DOLPHIN CLUB

502 JEFFERSON STREET | SAN FRANCISCO | CALIFORNIA 94109

ALTERATIONS AND ADDITIONS

- BUILDING PERMIT SET -



VICINITY MAP



DRAWING INDEX

ARCHITECTURAL DRAWINGS

A0.0	COVER SHEET
C1.0	SITE SURVEY
AO 1	CENEDAL NOTES & D

A0.1 GENERAL NOTES & D.A. CHECKLIST
A0.2 GENERAL NOTES & ABBREVIATIONS
A0.3 SYMBOLS LEGEND

A0.4 DEMOLITION CALCULATION PLANS

A0.5 DEMOLITION CALCULATION PLANS
A0.6 DEMOLITION CALCULATION PLANS
A0.7 EXISTING SITE PLAN

PERSPECTIVE VIEWS

A0.8 PROPOSED SITE PLAN
A0.9 EXIT ANALYSIS
A0.10 PERSPECTIVE VIEWS

A1.1 EXISTING & PROPOSED FIRST FLOOR PLAN
A1.2 ENLARGED FIRST FLOOR PLAN

A1.3 EXISTING & PROPOSED SECOND FLOOR PLAN
A1.4 ENLARGED SECOND FLOOR PLAN

1.5 EXISTING & PROPOSED THIRD FLOOR PLAN1.6 ENLARGED THIRD FLOOR PLAN

A2.1 EXISTING & PROPOSED SOUTH (FRONT) ELEVATION
A2.2 EXISTING & PROPOSED NORTH(REAR) ELEVATIONS

EXISTING & PROPOSED FACT (CIPE) ELEVATIONS

A2.3 EXISTING & PROPOSED NORTH(REAR) ELEVATIONS
A2.4 EXISTING & PROPOSED EAST (SIDE) ELEVATIONS
A2.4 EXISTING & PROPOSED WEST(SIDE) ELEVATIONS

A4.1 INTERIOR ELEVATIONS
A4.2 INTERIOR ELEVATIONS
A4.3 INTERIOR ELEVATIONS

A5.1 DOOR & WINDOW SCHEDULE
A5.2 ARCHITECTURAL DETAILS
A5.3 ACCESSIBILITY DETAILS

BUILDING SECTIONS

5.5 ELEVATOR DETAILS
5.6 GUARDRAIL LAYOUT & DETAILS

ACCESSIBILITY DETAILS

A5.7 GUARDRAIL LAYOUT & DETAILS
A5.8 GUARDRAIL LAYOUT & DETAILS

A5.9 WINDSCREEN LAYOUT & ELEVATIONS
A6.1 TITLE 24

A6.1 TITLE 24
A6.2 TITLE 24
A6.3 TITLE 24

REF 1 RAMP REFERENCE

E1.1 GALLEY POWER SIGNAL PLAN
E1.2 WEIGHT ROOM POWER SIGNAL PLAN
E1.3 OFFICE POWER SIGNAL PLAN

E2.1 GALLEY REFLECTED CEILING PLAN
E2.2 WEIGHT ROOM REFLECTED CEILING

2.2 WEIGHT ROOM REFLECTED CEILING PLAN
2.3 OFFICE REFLECTED CEILING PLAN

STRUCTURAL DRAWINGS

DRAWING INDEX, STRUCTURAL NOTES, SYMBOLS LEGEND. AND ABBREVIATIONS

S1.0 TYPICAL DETAILS S1.1 TYPICAL DETAILS

S1.1 TYPICAL DETAILS
S1.2 TYPICAL DETAILS
S2.0 FIRST FLOOR FRAMING AND F

\$2.0 FIRST FLOOR FRAMING AND FOUNDATION PLAN
 \$2.1 SECOND FLOOR FRAMING PLAN
 \$2.2 ROOF FRAMING PLAN

S3.0 CUSTOM DETAILS S3.1 CUSTOM DETAILS S3.2 CUSTOM DETAILS

PROJECT DATA

PROJECT DESCRIPTION

LIMITED EXTERIOR ALTERATIONS AND INTERIOR REMODELING TO AN EXISTING 2-STORY WOOD FRAME (TYPE VB) BUILDING THAT IS FULLY SPRINKLERED:

FIRST FLOOR:

- A. DEMOLISH AND RE-BUILD EXISTING 1-STORY WEIGHT ROOM IN LIKE-KIND, SAME FOOTPRINT, APPROX. 764 S.F.
- B. DEMOLISH AND RE-BUILD EXISTING GALLEY (KITCHEN) IN LIKE-KIND, SAME SIZE, APPROX. 204 S.F.
- A. NEW ROOF DECK ON TOP OF RE-BUILT WEIGHT ROOM, APPROX. 189
- B. EXTEND EXISTING EGRESS STAIRS TO NEW ROOF DECK.C. 2ND FLOOR HORIZONTAL ADDITION FOR NEW OFFICE SPACE, APPROX. 133 S.F.
- D. NEW DECK, APPROX. 327 S.F.
- A. REMOVE AND REPLACE ACCESS STAIR TO (E) CUPOLA.
- A. REPLACE (E) ELEVATOR WITHIN EXISTING ELEVATOR SHAFT.
- 1. PROJECT ADDRESS: 502 JEFFERSON STREET SAN FRANCISCO, CA 94109

PLANNING DEPARTMENT DATA

2. PROPERTY BLOCK: 0405
3. ZONING: P - PUB
4. MAXIMUM HEIGHT: OS PROPO

5. EXISTING PARKING: NONE6. PROPOSED EXCAVATION: NONE

BUILDING DEPARTMENT DATA

	EXISTING	PROPOSED
OCCUPANCY:	A-3	A-3 (NO CHANGE)
8. CONSTRUCTION TYPE	V-B	V-B (NO CHANGE)
9. STORIES	2 -STORIES	2-STORIES
10. BUILDING AREA	18,218 SF	18,429 SF
11. SPRINKLERS:	FULLY SPRINKLED	FULLY SPRINKLED

DEFERRED SUBMITTALS

- FIRE SPRINKLER DRAWINGS AND CALCULATIONS
- 2. MEP ENGINEERING
- 3. STRUCTURAL ENGINEERING

GOVERNING CODES

ALL WORK SHALL BE IN COMPLIANCE WITH ALL STATE AND LOCAL CODES, INCLUDING THE FOLLOWING:

2019 CALIFORNIA MECHANICAL CODE (W/ LOCAL AMENDMENTS)

2019 CALIFORNIA MECHANICAL CODE (W/ LOCAL AMENDMENTS) 2019 CALIFORNIA PLUMBING CODE (W/ LOCAL AMENDMENTS) 2019 CALIFORNIA ELECTRICAL CODE (W/ LOCAL AMENDMENTS)

2019 CALIFORNIA ELECTRICAL CODE (W/ LOCAL AMENDMEN' 2019 CALIFORNIA ENERGY CODE (W/ LOCAL AMENDMENTS) 2019 CALIFORNIA FIRE CODE (W/ LOCAL AMENDMENTS)

AREA CALCULATIONS

BUILDING GROSS FLOOR AREA		
FLOOR LEVEL	EXISTING	PROPOSED
1ST FLOOR	9,517 SF	9,517 SF
BOAT STORAGE	848 SF	848 SF
SAUNA	78 SF	78 SF
2ND FLOOR	8,044 SF	8,177 SF (+1
3RD FLOOR (EXISTING CUPOLA)	139 SF	139 SF
TOTAL	18,626 SF	18,759 SF

PROJECT DIRECTORY

OWNER
SAN FRANCISCO REC AND P.
501 STANYAN STREET
SAN FRANCISCO, CA 94117
E: RPDINFO@SFGOV.ORG

TENANT
DIANE WALTON
DOLPHIN CLUB
502 JEFFERSON STREET
SAN FRANCISCO, CA 94109
P: 415.441.9329
E: PRESIDENT@DOLPHINCLUB.ORG

ARCHITECT
MARK THOMAS
MARK THOMAS ARCHITECTS
440 SPEAR STREET
SAN FRANCISCO, CA 94105
P: 415.543.5005 x2
E: MARK@MTARCHITECTS.COM
STRUCTURAL ENGINEER

JOHN YADEGAR
SIMPLENGIENGINEERING
2341 CARLETON STREET
BERKELEY, CA 94704
P: 415.754.3644 x700
E: JYADEGAR@SIMPLENGI.COM





DOLPHIN CLUB

ALTERATIONS & ADDITION

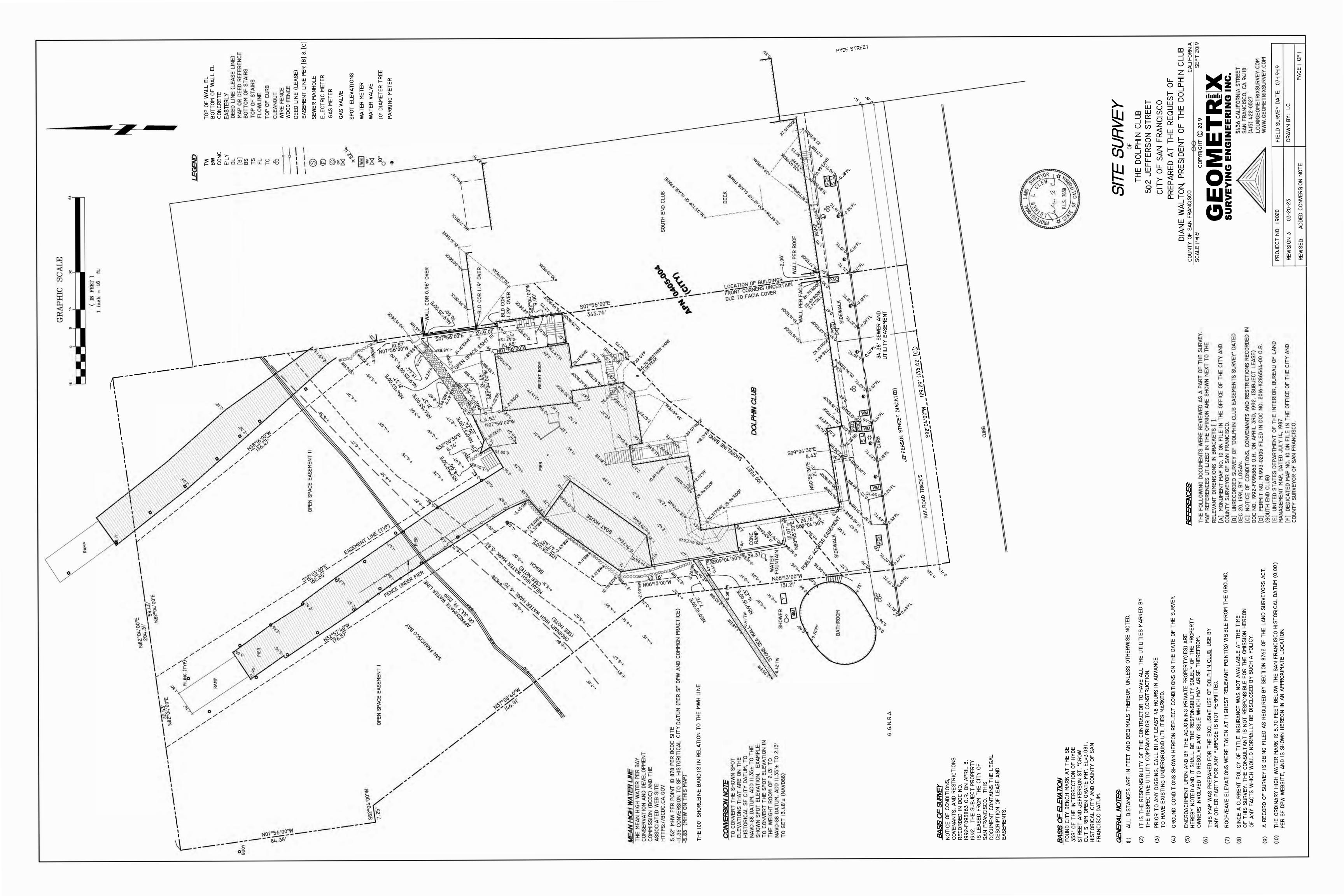
502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY:	
SHEET TITLE:	

