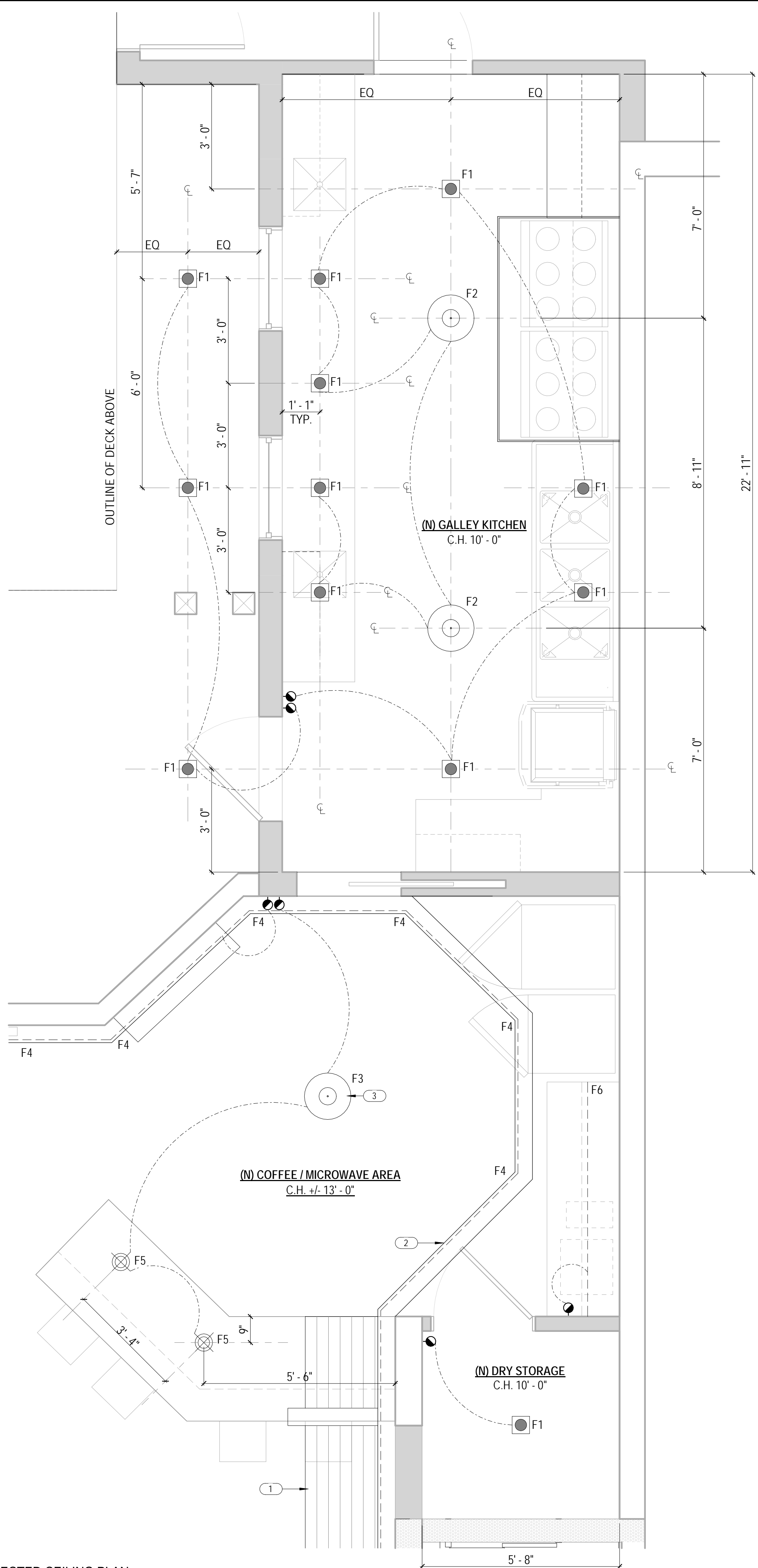
EQUIPMENT SCHEDULE

NUM	DESCRIPTION	COMMENTS
1	(N) 36" RANGE W/ 6 OPEN BURNERS	
2	(N) COMMERCIAL DISHWASHER	
3	EXISTING FREEZER	
4	EXISTING REFRIGERATOR	
5	(N) MICROWAVE	
6	(N) CONVECTION OVEN	
7	(N) COFFEE MACHINE	
8	(N) COFFEE GRINDER	