COVER SHEET

SHEET NUMBER:



DIVISION 1 - GENERAL CONDITIONS

1.1 SCOPE OF WORK

A. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXTENT NATURE, AND SCOPE OF WORK DESCRIBED IN THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO EXECUTE ALL WORK SHOWN ON THESE DRAWINGS EXCEPT WHERE NOTED AS NOT IN CONTRACT (NIC). HE SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THAT OF ALL OTHER TRADES INCLUDING THOSE OPERATING UNDER SEPARATE CONTRACTS WITH THE LANDLORD AND/OR TENANT. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED.

B. THE DRAWINGS SHALL BE RECOGNIZED AS DIAGRAMMATIC IN NATURE AND NOT COMPLETELY DESCRIPTIVE OF ALL REQUIREMENTS FOR CONSTRUCTION. WHATEVER WORK THAT MAY BE SPECIFIED AND NOT DRAWN OR DRAWN AND NOT SPECIFIED SHALL BE EXECUTED AS FULLY AS IF DESCRIBED IN BOTH THESE WAYS. SHOULD ANY WORKMANSHIP OR MATERIAL BE NECESSARY THAT IS NOT EITHER DIRECTLY OR INDIRECTLY NOTED IN THESE SPECIFICATIONS OR SHOWN ON THE DRAWINGS BUT IS NEVERTHELESS NECESSARY FOR PROPERLY CARRYING OUT THE OBVIOUS INTENTION THEREOF; CONTRACTOR SHALL UNDERSTAND IT TO BE IMPLIED AND SHALL PROVIDE FOR THE SAME AS FULLY AS IF IT WERE PARTICULARLY DESCRIBED OR DELINEATED.

C. THE GENERAL CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS AND VERIFY ALL GOVERNING DIMENSIONS AT THE BUILDING. HE SHALL EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF HIS WORK IS IN ANY WAY DEPENDENT. ANY VARIATIONS OR DISCREPANCIES SHALL BE REPORTED. WITH ALL DUE EXPEDIENCY. TO ARCHITECT PRIOR TO THE FABRICATION OR ERECTION OF THE WORK IN QUESTION.

D. ALL WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES. ALL FEES, TAXES, AND PERMIT APPLICATIONS WITH THE APPROPRIATE GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.

1.2 THESE GENERAL CONDITIONS SHALL APPLY TO ALL WORK SHOWN HEREIN, AND SHALL EXTEND TO ANY CHANGES, EXTRAS, OR ADDITIONS AGREED TO DURING THE COURSE OF WORK.

1.3 THE AIA STANDARD DOCUMENT A201 ENTITLED "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" IS MADE PART OF THE GENERAL CONDITIONS.

1.4 USE OF DRAWINGS:

DO NOT SCALE DRAWINGS, DIMENSIONS SHALL GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH UNLESS OTHERWISE NOTED.

1.5 CONSTRUCTION SCHEDULE:

WITHIN ONE WEEK OF THE AWARD OF THE CONTRACT THE GENERAL CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE TO THE ARCHITECT FOR REVIEW. SCHEDULE SHALL INCLUDE THE ORDER AND ANTICIPATED DELIVERY DATES OF ALL LONG LEAD TIME MATERIALS. CONTRACTOR SHALL UPDATE THE SCHEDULE NO LESS THAN WEEKLY THROUGHOUT THE COURSE OF CONSTRUCTION.

1.6 CONSTRUCTION MEETINGS:

CONTRACTORS SHALL BE RESPONSIBLE FOR KEEPING DETAILED WEEKLY MINUTES OF CONSTRUCTION MEETINGS.

1.7 SITE VISITS:

BIDDERS ARE INSTRUCTED TO VISIT AND INSPECT THE PREMISES PRIOR TO SUBMITTING THEIR PROPOSALS AND TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. NO SUBSEQUENT EXTRAS OR ADDITIONS WILL BE ALLOWED ON ANY CLAIM FOR LACK OF KNOWLEDGE OF CONDITIONS OR CIRCUMSTANCES ABOUT WHICH THE BIDDER COULD HAVE INFORMED HIMSELF.

1.8 LIMITATIONS AND EXCLUSIONS:

BIDDER SHALL MAKE KNOWN TO ARCHITECT ANY LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS TO THE PROJECT DURING THE BID PERIOD OF THE PROJECT. ALL LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS SHALL BE ITEMIZED IN THE BID PROPOSAL, OR THEY WILL BE PRESUMED INCLUDED; IN WHICH CASE NO ADDITIONAL MONIES WILL BE ALLOCATED.

1.9 INSURANCE:

ALL CONTRACTORS INVOLVED IN THIS PROJECT SHALL CARRY PROPERTY DAMAGE AND PUBLIC LIABILITY INSURANCE AS REQUIRED BY GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH STATUTORY REQUIREMENTS FOR DISABILITY AND WORKMEN'S COMPENSATION. CONTRACTORS SHALL COMPLY WITH ALL RULES AND REGULATIONS DICTATED BY THE LANDLORD. INSURANCE SHALL PROTECT LANDLORD, TENANT, ARCHITECT AND ANY OTHER ENTITIES REQUESTED TO BE FREE FROM LIABILITY DUE TO CONTRACTOR'S NEGLIGENCE. A PROPERLY EXECUTED CERTIFICATE OF INSURANCE, AIA DOCUMENT #G705, SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

1.10 SUBMITTALS AND SHOP DRAWINGS:

A. THE GENERAL CONTRACTOR SHALL SUBMIT THREE (3) SAMPLES AND / OR SCHEDULES OF EACH OF THE VARIOUS MATERIALS, HARDWARE, EQUIPMENT, AND FINISHES TO ARCHITECT FOR REVIEW AND COMMENT. SUBMITTALS INCLUDE, BUT ARE NOT LIMITED TO, DOORS, HARDWARE, LIGHTING, PLUMBING, ELECTRICAL, MECHANICAL, FINISHES, AND SPECIALTY EQUIPMENT.

B. THE GENERAL CONTRACTOR SHALL SUBMIT TO ARCHITECT FOR REVIEW AND COMMENT THREE (3) PRINTS OF ALL FABRICATION, ERECTION, OR INSTALLATION SHOP DRAWINGS. SHOP DRAWINGS INCLUDE, BUT ARE NOT LIMITED TO, MILLWORK, STRUCTURAL, LIFE SAFETY, AND HVAC.

C. CONTRACTORS SHALL NOT COMMENCE ANY PORTION OF THE WORK REQUIRING SUBMISSION OF A SHOP DRAWINGS, PRODUCT DATUM, OR SAMPLE UNTIL THE SUBMITTAL HAS BEEN REVIEWED BY THE ARCHITECT AND / OR THE APPROPRIATE CONSULTANT. ARCHITECT SHALL HAVE FIVE (5) BUSINESS DAYS PER REVIEW. INCOMPLETE SUBMITTALS WILL DELAY REVIEW. DOORS, HARDWARE, AND FRAMES ARE CONSIDERED A SINGLE REVIEW PACKAGE.

1.11 SUBSTITUTIONS:

THERE SHALL BE NO SUBSTITUTION OF MATERIALS SPECIFIED BY THE ARCHITECT. WHERE THE TERM "OR EQUAL" IS USED THE ARCHITECT ALONE SHALL DETERMINE EQUALITY BASED UPON INFORMATION SUBMITTED BY THE CONTRACTOR.

1.12 MANUFACTURER'S INSTRUCTIONS

A. UNLESS OTHERWISE SPECIFIED, INSTALLATION OF WORK SHALL COMPLY WITH MANUFACTURER'S PRINTED INSTRUCTIONS AND RECOMMENDATIONS. CONTRACTOR SHALL OBTAIN AND DISTRIBUTE COPIES OF SUCH INSTRUMENTS TO PARTIES INVOLVED IN INSTALLATION; AND MAINTAIN ONE SET OF COMPLETE INSTRUCTIONS AT THE JOBSITE DURING INSTALLATION AND UNTIL COMPLETION.

B. CONTRACTOR SHALL HANDLE, INSTALL, CONNECT, CLEAN, CONDITION, AND ADJUST PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

C. CONTRACTOR SHALL PERFORM WORK IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DO NO OMIT ANY PREPARATORY SET OR INSTALLATION PROCEDURE, UNLESS SPECIFICALLY MODIFIED OR EXEMPTED BY THE CONTRACT DOCUMENTS.

1.13 OVER – STOCK:

GENERAL CONTRACTOR TO CONSULT TENANT AND LANDLORD REGARDING OVER-STOCK MATERIALS FOR FUTURE MAINTENANCE. SUCH ITEMS MAY INCLUDE: CARPET, CARPET ACCESSORIES, DOOR HARDWARE, CEILING TILE, AND PAINT. UNLESS OTHERWISE NOTED, PROVIDE OVER - STOCK AS FOLLOWS: CEILING TILE ONE (1) CASE, CARPET TILE - TWO (2) CASES PER EACH TYPE SPECIFIED, BROADLOOM CARPET - TO BE DETERMINED.

1.14 BUILDING REGULATIONS:

THE GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE BUILDING LANDLORD, AND SHALL COORDINATE THE USE OF ELEVATORS AND LOADING DOCKS PRIOR TO COMMENCEMENT OF WORK WITH

1.15 BUILDING PROTECTION:

GREAT CARE SHALL BE EXERCISED TO ASSURE THAT THE BUILDING AND TENANT AREAS SHALL BE PROTECTED FROM DAMAGE THAT COULD OCCUR BECAUSE OF THIS WORK. CONTRACTORS SHALL PROVIDE PROTECTION FOR EXISTING AREAS AND NEW WORK AREAS. ANY DAMAGE DUE TO THE CONTRACTOR'S WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR' SOLE EXPENSE. CONTRACTOR SHALL PROVIDE DUST PROOF BARRICADES AROUND ALL AREAS OF NEW WORK AS NECESSARY TO PROTECT ADJACENT TENANT AREAS FROM DAMAGE

1.16 CUTTING AND DRILLING:

CUTTING, CHASING, DRILLING OR DEMOLITION OF WALLS, SLABS, ETC. REQUIRING THE USE OF JACK HAMMERS OR OTHER HEAVY HAND OR POWER TOOLS SHALL BE PERFORMED OUTSIDE REGULAR BUSINESS HOURS ON AN OVERTIME BASIS UNLESS THE LANDLORD AND ANY AFFECTED TENANT EXPRESSLY PERMIT IT.

1.17 HAZARDOUS MATERIALS

REPORT ANY HAZARDOUS MATERIALS TO THE LANDLORD AND ARCHITECT IMMEDIATELY.

1.18 CLEAN-UP

THE GENERAL CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR BY THOSE OF OTHER CONTRACTORS UNDER SEPARATE CONTRACT. CONTRACTOR SHALL CONFINE HIS OPERATIONS FOR REMOVAL TO SUCH METHODS AS MAY BE AGREEABLE WITH THE LANDLORD. PREMISES TO BE SWEPT CLEAN ON A DAILY BASIS.

1.19 PUNCH-LIST:

UPON COMPLETION OF THE WORK THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT TO PREPARE A "PUNCH-LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. RELEASE OF FINAL PAYMENT WILL BE CONTINGENT ON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE OWNER-CONTRACTOR AGREEMENT.

1.20 GUARANTEE:

ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, WORKMANSHIP AND MATERIALS FOR A PERIOD OF AT LEAST (1) ONE YEAR FROM DATE OF FINAL ACCEPTANCE AND PAYMENT. ALL DEFECTS OCCURRING IN THE GUARANTEE PERIOD SHALL BE CORRECTED AT NO COST TO THE TENANT

1.21 AS BUILT DRAWINGS:

DURING THE COURSE OF CONSTRUCTION, ACTUAL LOCATIONS OF ALL RUNS OF MECHANICAL AND ELECTRICAL WORK SHALL BE INDICATED TO SCALE IN RED INK ON THE DRAWINGS, INCLUDING CONCEALED DEVIATIONS FROM THE DRAWINGS. UPON COMPLETION OF THE PROJECT, INCLUDING THE PUNCH-LIST, THIS DRAWING SET SHALL BE TRANSFERRED TO ELECTRONIC CAD DRAWINGS. THE CAD DRAWINGS SHALL BE MARKED "AS BUILT SET" AND RETURNED TO ARCHITECT AND TENANT ON COMPACT DISK. THE ARCHITECT SHALL, WITHIN FIVE WORKING DAYS OF THE RECEIPT OF THIS SET, GRANT APPROVAL FOR FINAL PAYMENT TO THE CONTRACTOR OR SHOW REASONABLE CAUSE WHY SUCH APPROVAL IS DENIED.

1.22 SUBSTANTIAL COMPLETION

THE FOLLOWING ARE REQUIRED FOR SUBSTANTIAL COMPLETION:

A. FINAL CLEANING BY A PROFESSIONAL SERVICE

- B. AS-BUILT DRAWINGS ON COMPACT DISK C. A BINDER WITH OPERATION. MAINTENANCE DATA, AND WARRANTIES FOR ALL
- INSTALLED SYSTEMS.
- D. SPECIFIED QUANTITIES OF MAINTENANCE AND OVER STOCK MATERIALS E. HVAC BALANCE REPORT

DIVISION 2 - DEMOLITION

2.1 DESCRIPTION OF WORK

PERFORM ALL WORK OF A DEMOLITION NATURE THAT MAY BE REQUIRED OR NECESSARY TO A FULL AND COMPLETE EXECUTION OF THE WORK, WHETHER OR NOT SHOWN OR SPECIFIED. EXACT EXTENT OF DEMOLITION MAY NOT BE FULLY INDICATED BY THE DRAWINGS.

2.2 SALVAGED COMPONENTS:

A. WHERE SHOWN ON DRAWINGS, SALVAGE CONSTRUCTION MATERIALS AND EQUIPMENT (E.G., LIGHT FIXTURES, DOORS, FRAMES, HARDWARE, ETC.) SUITABLE FOR REUSE. SALVAGED COMPONENTS SHALL BE CLEANED AND REPAIRED BEFORE REUSING.

B. COORDINATE SALVAGE AND STORAGE OF BUILDING STANDARD CONSTRUCTION MATERIALS AND EQUIPMENT NOT NECESSARY FOR NEW TENANT CONSTRUCTION WITH LANDLORD.

2.3 PATCH AND REPAIR:

A. EXISTING CONSTRUCTION WHERE AFFECTED BY DEMOLITION WORK SHALL BE PROPERLY REMEMBERED, ALIGNED, AND REPAIRED TO LEAVE NO EVIDENCE OF REMODELING WORK. AREAS AFFECTED OUTSIDE OF TENANT SPACE BY DEMOLITION AND NEW CONSTRUCTION TO BE REPAIRED SO AS TO LEAVE NO EVIDENCE OF DAMAGE. INTEGRITY OF NON-TENANT SPACE TO BE MAINTAINED.

B. GENERAL CONTRACTOR SHALL REPAIR ANY FIRE PROOFING DAMAGED DURING THE COURSE OF DEMOLITION OR CONSTRUCTION SO AS TO MAINTAIN THE ORIGINAL FIRE RATING.

DIVISION 3 - CONCRETE

A. GENERAL CONTRACTOR TO FURNISH AND INSTALL ALL CONCRETE WORK IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE" (ACI) BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE STANDARD 318-83.

B. CONTRACTOR TO CHECK AND LEVEL CONCRETE FLOOR SURFACE TO A TOLERANCE NOT EXCEEDING 1/4" IN A 10' - 0" DIAMETER WHEN MEASURED WITH A 10' - 0" STRAIGHT EDGE. CONTRACTOR SHALL PATCH AND REPAIR IMPERFECTIONS IN EXISTING CONCRETE SLAB AT ARCHITECT'S DISCRETION OR AS REQUIRED PRIOR TO INSTALLING FLOOR FINISH PER MANUFACTURER'S RECOMMENDATIONS. FLOOR SHALL BE LEVEL TO 1/4" IN 10' - 0" DIAMETER ON A NON-CUMULATIVE BASIS ON ALL AREAS TO RECEIVE STONE OR TILE FLOORING.

DIVISION 6 - WOODWORK AND CABINETRY

6.1 CARPENTRY:

A. GENERAL CONTRACTOR TO FURNISH AND INSTALL ALL WOOD BLOCKING AND OTHER REINFORCING WHERE INDICATED ON THE DRAWINGS OR WHERE REQUIRED FOR ADEQUATE SUPPORT OF NEW WORK.

B. ALL WOOD BLOCKING SHALL BE STAMPED "FIRE-RETARDANT" TREATED IN ACCORDANCE WITH GOVERNING ORDINANCES AND BUILDING CODES.

C. ALL RAISED PLATFORMS MUST BE CONSTRUCTED FROM NON- COMBUSTABLE MATERIALS.

6.2 ARCHITECTURAL WOODWORK AND CABINETRY:

A. THIS CONTRACTOR TO FURNISH AND INSTALL ALL CUSTOM ARCHITECTURAL WOODWORK INCLUDING, BUT NOT LIMITED TO:

- 1. STANDING OR RUNNING TRIM
- 2. WOOD CABINETS AND HARDWARE
- 3. DOORS AND HARDWARE
- 4. WOOD FRAMES 5. SHELVING AND HARDWARE

B. QUALITY AND WORKMANSHIP: ALL MATERIALS AND WORKMANSHIP SHALL BE IN STRICT ACCORDANCE WITH THE "ARCHITECTURAL WOODWORK INSTITUTE" (AWI) "PREMIUM GRADE STANDARDS". REFER TO 9.6 FOR FINISH STANDARDS FOR SHOP PAINTED DOORS.

C. MATERIALS AND FINISHES:

1. MATERIALS AND FINISHES SHALL BE SPECIFIED ON THE DRAWINGS SAMPLES SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AS SPECIFIED IN DIVISION 1 OF THESE SPECIFICATIONS.

2. WOOD VENEERS TO RECEIVE TRANSPARENT FINISH TO BE PLAIN SLICED AND

BOOK AND END MATCHED, UNLESS OTHERWISE NOTED. 3. MELAMINE COLOR, WHERE SPECIFIED, SHALL BE WHITE AT PLASTIC LAMINATE MILLWORK AND BLACK AT WOOD VENEER MILLWORK, UNLESS OTHERWISE NOTED.

4. PROVIDE GROMMETS IN COUNTERTOPS ABOVE EACH WALL MOUNTED OUTLET. GROMMETS TO BE MOCKETT & COMPANY SG SERIES, 1 3/4" HOLE, COLOR BLACK.

5. MILLWORK CABINETS CONSTRUCTION TO BE FLUSH OVERLAY TYPE WITH EUROPEAN (INVISIBLE) SELF - CLOSING , 170 DEGREE OPENING, HEAVY - DUTY HINGES AND 100 POUND RATED, FULL EXTENSION SIDE MOUNTED DRAWER SLIDES, UNLESS OTHERWISE NOTED. JOINTS BETWEEN DOORS AND DRAWERS TO BE 3/32" MAXIMUM WIDTH AND CONSISTENT THROUGHOUT. 6. SCRIBE COUNTERTOPS AN D SPLASHES TO ADJACENT SURFACES

7. PROVIDE 1/2" X 1/2" REVEAL WHERE CABINETS MEET ANOTHER SURFACE. REVEAL COLOR TO MATCH CABINET, UON. 8. MAXIMUM UNSUPPORTED CABINET SHELF WIDTH TO BE 3'-0".

D. SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR, ARCHITECT'S REVIEW AS SPECIFIED IN DIVISION 1 OF THESE SPECIFICATIONS. **D.A. CHECKLIST** (p. 1 of 2): The address of the project is: ____502 JEFFERSON STREET

For ALL tenant improvement projects in commercial use spaces, both pages of this checklist are required to be reproduced on the plan set and signed.

1. The proposed use of the project is RECREATION CLUB (e.g. Retail, Office, Restaurant, etc.)

2. Describe the area of remodel, including which floor: FLOORS 01, 02, 03

3. The construction cost of this project excluding disabled access upgrades to the path of travel is _____, which is; (check one) 🖄 more than / 🔲 less than the 2020 Valuation Threshold of **\$**195,358.00

4. Is this a City project and/or does it receive any form *of* public funding? *Check one:* □ Yes / ☒ No Note: If Yes, then see Step 3 on the Instructions page of the Disabled Access Upgrade Compliance Checklist package for additional forms required.

Conditions below must be fully documented by accompanying drawings

5. Read **A** through **D** below carefully and check the most applicable boxes. Check one box only:

☐ A: All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required: Fill out page 2 of D.A. Checklist

B: Project Adjusted cost of construction is greater than the current valuation threshold: Fill out and attach page 2 of D.A. Checklist and any other required forms to plans

☐ C: Project adjusted cost of construction is less than or equal to the current valuation threshold: List items that will be upgraded on Form C. All other items shall be checked on page 2 of the D.A. Checklist in the "Not required by code" column.