1 ENLARGED PLAN - OFFICE - POWER SIGNAL PLAN
SCALE: 1/2" = 1'-0"





1 ENLARGED PLAN - GALLEY - REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"



LIGHTING SCHEDULE

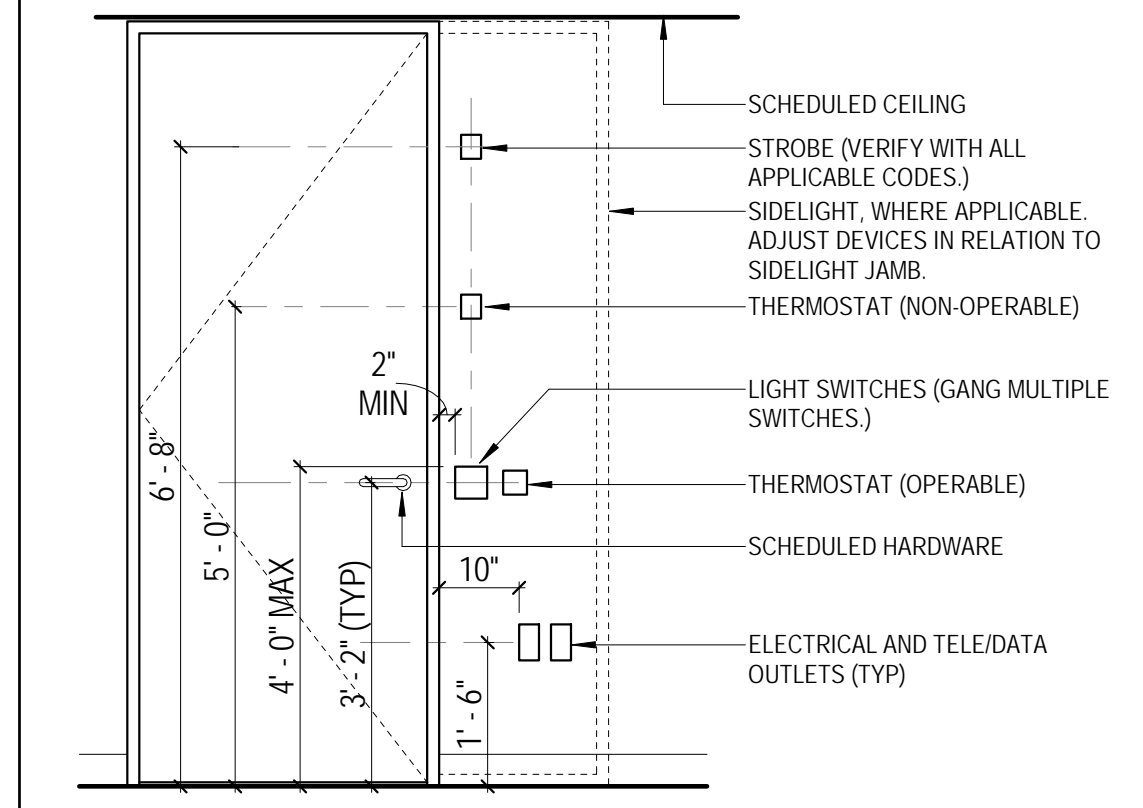
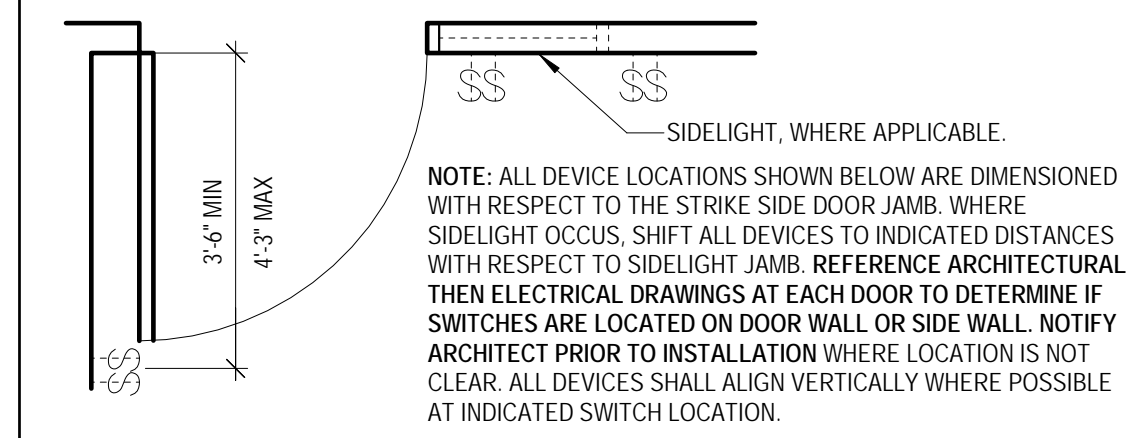
F1	4" SQUARE RECESSED DOWNLIGHTS
F2	OWNER PROVIDED LED PENDANT FIXTURE
F3	OWNER PROVIDED LED PENDANT FIXTURE
F4	LINEAR LED COVE FIXTURE
F5	OWNER PROVIDED LED PENDANT FIXTURE
F6	LINEAR LED UNDERCABINET FIXTURE
F7	LINEAR LED DIRECT / INDIRECT PENDANT FIXTURE
F8	OWNER PROVIDED LED PENDANT FIXTURE
F9	OWNER PROVIDED LED SURFACE MOUNT FIXTURE
F10	OWNER PROVIDED WALL SCONCE FIXTURE

SHEET NOTES

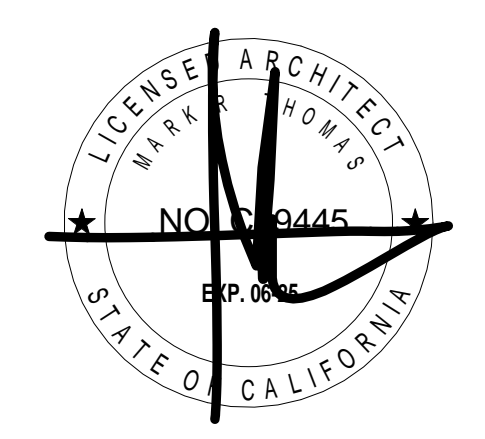
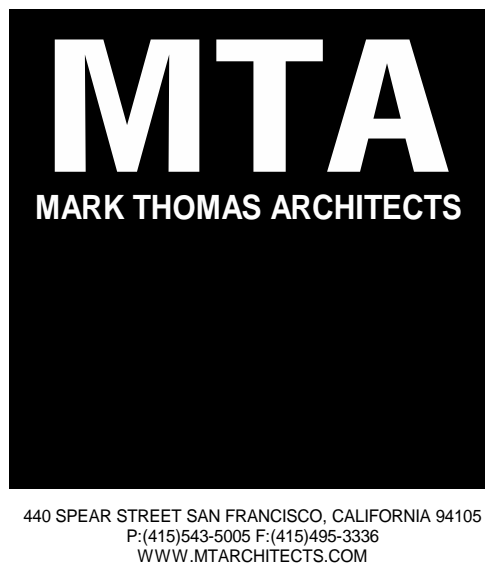
- REFER TO A0.2 FOR GENERAL NOTES.
- REFER TO A0.3 FOR SYMBOL LEGEND.
- REFER TO A6.2 FOR GENERAL CEILING DETAILS.
- REFER TO A4.1 FOR GYPSUM BOARD CEILING FINISHES.
- REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- GYPSUM BOARD CEILING HEIGHT IS 10'-0" AFF, UON
- ALL DIMENSIONS FOR LIGHT FIXTURES ARE TO FIXTURE CENTER LINE, UON.
- CEILING GRILLES AND DIFFUSERS TO BE WHITE IN COLOR, UON.
- GANG ALL SWITCH PLATE COVERS WHERE PRACTICAL.
- THERMOSTAT LOCATIONS TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- LOCATION OF ALL NEW DRYWALL CEILING RELATED ITEMS INCLUDING, BUT NOT LIMITED TO, STROBES, SMOKE DETECTORS, SPRINKLERS, ACCESS PANELS, AIR GRILLES, LIGHTS, ETC. TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO BEGINNING OF WORK.
- PROVIDE CONCEALED TYPE SPRINKLER HEADS AT DRYWALL CEILINGS. CAPS TO BE WHITE, UON.
- PROVIDE DIMMABLE WALL WASHERS AND DOWN LIGHTS IN, UON.
- SEE DETAIL 2/ FOR TYPICAL LIGHT SWITCH MOUNTING HEIGHT.
- AT OPEN CEILINGS: PATCH (E) FIREPROOFING AND PAINT UNDERSIDE OF ALL EXPOSED DECK/FIREPROOFED DECK ITEMS INCLUDING PIPES, SPRINKLER LINES AND CONDUIT ABOVE 10'-0" BLACK.
- AT OPEN CEILINGS: ALL EXPOSED DUCTWORK TO BE PAINTED HARD DUCT AND HAVE CLEAR JOINT SEALER. ALL EXPOSED DUCTS TO BE HUNG WITH STRAPS. NO. 8 GAUGE GALVANIZED STEEL WIRE IS NOT ACCEPTABLE. NO FLEX DUCT TO BE INSTALLED IN EXPOSED AREAS. NO DUCTS IN EXPOSED AREAS TO RECEIVE INSULATION WRAP.
- AT OPEN CEILINGS: ALL EXPOSED CONDUIT, SPRINKLER LINES AND HVAC DUCT TO RUN PERPENDICULAR TO OFFICE AND EXTERIOR WALLS. GANG EXPOSED CONDUIT RUNS TIGHT TO ONE ANOTHER AND ALIGNED W/ DUCT RUNS OR CABLE TRAY RUNS TO PROVIDE AN ALIGNED AND COLLECTED GROUPING APPEARANCE. RUN CONDUIT AS TIGHT AS POSSIBLE TO UNDERSIDE OF (E) BEAMS.
- ALL DRYWALL ACCESS PANELS TO INCLUDE A DRYWALL PANEL SYSTEM.
- ALL J-BOXES LOCATED IN EXPOSED CEILINGS ARE TO BE COORDINATED IN FIELD W/ ARCHITECT.