☐ D: Proposed project consists entirely of Barrier removal: Fill out and attach Barrier removal form to Plans

☐ E: <u>Proposed project is</u> minor revision to previously approved permit drawings only. (Note: This shall NOT be used for new or additional work) Provide previously approved permit application here: . Description of revision:

CBC chapter 2 section 202 Definitions:

Technically Infeasible. An alteration of a building or a facility, that has little likelihood of being accomplished because the existing structural conditions require the removal or alteration of a load-bearing member that is an essential part of the structural frame, or because other existing physical or site constraints prohibit modification or addition of elements, spaces or features that are in full and strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.

Unreasonable Hardship. When the enforcing agency finds that compliance with the building standard would make the specific work of the project affected by the building standard infeasible, based on an overall evaluation of the following factors:

- The cost of providing access.
- The cost of all construction contemplated.
- The impact of proposed improvements on financial feasibility of the project.
- 4. The nature of the accessibility which would be gained or lost.

5. The nature of the use of the facility under construction and its availability to persons with disabilities The details of any Technical Infeasibility or Unreasonable Hardship shall be recorded and entered into the files of the

Department. All Unreasonable Hardships shall be ratified by the AAC.

D.A. CHECKLIST (p. 2 of 2): The address of the project is : 502 JEFFERSON STREET

Check all applicable boxes and specify where on the drawings the details are shown:

~6~

Note: upgrades below are listed in priority based on CBC-11B-202.4, exception 8	Existing Fully Complying	Will be Up-graded to Full Compliance	Equivalent facilitation will provide full access	Compliance is Technically infeasible	Approved in compliance with immediately preceding code	Not required by Code (and/or none existing)	Non-compliant request URH Must be ratified by AAC	Location of detail(s)-include detail no. & drawing sheet (<u>do not leave this part blank!</u>). Also clarification comments can be written here.
A.One accessible entrance including: approach walk, vertical access, platform (landings), door / gate and hardware for door/gate	×							
B.An accessible route to the area of remodel including:								
Parking/access aisles and curb ramps						×		
Curb ramps and walks	×							REF 1
Corridors, hallways, floors	×							
Ramps elevators, lifts	凶							
C. At least one accessible restroom for each sex or a single unisex restroom_serving the area of remodel.		ΔX						A5.3
D. Accessible public pay phone.						×		
E. Accessible drinking fountains.						凶		
F. Additional accessible elements such as parking, stairways, storage, alarms and signage.	×							A5.3
See the requirements for additional forms listed below	1.	2.	3.	4.	5.	6.	7.	

No additional forms required

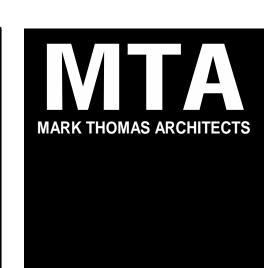
2. No additional forms required

3. Fill out Request for Approval of Equivalent Facilitation form for each item checked and attach to plan.

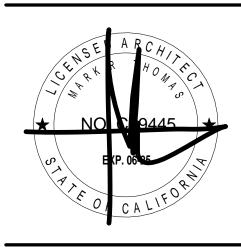
4. Fill out Request for Approval of Technical Infeasibility form for each item checked and attach to plans. 5. Provide details from a set of City approved reference drawings, provide its permit application number and list reference drawing number on plans.

6. No additional forms required

7. Fill out Request for an Unreasonable Hardship form for each item checked and attach to plan. All UHR must be ratified by the Access Appeals Commission (see UHR form for details)



440 SPEAR STREET SAN FRANCISCO. CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

		_

DRAWN BY: SHEET TITLE:

GENERAL NOTES & D.A. CHECKLIST

DIVISION 8 - DOOR, WINDOWS AND GLASS:

0.4

A. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL DOORS, FRAMES AND HARDWARE WHERE SPECIFIED AND DETAILED ON THE DRAWINGS. NEW MATERIALS AND INSTALLATION OF SAME SHALL MATCH EXISTING WORK EXCEPT WHERE OTHERWISE NOTED.

B. HARDWARE SHALL MATCH EXISTING EXCEPT WHERE SPECIFIED OTHERWISE ON DRAWINGS. CONTRACTOR TO SUBMIT A FINISH HARDWARE SCHEDULE FOR ARCHITECT'S REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS.

C. PROVIDE 1/4" MAXIMUM UNDERCUT AT ALL NEW DOORS.

8.2 GLASS AND BORROWED LIGHT PARTITIONS:

A. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL GLASS WORK WITH FRAMES AND HARDWARE AS SPECIFIED AND DETAILED ON THE DRAWINGS. GLASS WORK EXCEPT WHERE DETAILED OR NOTED OTHERWISE SHALL MATCH EXISTING WORK.

B. ALL GLASS WITHIN 12" OF A DOOR, IN A DOOR, OR WITHIN 18" OF THE FINISHED FLOOR SHALL BE TEMPERED OR LAMINATED SAFETY GLASS AND LABELED AS SUCH CLEARLY.

C. SUBMIT SHOP DRAWINGS OF ALL GLASS FRAMING AND GLAZING WORK ALONG WITH MATERIAL SAMPLES TO ARCHITECT FOR REVIEW PRIOR TO PROCEEDING WITH FABRICATION WORK.

D. INSTALL TEMPERED GLASS WITH MANUFACTURER'S SEAL LOCATED AT THE LOWER CORNER OF THE LITE. CONCEAL TONG MARKS, IF ANY.

E. ALL FIRE RATED SAFETY GLAZING SHALL BE "FIRE LITE" FIRE RATED CERAMIC GLASS AS MANUFACTURED BY TECHNICAL GLASS PRODUCTS, UNLESS OTHERWISE NOTED. REFER TO DRAWINGS FOR GLASS LITE FIRE RATING.

F. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD. LOCATIONS SPECIFIED IN CBC SECTION 2406.4.1 THROUGH 2406.4.7 SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING MATERIALS.

DIVISION 9 - FINISHES

9.1 DRYWALL PARTITIONS:

A. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL NEW PARTITION, SOFFIT, AND CEILING CONSTRUCTION WHERE INDICATED ON THE DRAWINGS. NEW CONSTRUCTION SHALL MATCH THAT OF EXISTING ADJACENT CONDITIONS, IF APPLICABLE, EXCEPT WHERE NOTED OTHERWISE ON THE DRAWINGS.

B. ALL NEW PARTITION CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS, AND SHALL CONFORM TO BUILDING STANDARD SPECIFICATIONS WHERE APPLICABLE.

C. THE GENERAL CONTRACTOR SHALL LOCATE AND DESIGNATE ALL NEW AND REMAINING PARTITIONS AS NOTED ON THE DRAWINGS FOR REVIEW BY ARCHITECT ON SITE PRIOR TO COMMENCEMENT OF DEMOLITION OR NEW WORK.

D. PARTITIONS SHALL BE PLUMB AND DIMENSIONS SHALL BE WITHIN 1/8" IN 20' - 0" ALONG LENGTH OF PARTITIONS. CONTRACTOR SHALL NOT ADJUST DIMENSIONS MARKED "CLEAR" OR "HOLD" WITHOUT REVIEW BY ARCHITECT.

E. PROVIDE WATER RESISTANT GYPSUM WALL BOARD AT TOILET ROOM PARTITIONS AND OTHER WET AREAS. PROVIDE TYPE "X" GYPSUM BOARD AT FIRE - RATED ASSEMBLIES.

F. INSTALL GYPSUM WALL BOARD WITH LONG DIMENSIONS PERPENDICULAR TO FRAMING.

G. NEW AND EXISTING GYPSUM WALL BOARD SHALL BE TAPED AND SANDED WITH NO VISIBLE JOINTS. SURFACES ARE TO BE FREE OF IMPERFECTIONS AND SHALL HAVE SMOOTH LEVEL 4 SURFACE READY TO RECEIVE SCHEDULED FINISH. WHERE DEEP TONE PAINT IS SCHEDULED, SKIM COAT FULL SURFACE OF SUBSTRATE TO LEVEL 5 FINISH. REFERENCE USG STANDARDS.

H. ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS TO BE PROPERLY FIRE STOPPED PER CODE.

9.2 CEILINGS SYSTEMS:

A. PATCH AND REPAIR: GENERAL CONTRACTOR TO PATCH AND REPAIR EXISTING CEILING SYSTEM WHERE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION SO AS TO LEAVE NO EVIDENCE OF REMODELING WORK.

B. GYPSUM CEILINGS:

1. CEILING SUPPORT SYSTEM SHALL LIMIT DEFLECTION OF FINISHED CEILING TO LESS THAN 1/260 OF SPAN.

2. ATTACHMENT DEVICES SHALL BE AN APPROVED TYPE, CAPABLE OF CARRYING FIVE TIMES THE CEILING LOAD OR 100 POUNDS, WHICHEVER IS GREATER.

3. HANGERS SHALL BE PLUMB OR COUNTERSPLAYED AND SHALL NOT PRESS AGAINST PIPE OR DUCT INSULATION.

4. CARRYING CHANNELS AND MAIN RUNNERS SHALL BE LEVEL TO WITHIN 1/8 INCHES IN 10'-0".

5. SUSPENSION SYSTEM SHALL NOT BE VISIBLE FROM EYE LEVEL OF A PERSON STANDING ON THE FLOOR.

C. LAY IN PANEL CEILINGS:

1. SPACE MAIN RUNNERS 4'-0" ON CENTER. LEVEL AND SQUARE TO ADJACENT WALLS

2. SPACE CROSS RUNNERS AT 2'-0" ON CENTER

3. PROVIDE COMPRESSION STRUTS AT SEISMIC WIRE LOCATIONS. COMPRESSION STRUTS SHALL NOT REPLACE HANGER WIRES.

9.3 RESILIENT BASE:

A. RESILIENT BASE TO BE STRAIGHT AT CARPETING AND COVE AT HARD SURFACE FLOORING.

B. RESILIENT BASE TO BE INSTALLED IN CONTINUOUS RUNS FROM 120'-0" ROLLS. NO JOINTS SHALL BE WITHIN 12" OF A CORNER.

9.4 CARPET TILE:

A. STORE CARPET TILE AT LEAST 3 DAYS PRIOR TO INSTALLATION IN AREA OF INSTALLATION TO ACHIEVE TEMPERATURE STABILITY.

1. FOLLOW CRI 104 STANDARD FOR ROOM TEMPERATURE AND HUMIDITY CONDITIONS.

2. MAINTAIN RECOMMENDED CONDITIONS AT LEAST 72 HOURS PRIOR TO INSTALLATION AND AFTER COMPLETION.

3. DO NOT STACK CARPET TILE BOXES MORE THAN 6 CARTONS HIGH TO AVOID POTENTIAL CRUSHING.

B. SEQUENCE CARPET TILE INSTALLATION WITH OTHER WORK TO MINIMIZE POSSIBILITY OF DAMAGE AND SOILING DURING REMAINDER OF CONSTRUCTION PERIOD.