KEYNOTES E2.1

- | | |
|---|--|
| 1 | EXISTING SLOPED HORIZONTAL WOOD SOFFIT TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION. |
| 2 | EXISTING WOOD COVE TO REMAIN. REPAIR AS REQUIRED TO HOUSE NEW LED STRIP LIGHTING. |
| 3 | CENTER SCHEDULED PENDANT FIXTURE AT CENTER OF HEXAGON. |



2 GALLEY - DEVICE MOUNTING HEIGHTS
SCALE: 1/2" = 1'-0"



DOLPHIN CLUB
ALTERATIONS & ADDITION

502 JEFFERSON STREET
SAN FRANCISCO, CA 94109
BLOCK: 0405 LOT: 004

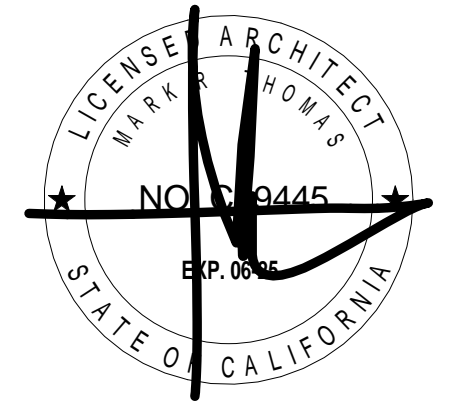
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

GALLEY REFLECTED CEILING PLAN

SHEET NUMBER:

E2.1



DOLPHIN CLUB
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PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

WEIGHT ROOM REFLECTED CEILING PLAN

SHEET NUMBER:

E2.2

LIGHTING SCHEDULE

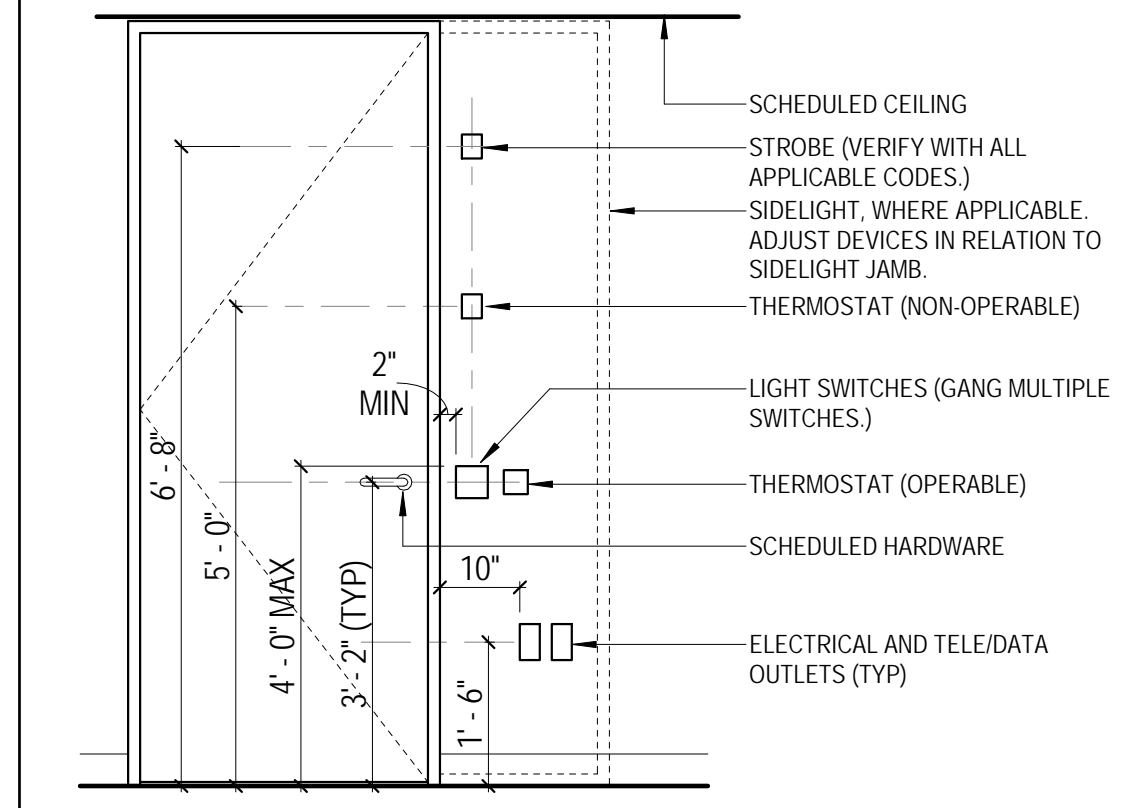
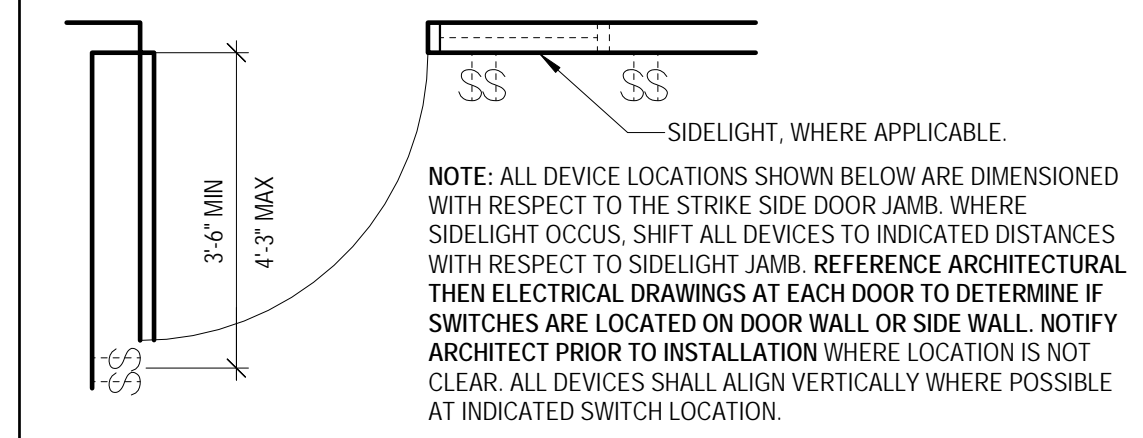
F1	4" SQUARE RECESSED DOWNLIGHTS
F2	OWNER PROVIDED LED PENDANT FIXTURE
F3	OWNER PROVIDED LED PENDANT FIXTURE
F4	LINEAR LED COVE FIXTURE
F5	OWNER PROVIDED LED PENDANT FIXTURE
F6	LINEAR LED UNDERCABINET FIXTURE
F7	LINEAR LED DIRECT / INDIRECT PENDANT FIXTURE
F8	OWNER PROVIDED LED PENDANT FIXTURE
F9	OWNER PROVIDED LED SURFACE MOUNT FIXTURE
F10	OWNER PROVIDED WALL SCONCE FIXTURE