C. CONSISTENCY OF COLOR SHALL BE SUCH THAT ANY TILE SHALL BE INTERCHANGEABLE WITH ANY OTHER TILE, WITHIN A DYE LOT, WITH NO VISUAL DIFFERENCE.

D. ADHESIVES, IF REQUIRED, TO BE PER MANUFACTURER'S GUIDELINES.

E. SUBFLOOR MUST BE CLEANED, FREE OF DUST, DIRT, GREASE, WAX, PAINT, CURING OR PARTING AGENTS, OR ANY OTHER SUBSTANCE THAT MAY AFFECT THE BOND. CONCRETE FLOORS MUST BE LEVEL, FULLY CURED, FREE OF EXCESSIVE MOISTURE EMISSIONS AND ALKALI. CONCRETE FLOORS WITH A MOISTURE EMISSION RATE EXCEEDING 3.0 lbs / 1,000 SQ. FT. IN A 24 HOUR PERIOD REQUIRE CORRECTIVE MEASURES.

9.5 BROADLOOM CARPET:

A. FACE YARNS SHALL BE OF SAME DYE BATCH, AND FINISH MATERIAL SHALL BE OF ONE MILL RUN.

B. WHERE SPECIFIED PROVIDE STANDARD CUSHION: NOVA "CONTRACT" BY LEGGETT & PLATT, OR EQUAL. WEIGHT: 6.5 POUNDS PER CUBIC FOOT. THICKNESS: 5/16".

C. TACKLESS CARPET STRIPPING SHALL BE WATER RESISTANT PLYWOOD STRIPS, 3/8" OR 9/32" THICK, AS REQUIRED TO MATCH CUSHION / CARPET THICKNESS, WITH ANGULAR PINS PROTRUDING FROM TOP FOR GRIPPING AND HOLDING STRETCHED CARPET.

D. SUBFLOOR MUST BE CLEANED, FREE OF DUST, DIRT, GREASE, WAX, PAINT, CURING OR PARTING AGENTS, OR ANY OTHER SUBSTANCE THAT MAY AFFECT THE BOND. CONCRETE FLOORS MUST BE LEVEL, FULLY CURED, FREE OF EXCESSIVE MOISTURE EMISSIONS AND ALKALI. CONCRETE FLOORS WITH A MOISTURE EMISSION RATE EXCEEDING 3.0 lbs / 1,000 SQ. FT. IN A 24 HOUR PERIOD REQUIRE CORRECTIVE MEASURES.

9.6 PAINTING AND DECORATING

A. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND LABOR AS NECESSARY TO PROVIDE PAINTING AND DECORATING WORK AS SPECIFIED AND INDICATED ON THE DRAWINGS.

B. ALL WALLS, DRYWALL CEILINGS, DOORS, FRAMES AND WOODWORK SHALL BE FREE FROM DEFECTS AND BE FILLED AND SANDED SMOOTH PRIOR TO RECEIVING PAINTED AND/OR NATURAL FINISHES. NEW WORK SHALL BE PRIMED AND PAINTED WITH NOT LESS THAN ONE PRIME AND TWO FINISH COATS. PREVIOUSLY FINISHED WORK SHALL RECEIVE NOT LESS THAN TWO FINISH COATS.

C. PAINTING SYSTEM NEW CONSTRUCTION:

1. DRYWALL - 1ST COAT - BENJAMIN MOORE (BM) LATEX QUICK DRY PRIME SEALER II (201).

a. DRYWALL CEILINGS 2ND & 3RD COAT - "BM" REGAL WALL SATIN LATEX FLAT (215). REFER TO FINISH PLAN FOR PAINT COLORS.

b. DRYWALL WALLS 2ND & 3RD COAT - "BM" REGAL AQUAPEARL LATEX (310) OR EGGSHELL. REFER TO FINISH PLAN FOR PAINT COLORS.

c. DRYWALL WALLS 2ND & 3RD COAT IN BATHROOMS,
KITCHENS, JANITOR CLOSETS, ETC. SEMI GLOSS FINISH. REFER TO
FINISH PLAN FOR PAINT COLORS.

d. OTHER FINISH COATS AS NOTED ON PLAN.

e. EXISTING CONSTRUCTION ONLY, 2ND & 3RD COAT AS REQUIRED, OR NOTED.

2. MISCELLANEOUS WOOD TRIM - 1ST COAT - BENJAMIN MOORE ALKYD ENAMEL UNDERBODY (217).

a. 2ND & 3RD COAT - AS NOTED.

b. EXISTING CONSTRUCTION ONLY, 2ND & 3RD COAT AS REQUIRED, OR NOTED.

3. MISCELLANEOUS METAL TRIM - 1ST COAT - BENJAMIN MOORE IRONCLAD RETARDO RUST INHIBITIVE PAINT (163).

a. 2ND & 3RD COAT - "BM" SATIN IMPERVO (235) OR ALKYD DULAMEL (207) FOR SEMI-GLOSS FINISH.

b. OTHER FINISH COATS AS NOTED ON PLAN.

c. EXISTING CONSTRUCTION ONLY, 2ND & 3RD COAT AS REQUIRED.

NOTE: IF OTHER PAINT MANUFACTURER IS USED, FOLLOW SAME PRODUCT SPECIFICATIONS AS SHOWN FOR "BM".

D. UNLESS OTHERWISE NOTED, PREPARE AND PAINT ALL EXPOSED ITEMS INCLUDING COLUMNS, PANEL BOXES, CONDUIT, SURFACE RACEWAYS, DRAPERY POCKETS, ETC. NOT PRE-FINISHED TO MATCH ADJACENT PARTITION OR CEILING COLOR.

E. FINISH VERTICAL EDGES OF PAINT GRADE DOORS TO MATCH FACES. SEAL TOP AND BOTTOM EDGES.

F. PAINT ASTRAGALS AT FIRE RATED DOORS TO MATCH DOOR.

G. ALL SHOP PAINTED WOOD DOORS TO BE PAINTED TO AWI-OP4 SPECIFICATION FOR SOLID COLORS AND AWI TO VIF-4 FOR CLEAR FINISHES.

9.7 WALL COVERING:

INSTALL WALL COVERING USING MANUFACTURER'S RECOMMENDED ADHESIVE. WALL COVERING SHALL BE CONTINUOUS BEHIND COUNTERTOPS, CHAIR RAILS, ETC. SEAMS SHALL BE TIGHT, NEAT, AND NOT LESS THAN 12" FROM CORNERS. DO NOT END WALL COVERING AT AN OUTSIDE CORNER.

9.8 RESILIENT FLOORING:

THE CONTRACTOR SHALL WAX ALL NEW AND, WHERE OCCURS, EXISTING RESILIENT FLOORS, UON.

DIVISION 10 - SPECIALTIES

(NOT USED)

DIVISION 11 – EQUIPMENT

PROVIDE ELECTRICAL AND WATER SYSTEMS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION OF ALL APPLIANCES AS SHOWN OR SPECIFIED ON THE DRAWINGS.

ABV

ACT

ADJ

ADA

AFF

ALUM

ARCH

BATT

BLDG

CATV

CCTV

CFM

CL

CLG

CLR

CONF

CTR

DATA

DEMO

DF

DIA

DIM

DWG

(E)

ELEC

ELEV

EPO

EQUIP

FEC

FIN

FLR

FT

GA

GWB

GYP

HDWR

HT

НΟ

HVAC

INFO

LAV

LBS

MAX

MDF

MECH

MFR

MISC

MIN

MTL

PG

P-LAM

PLYWD

PSF

RCP

REP

RM

ROM

SF

SGL

SHT

SIM

SQ

T&G

TBD

TELE

TYP

UON

VCT

W/O

WD

SPEC

REQD

FLUOR

FURN

EQ

ΑV

BD

APPROX

ABOVE

ADJACENT

ALUMINUM

APPROXIMATE

AUDIO VISUAL

BOARD

BUILDING

CENTER LINE

CONFERENCE

CEILING

CLEAR

CENTER

DEMOLISH

DIAMETER

DIMENSION

DOOR RELEASE

DISHWASHER

DRAWING

EXISTING

ELECTRICAL

ELEVATION

EQUIPMENT

FINISHED FACE

FLUORESCENT

FURNITURE

EACH

EQUAL

FINISH

FLOOR

FEET

GAUGE

GYPSUM

HEIGHT

HARDWARE

HOLLOW METAL

INFORMATION

LAVATORY

POUNDS

MAXIMUM

MINIMUM

METAL

MECHANICAL

MANUFACTURER

MISCELLANEOUS

NOT APPLICABLE

ON CENTER

PAINT GRADE

RELOCATED

REQUIRED

ROOM

SINGLE

SHEET

SIMILAR

SQUARE

TYPICAL

WITHOUT

WITH

WOOD

SPECIFICATION

PLYWOOD

PLASTIC LAMINATE

REPRESENTATIVE

POUNDS PER SQUARE FOOT

REFLECTED CEILING PLAN

STATIC DISSIPATIVE TILE

SQUARE FOOT / FEET

TONGUE AND GROVE

TELECOMMUNICATIONS

UNDERWRITERS LABORATORIES

UNLESS OTHERWISE NOTED

VINYL COMPOSITION TILE

VERIFY IN FIELD

TO BE DETERMINED

ROUGH ORDER OF MAGNITUDE

NOT IN CONTRACT

ARCHITECTURAL

ACOUSTICAL CEILING TILE

ABOVE FINISH FLOOR

INSULATION BATTING

CABLE TELEVISION

CLOSED CIRCUIT TELEVISION

CUBIC FEET PER MINUTE

CONCRETE MASONRY UNIT

DATA COMMUNICATIONS

DEMOLISH / DEMOLITION

EMERGENCY POWER OFF

FIRE EXTINGUISHER CABINET

GENERAL CONTRACTOR

GYPSUM WALL BOARD

GROUND FAULT INTERRUPT

ELECTROMAGNETIC HOLD OPEN

MEDIUM DENSITY FIBER BOARD

HEATING, VENTILATION, AND AIR CONDITIONING

DRINKING FOUNTAIN

AMERICANS WITH DISABILITIES ACT

DIVISION 12 – FURNISHINGS

A. FURNITURE IS BY TENANT UNLESS OTHERWISE NOTED. REFER TO POWER AND SIGNAL PLAN FOR ELECTRICAL REQUIREMENTS.

B. CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE TENANT'S FURNITURE VENDOR TO INCLUDE FLOOR CORE LOCATIONS, BASE POWER. AND DATA IN FEED LOCATIONS.

DIVISION 13 - SPECIAL CONSTRUCTION

(NOT USED)

DIVISION 14 - CONVEYING SYSTEM

(NOT USED)

DIVISION 15 - MECHANICAL

15.1 SCOPE OF WORK (DESIGN BUILD)

CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND ENGINEERING DESIGN SERVICES REQUIRED TO PROVIDE A COMPLETE AND OPERATIONAL HEATING, AIR CONDITIONING, VENTILATION, PLUMBING, FIRE PROTECTION, AND LIFE SAFETY SYSTEM. CONTRACTOR SHALL VISIT THE PROJECT SITE TO DETERMINE THE EXACT LOCATIONS AND ELEVATIONS OF EXISTING DUCTWORK, PIPING AND FIRE PROTECTION EQUIPMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING WORK AS NECESSARY TO ACCOMMODATE NEW WORK.

15.2 ENGINEERING DESIGN DOCUMENTS

CONTRACTOR SHALL PREPARE OR CAUSE TO HAVE PREPARED A COMPLETE SET OF MECHANICAL AND PLUMBING ENGINEERING DRAWINGS AND SPECIFICATIONS. CONTRACTORS SHALL SUBMIT DRAWINGS AND SPECIFICATIONS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WITH NEW WORK. CONTRACTOR SHALL PROVIDE WET STAMPED AND SIGNED DRAWINGS FOR BUILDING DEPARTMENT PERMIT SUBMISSION.

15.3 ORDINANCES, REGULATIONS AND BUILDING CODES

ALL WORK SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE ORDINANCES, REGULATIONS AND BUILDING CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO PERFORM THIS WORK.

DIVISION 16 - ELECTRICAL

16.1 SCOPE OF WORK (DESIGN BUILD)

CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND ENGINEERING DESIGN SERVICES REQUIRED TO PROVIDE A COMPLETE OPERATIONAL ELECTRICAL SYSTEM. CONTRACTOR SHALL VISIT THE PROJECT SITE AND VERIFY ALL ELECTRICAL CONDITIONS TO DETERMINE THE EXTENT OF NEW WORK AND DEMOLITION INVOLVED. CONTRACTOR SHALL REMOVE AND TERMINATE ALL EXISTING ELECTRICAL, TELEPHONE AND OTHER DEVISES NOT OTHERWISE INDICATED TO REMAIN. (REFER TO ENGINEER'S DOCUMENTS, IF APPLICABLE.)

16.2 ENGINEERING DESIGN DOCUMENTS

CONTRACTOR SHALL PREPARE OR CAUSE TO HAVE PREPARED A COMPLETE SET OF ELECTRICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. CONTRACTORS SHALL SUBMIT DRAWINGS AND SPECIFICATIONS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WITH NEW WORK. CONTRACTOR SHALL PROVIDE WET STAMPED AND SIGNED DRAWINGS FOR BUILDING DEPARTMENT PERMIT SUBMISSION.

16.3 ORDINANCE, REGULATIONS & BUILDING CODES

ALL WORK SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE ORDINANCES, REGULATIONS AND BUILDING CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO PERFORM THIS WORK.

16.5 TELEPHONE/DATA SYSTEMS COORDINATION

CONTRACTOR SHALL COORDINATE HIS WORK WITH THE TENANT'S TELEPHONE AND COMMUNICATIONS VENDOR PRIOR TO COMMENCING WITH NEW WORK.

MARK THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

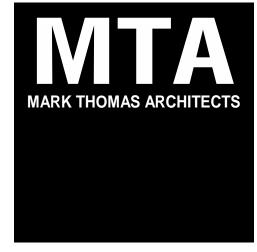
DRAWN BY:

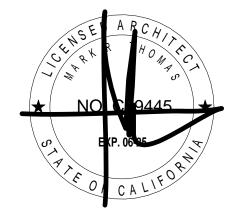
SHEET TITLE:

GENERAL
NOTES &
ABBREVIATIONS

SHEET NUMBER:

СО	NSTRUCTION SYMBOLS					
		1 EQUIPMENT FIXTURE TAG	CHANGE IN ELEVATION LEVEL	WALL J-BOX - CARD READER	MISC. SYMBOLS	- SWITCHING AND CONTROLS
NAME 00000 150 SF	ROOM TAG	GRAIN DIRECTION	SD SMOKE DETECTOR	WALL J-BOX - EMERGENCY DOOR RELEASE	©C)	DAYLIGHT CONTROL - AUTO (CEILING MOUNTED)
	KEYNOTE REFERENCE	REFLECTED CEILING SYMBOLS	● SPRINKLER	WALL J-BOX - EMERGENCY POWER OFF	(C)	OCCUPANCY SENSOR (CEILING MOUNTED)
DET # SHT #	DETAIL REFERENCE	REFLECTED CEILING STIVIDOLS	SP SPEAKER	WALL J-BOX - FM 200	©C	OCCUPANCY SENSOR (WALL MOUNTED)
DET# SHT#	ELEVATION REFERENCE	EXIT SIGN - WALL MOUNT	M MICROPHONE	WALL J-BOX - HOLD OPEN	©C	OCCUPANCY SENSOR - DIMMING (WALL MOUNTED
	REVISION DELTA	EXIT SIGN - DOUBLE - CEILING MOUNT	WIRELESS ACCESS POINT	CL CLOCK TYPE OUTLET	Ş	SWITCH - SINGLE
	HATCHED AREA NOT IN CONTRACT (NIC)	EXIT SIGN - DOUBLE WITH ARROWS - CEILING MOUNT	STROBE (CEILING MOUNTED)	GFI INDICATES GROUND FAULT INTERRUPT DEVICE	\$\$	SWITCH - DOUBLE
<u>(000</u> >	DOOR TAG	EXIT SIGN - SINGLE WITH ARROW - CEILING MOUNT	STROBE (WALL MOUNTED)	42" INDICATES HEIGHT OF DEVICE AFF	\$\$\$	SWITCH - TRIPLE
XX	WALL TAG	O DOWNLIGHT - ROUND	DOWED CICNAL CYMDOLC	(CLG) INDICATES ABOVE CEILING DEVICE	\$\$\$\$	SWITCH - QUAD
\$\hat{x}\$	GLAZING TAG	□ DOWNLIGHT - SQUARE	POWER-SIGNAL SYMBOLS WALL SYMBOLS (*) DENOTES TIED TO OCCUPANCY SENSOR	ELECTRICAL PANEL	\$\$\$\$\$	SWITCH - QUINTUPLE
	NEW MILLWORK		C/U WALL DUPLEX OUTLET (1) CONTROLLED, (1) UNCONTROLLED	FLOOR SYMBOLS - ABOVE SLAB SYMBOLS	3 \$	SWITCH - THREE WAY
	ALIGN	₩ WALL WASHER - SQUARE	c WALL DUPLEX OUTLET - CONTROLLED*	J FLOOR J-BOX - POWER 'DOG HOUSE'	D Ş	SWITCH - DIMMER
3' - 0"	DIMENSION		C WALL OUTLET - CONTROLLED* QUAD	C/U FLOOR J-BOX - POWER 'DOG HOUSE' 1/2 CIRCUITS CONTROLLED + 1/2 CIRCUITS UNCONTROLLED	GE Ş	SWITCH - GRAPHIC EYE
~	CHANGE IN ELEVATION LEVEL	PENDANT LARGE	C/U WALL OUTLET - QUAD (2) CONTROLLED*, (2) UNCONTROLLED	FLOOR J-BOX - TELE/DATA 'DOG HOUSE'	DISP \$	SWITCH - DISPOSAL
		WALL SCONCE	USB WALL OUTLET - USB	FLOOR J-BOX - AUDIO VISUAL 'DOG HOUSE'	a Ş	SWITCH - CIRCUIT ASSIGNMENT
	NEW CONSTRUCTION	LINEAR UNDER-CABINET LIGHT FIXTURE	♥ WALL DUPLEX DEDICATED OUTLET	FLOOR J-BOX - CABLE TV'DOG HOUSE'	T-STAT	THERMOSTAT
		HVAC AIR RETURN	WALL DUPLEX DEDICATED ISOLATED GROUND OUTLET	FLOOR TELE/DATA OUTLET 'DOG HOUSE'		FINISH SYMBOLS
	CONSTRUCTION	HVAC AIR DIFFUSER	♥ WALL OUTLET 220 - SINGLE	FLOOR OUTLET DUPLEX 'DOG HOUSE'		
	EXISTING CONSTRUCTION	RECESSED 2X4 LIGHT FIXTURE	₩ WALL OUTLET DEDICATED - QUAD	c FLOOR OUTLET DUPLEX CONTROLLED'DOG HOUSE'		FLOOR MATERIAL TRANSITION
**********	ACOUSTIC PARTITION	RECESSED 2X2 LIGHT FIXTURE	▽ WALL DATA OUTLET	C/U FLOOR OUTLET DUPLEX 'DOG HOUSE' (1) CONTROLLED, (1) UNCONTROLLED	$\langle 0 \rangle$	CASEWORK FINISH TAG
***************************************	1-HOUR RATED PARTITION	RECESSED 1X4 LIGHT FIXTURE	▼ WALL TELE-DATA OUTLET	■ FLOOR OUTLET QUAD 'DOG HOUSE'	0	FLOOR FINISH TAG
<u> </u>	2-HOUR RATED PARTITION	• • TROFFER 1X4 LIGHT FIXTURE	▼ WALL TELEPHONE JACK	FLOOR OUTLET QUAD CONTROLLED'DOG HOUSE'	0	WALL FINISH TAG
FEC	FIRE EXTINGUISHER CABINET	——————————————————————————————————————	WALL J-BOX - POWER	FLOOR OUTLET QUAD 'DOG HOUSE' (1) CONTROLLED, (1) UNCONTROLLED		MICC CVMDOLC
WH	WATER HEATER	TRACK LIGHTING	WALL J-BOX - POWER CONTROLLED	= = = = FLOOR MOUNTED WIREMOLD RACEWAY		MISC. SYMBOLS INDICATES ITEM TO BE DEMOLISHED
W	COPPER WATER LINE	LINEAR PENDANT	WALL J-BOX - POWER 1/2 CONTROLLED, 1/2 UNCONTROLLED	FLOOR SYMBOLS - FLOOR CORE SYMBOLS	(D)	
(FD)	FLOOR DRAIN	AV PROJECTION SCREEN	WALL J-BOX - TELE/DATA	FLUSH FLOOR BOX - SEE SCHEDULE ON POWER/SIGNAL PLAN	(R)	INDICATES ITEM TO BE REMOVED AND RELOCATED
	FRAMED GLAZING	2X2 CEILING GRID AND TILES	WALL J-BOX - AUDIO VISUAL	STUB UP - SEE SCHEDULE ON POWER/SIGNAL PLAN	(E)	INDICATES ITEM EXISTING TO REMAIN
	FRAMELESS GLAZING	2X4 CEILING GRID AND	WALL J-BOX - CABLE TV	POWER POLE - SEE SCHEDULE ON POWER/SIGNAL PLAN	(N)	INDICATES NEW ITEM
Ē	RESTROOM ACCESSORIES	TILES NEW GYPSUM BOARD CEILING /			(ALT X	INDICATES ITEMS FOR ALTERNATE BID SEE "ALTERNATES FOR BID' SCHEDULE.