SHEET NOTES

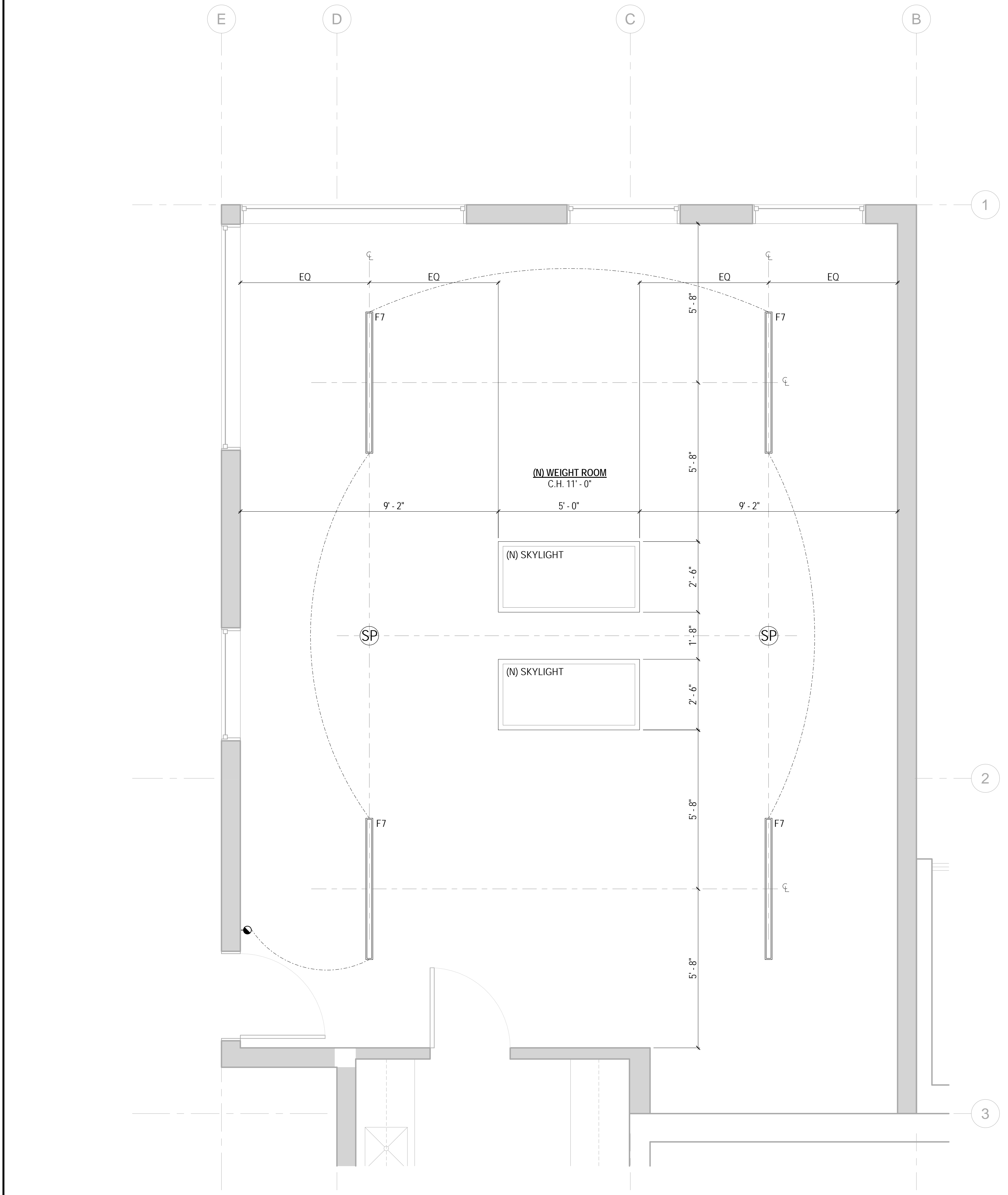
- REFER TO A0.2 FOR GENERAL NOTES.
- REFER TO A0.3 FOR SYMBOL LEGEND.
- REFER TO A6.2 FOR GENERAL CEILING DETAILS.
- REFER TO A4.1 FOR GYPSUM BOARD CEILING FINISHES.
- REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- GYPSUM BOARD CEILING HEIGHT IS 10'-0" AFF. UON.
- ALL DIMENSIONS FOR LIGHT FIXTURES ARE TO FIXTURE CENTER LINE, UON.
- CEILING GRILLES AND DIFFUSERS TO BE WHITE IN COLOR, UON.
- GANG ALL SWITCH PLATE COVERS WHERE PRACTICAL.
- THERMOSTAT LOCATIONS TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- LOCATION OF ALL NEW DRYWALL CEILING RELATED ITEMS INCLUDING, BUT NOT LIMITED TO, STROBES, SMOKE DETECTORS, SPRINKLERS, ACCESS PANELS, AIR GRILLES, LIGHTS, ETC. TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO BEGINNING OF WORK.
- PROVIDE CONCEALED TYPE SPRINKLER HEADS AT DRYWALL CEILINGS. CAPS TO BE WHITE, UON.
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- AT OPEN CEILINGS: PATCH (E) FIREPROOFING AND PAINT UNDERSIDE OF ALL EXPOSED DECK/FIREPROOFED DECK/ITEMS INCLUDING PIPES, SPRINKLER LINES AND CONDUIT ABOVE 10'-0" BLACK.
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KEYNOTES E2.2

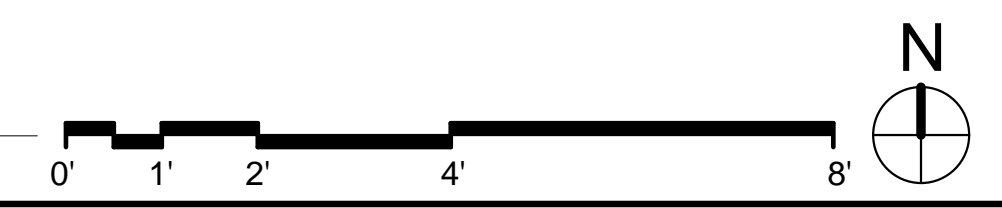
- | | |
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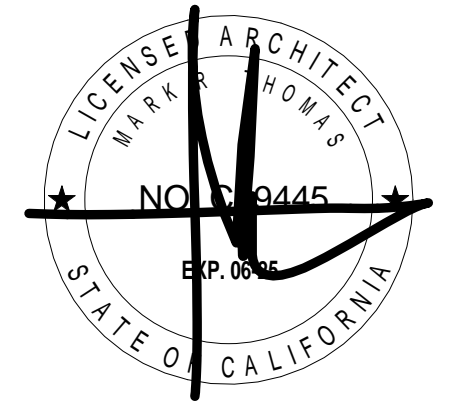