DOLPHIN CLUB

ALTERATIONS & ADDITION

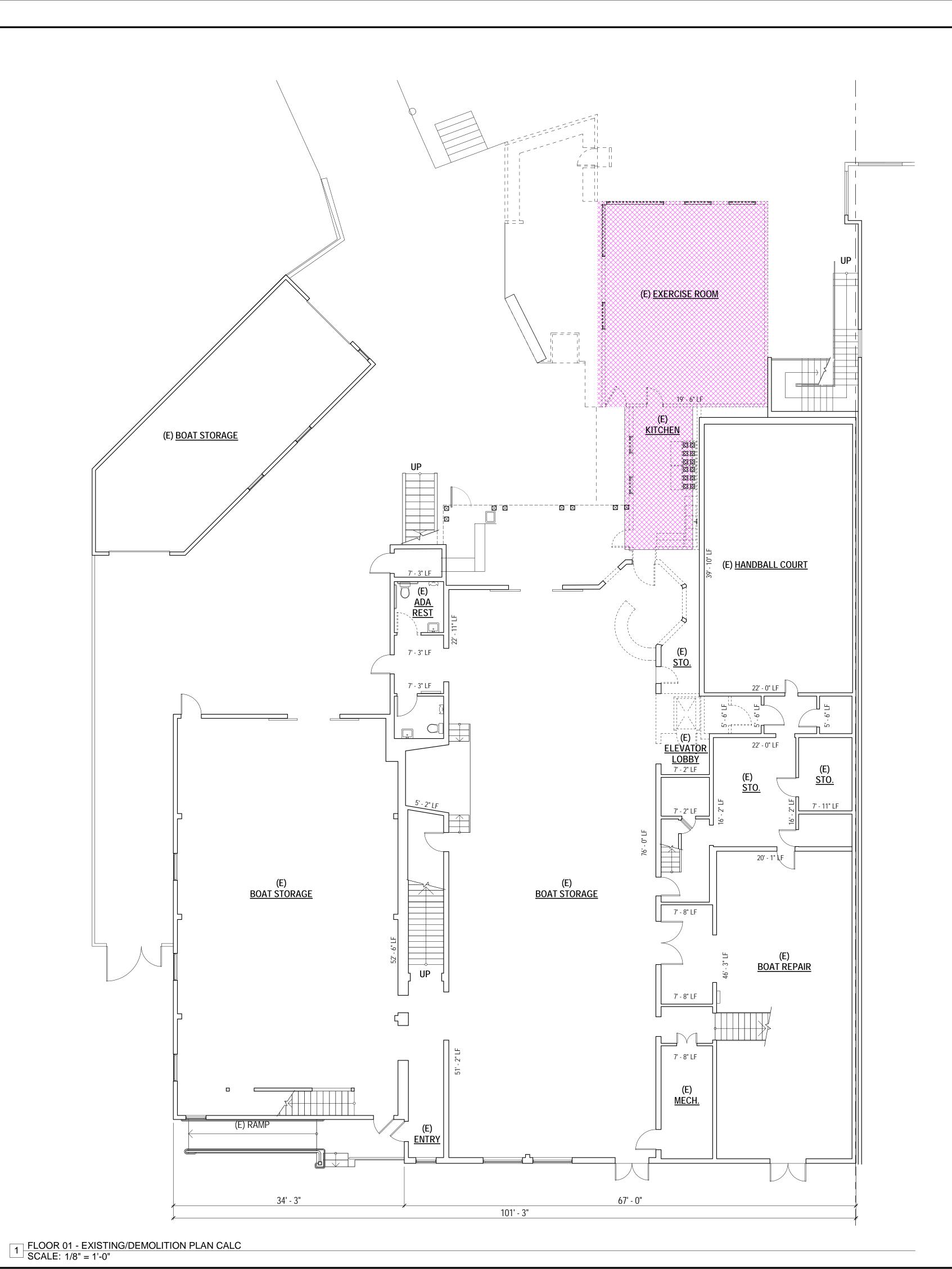
502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

PRAWN BY:

SYMBOLS LEGEND

SHEET NUMBER:



SECTION 317

WALL DEMOI	ITION CALCULATION ((LINEAR FOOTAGE MEASUREM	ENT) SEC. 317(k	o)(2)(B)	
ELEMENTS	(E) LENGTH (LF)	WALL REMOVED (LF) (MEASURED AT FOUNDATION LEVEL)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	101' - 3" LF	0' - 0" LF	0 %		
NORTH (REAR) FACADE	101' - 3" LF	24' - 7" LF	24 %		
TOTALS (SOUTH & NORTH)	202' - 6" LF	24' - 7" LF	12 %	50 %	YES
TOTAL SOUTH & NORTH ELEMENTS	REMOVED = 12 %				
EAST FACADE	142' - 8" LF	30' - 6" LF	21 %		
WEST FACADE	142' - 8" LF	51' - 7" LF	36 %		
TOTALS (EAST & WEST)	284' - 4" LF	82' - 1" LF	29 %		
TOTAL ALL SIDES	486' - 10" LF	106' - 8" LF	22 %	65 %	YES
TOTAL ALL SIDES ELEMENTS TO BE	REMOVED = 22 %				

WALL DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)							
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?		
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %				
NORTH (REAR) FACADE)	2,904 SF	357 SF	12 %				
EAST FACADE	3,555 SF	311 SF	9 %				
WEST FACADE	3,523 SF	584 SF	16 %				
TOTALS	13,048 SF	1,252 SF	9 %	50 %	YES		

HORIZONTAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
HORIZONTAL ELEMENTS	AREA (SF)	AREA REINIOVED (SF)	% REIVIOVED	IVIAA PERIVITI IED	WIEET CODE?
FLOOR 01	9,491 SF	962 SF	10 %		
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %	50 %	YES

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 317 (2) (B)&(C)

SECTION 1005

VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %		
TOTALS	3,066 SF	0 SF	0 %	25 %	YES

REMOVAL OF MORE THAN 50%	OF ALL EXTERNAL W	ALLS FROM THEIR FUNCTION	NS AS ALL EXTE	ERNAL WALLS 1005(f)2
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %		
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	50 %	YES
TOTAL VERTICAL ELEMENTS TO BE RE	MOVED = 9%				

REMOVAL OF MORE THAN 25%	OF EXTERNAL WALLS F	ROM FUNCTION AS EITHER	EXTERNAL OR IN	ITERNAL WALLS SE	C.1005(f)3
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
NORTH (REAR) FACADE)	3,066 SF	0 SF	0 %		
SOUTH (FRONT) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	25 %	YES
TOTAL HORIZONTAL ELEMENTS TO	BE REMOVED = 9%				

REMOVAL OF MOR	RE THAN 75% OF ALL INTER	NAL STRUCTURAL FRAMEWO	ORK OR FLOOR F	PLATES SEC.1005(f)	1
STRUCTURAL WALL	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	5,158 SF	248 SF	5 %		
FLOOR 02	3,499 SF	117 SF	3 %		
FLOOR 03	0 SF	0 SF	0 %		
TOTALS	8,657 SF	365 SF	4 %		
	<u> </u>		•		
FLOOR AREA	AREA (SF)	AREA REMOVED (SF)	% REMOVED		
FLOOR 01	9,491 SF	962 SF	10 %		
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %		
TOTALS ALL STRUCTURAL FRAM	MEWORK/FLOOR PLATES TO	O BE REMOVED = 7%	•	75 %	YES

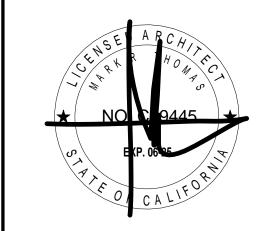
THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 1005(f)(1)(2)(3)(4)

DEMOLITION NOTES

- 1. ALL DEMOLITION WORK TO COMPLY WITH SFBC CH13B CONSTRUCTION AND DEBRIS RECOVERY PROGRAM. 2. DEMOLITION OTHER THAN THAT EXPLICITLY STATED AND SHOWN ON THE ARCHITECTURAL DEMO PLANS IS
- ILLEGAL UNDER P.C. 317 AND ANY MODIFICATIONS REQUIRE A PERMIT REVISION AND APPROVAL FROM THE SF PLANNING DEPARTMENT.



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

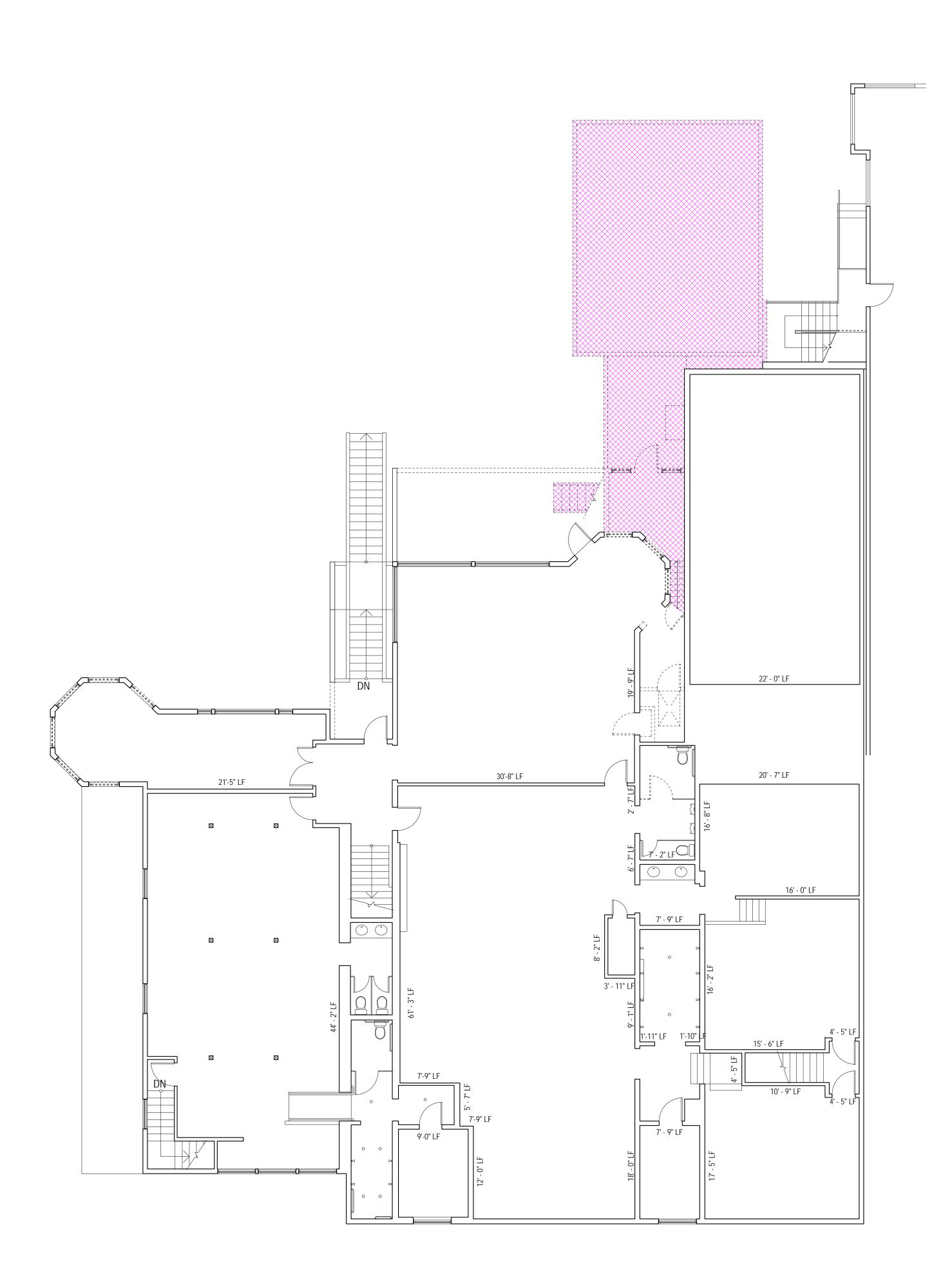
ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