2 WEIGHT ROOM - DEVICE MOUNTING HEIGHTS
SCALE: 1/2" = 1'-0"



1 ENLARGED PLAN - WEIGHT ROOM - REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"





DOLPHIN CLUB
ALTERATIONS & ADDITION

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REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: TL
SHEET TITLE:

OFFICE REFLECTED CEILING PLAN

SHEET NUMBER:

E2.3

LIGHTING SCHEDULE

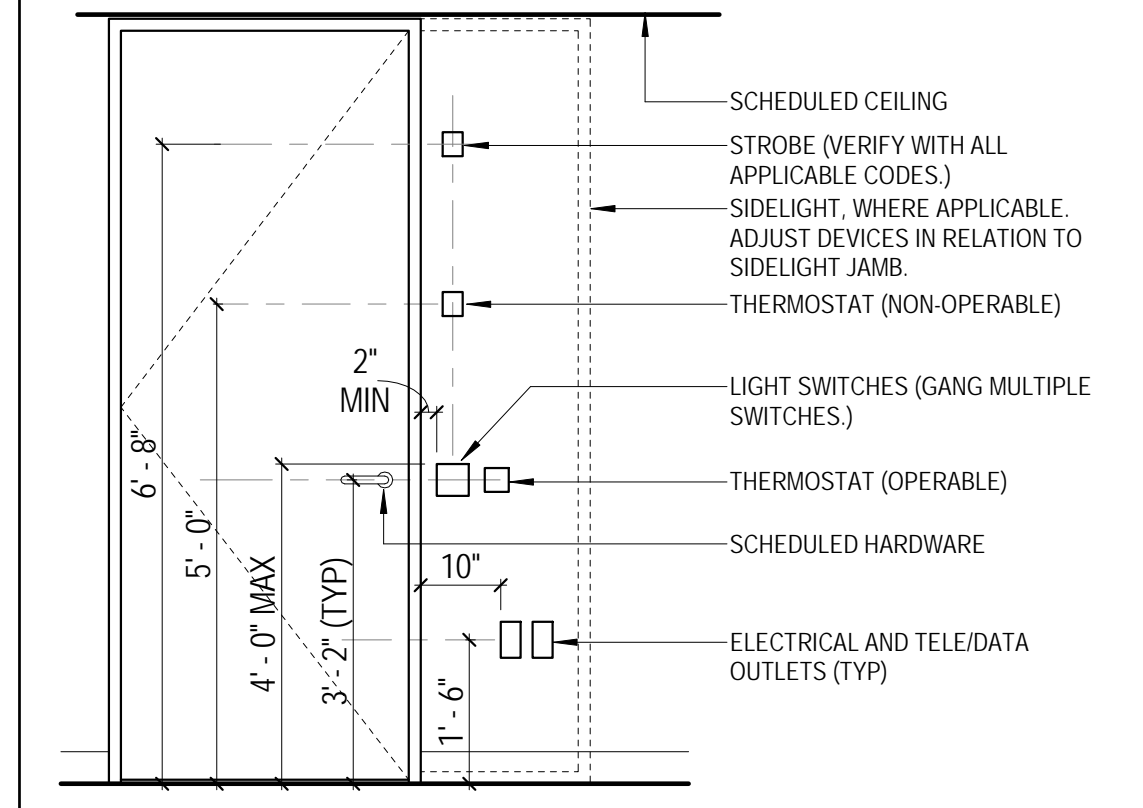
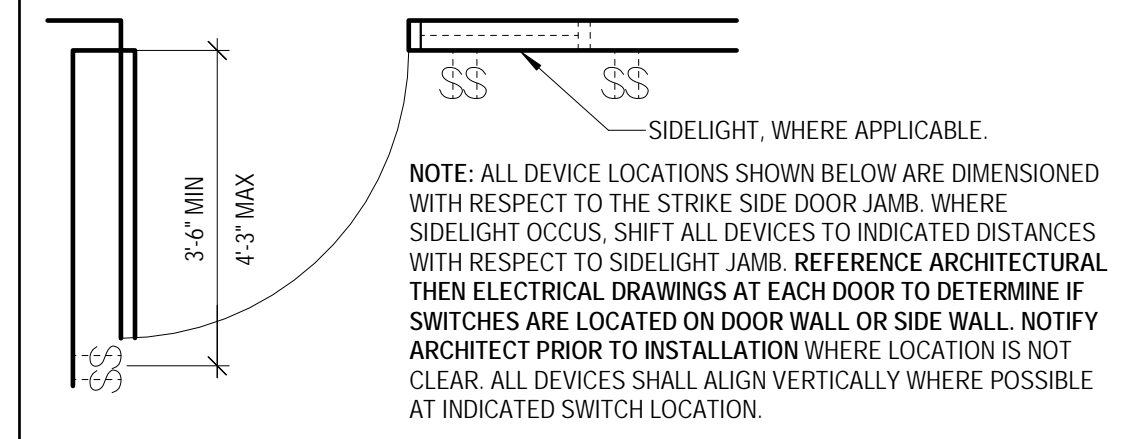
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SHEET NOTES

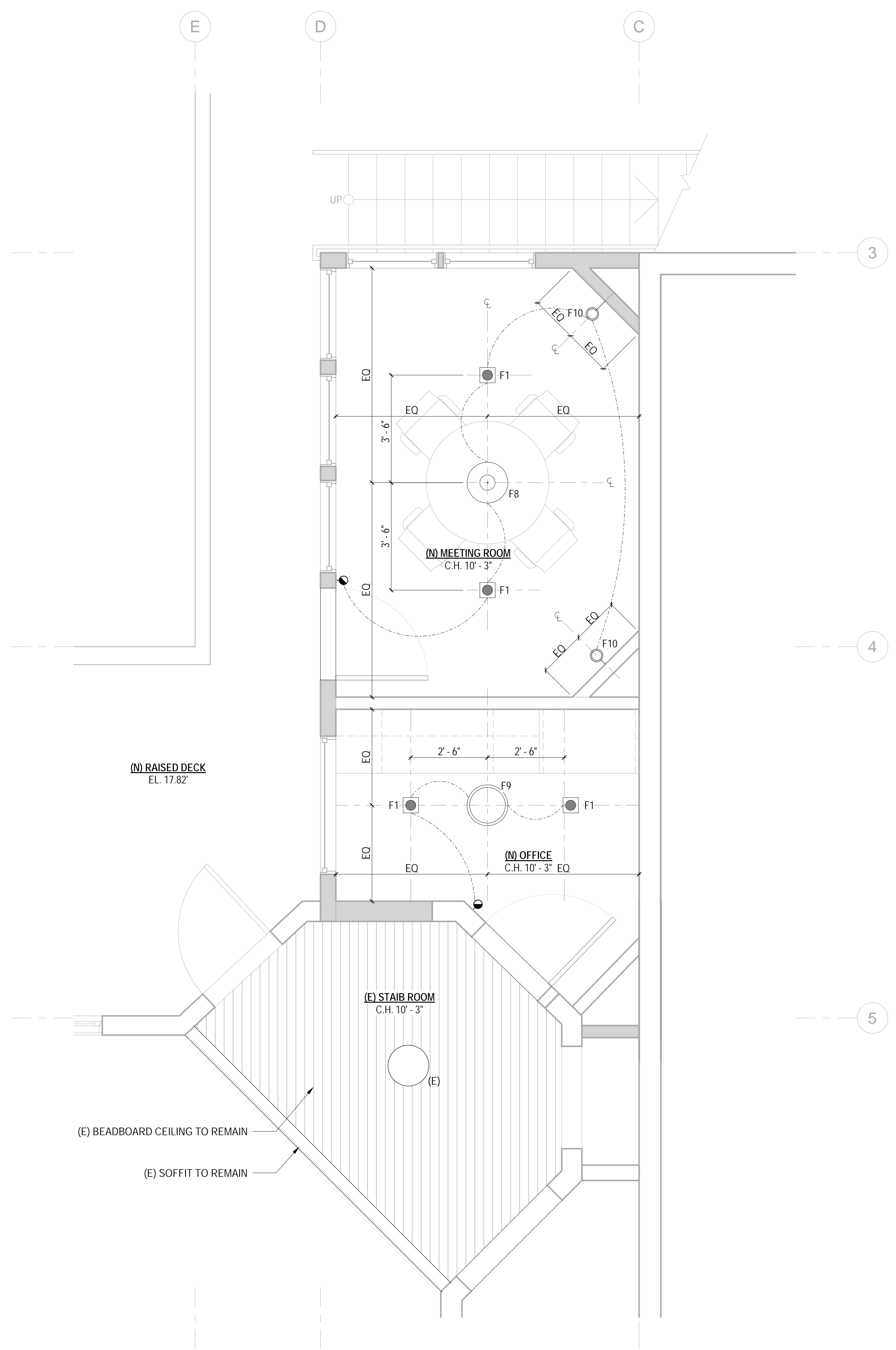
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KEYNOTES E2.3

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- EXISTING WOOD COVE TO REMAIN. REPAIR AS REQUIRED TO HOUSE NEW LED STRIP LIGHTING.
- CENTER SCHEDULED PENDANT FIXTURE AT CENTER OF HEXAGON.



2 OFFICE - DEVICE MOUNTING HEIGHTS
SCALE: 1/2" = 1'-0"



1 ENLARGED PLAN - OFFICE - REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"