DEMOLITION CALCULATION PLANS



SECTION 317

WALL DEMOLIT	ION CALCULATION (LINEAR FOOTAGE MEASUREM	ENT) SEC. 317(b)(2)(B)	
ELEMENTS	(E) LENGTH (LF)	WALL REMOVED (LF) (MEASURED AT FOUNDATION LEVEL)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	101' - 3" LF	0' - 0" LF	0 %		
NORTH (REAR) FACADE	101' - 3" LF	24' - 7" LF	24 %		
TOTALS (SOUTH & NORTH)	202' - 6" LF	24' - 7" LF	12 %	50 %	YES
TOTAL SOUTH & NORTH ELEMENTS RE	EMOVED = 12 %				
EAST FACADE	142' - 8" LF	30' - 6" LF	21 %		
WEST FACADE	142' - 8" LF	51' - 7" LF	36 %		
TOTALS (EAST & WEST)	284' - 4" LF	82' - 1" LF	29 %		
TOTAL ALL SIDES	486' - 10" LF	106' - 8" LF	22 %	65 %	YES
TOTAL ALL SIDES ELEMENTS TO BE RE	EMOVED = 22 %				

WALL DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)							
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?		
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %				
NORTH (REAR) FACADE)	2,904 SF	357 SF	12 %				
EAST FACADE	3,555 SF	311 SF	9 %				
WEST FACADE	3,523 SF	584 SF	16 %				
TOTALS	13,048 SF	1,252 SF	9 %	50 %	YES		

FLOOI	R DEMOLITION CALCULA	TION (AREA MEASUREMENT) SEC. 317(b)(2)(C	:)	
HORIZONTAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	9,491 SF	962 SF	10 %		
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %	50 %	YES
TOTAL HORIZONTAL ELEMENTS TO	D BE REMOVED = 10%				

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 317 (2) (B)&(C)

SECTION 1005

WALL REMOVAL >25%	OF THE SURFACE OF AL	L EXTERNAL WALLS FACING	A PUBLIC STREE	T(S) SEC. 1005(f)1	
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %		
TOTALS	3,066 SF	0 SF	0 %	25 %	YES

REMOVAL OF MORE THAN	50% OF ALL EXTERNAL V	WALLS FROM THEIR FUNCTION	ONS AS ALL EXTE	ERNAL WALLS 1005	(f)2
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %		
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	50 %	YES
TOTAL VERTICAL ELEMENTS TO BE	E REMOVED = 9%				

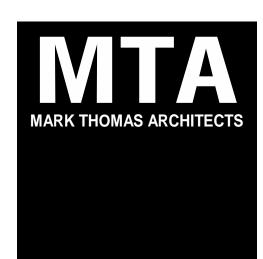
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
NORTH (REAR) FACADE)	3,066 SF	0 SF	0 %		
SOUTH (FRONT) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	25 %	YES

STRUCTURAL WALL	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	5,158 SF	248 SF	5 %		
FLOOR 02	3,499 SF	117 SF	3 %		
FLOOR 03	0 SF	0 SF	0 %		
TOTALS	8,657 SF	365 SF	4 %		
			•		
FLOOR AREA	AREA (SF)	AREA REMOVED (SF)	% REMOVED		
FLOOR 01	9,491 SF	962 SF	10 %		
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %		
TOTALS ALL STRUCTURAL FRAM	/FWORK/FLOOR PLATES TO	O BE REMOVED - 7%	1	75 %	YES

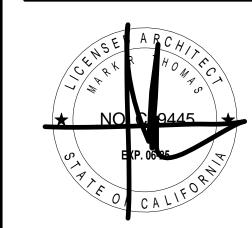
THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 1005(f)(1)(2)(3)(4)

DEMOLITION NOTES

- 1. ALL DEMOLITION WORK TO COMPLY WITH SFBC CH13B CONSTRUCTION AND DEBRIS RECOVERY PROGRAM.
- 2. DEMOLITION OTHER THAN THAT EXPLICITLY STATED AND SHOWN ON THE ARCHITECTURAL DEMO PLANS IS ILLEGAL UNDER P.C. 317 AND ANY MODIFICATIONS REQUIRE A PERMIT REVISION AND APPROVAL FROM THE SF PLANNING DEPARTMENT.



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

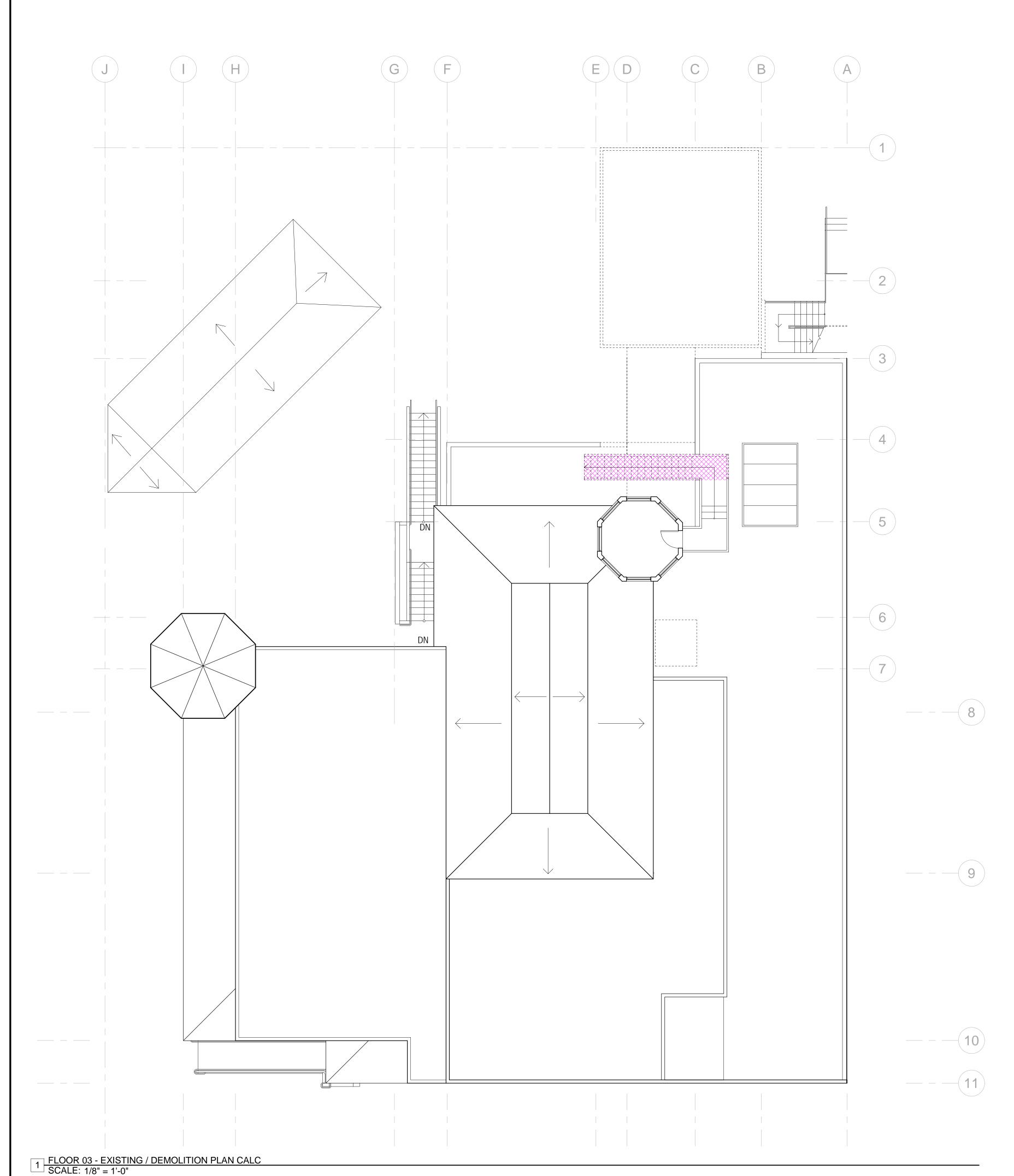
502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

DEMOLITION
CALCULATION
PLANS

SHEET NUMBER:



SECTION 317

WALL DEMOLITION CALCULATION (LINEAR FOOTAGE MEASUREMENT) SEC. 317(b)(2)(B)					
ELEMENTS	(E) LENGTH (LF)	WALL REMOVED (LF) (MEASURED AT FOUNDATION LEVEL)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	101' - 3" LF	0' - 0" LF	0 %		
NORTH (REAR) FACADE	101' - 3" LF	24' - 7" LF	24 %		
TOTALS (SOUTH & NORTH)	202' - 6" LF	24' - 7" LF	12 %	50 %	YES
TOTAL SOUTH & NORTH ELEMENTS RE	MOVED = 12 %				
EAST FACADE	142' - 8" LF	30' - 6" LF	21 %		
WEST FACADE	142' - 8" LF	51' - 7" LF	36 %		
TOTALS (EAST & WEST)	284' - 4" LF	82' - 1" LF	29 %		
TOTAL ALL SIDES	486' - 10" LF	106' - 8" LF	22 %	65 %	YES
TOTAL ALL SIDES ELEMENTS TO BE REMOVED = 22 %					

WALI	_ DEMOLITION CALCULA	TION (AREA MEASUREMENT)	SEC. 317(b)(2)(C)		
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %		
NORTH (REAR) FACADE)	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %	-	
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	50 %	YES
TOTAL VERTICAL ELEMENTS TO BI	E REMOVED = 9 %				

FLOOR DEMOLITION CALCULATION (AREA MEASUREMENT) SEC. 317(b)(2)(C)					
HORIZONTAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	9,491 SF	962 SF	10 %		
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %	50 %	YES
TOTAL HORIZONTAL ELEMENTS TO I	BE REMOVED = 10%				

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 317 (2) (B)&(C)

SECTION 1005

VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %		
TOTALS	3,066 SF	0 SF	0 %	25 %	YES

REMOVAL OF MORE THAN 5	0% OF ALL EXTERNAL V	VALLS FROM THEIR FUNCTION	NS AS ALL EXTE	RNAL WALLS 1005(f)2
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
SOUTH (FRONT) FACADE	3,066 SF	0 SF	0 %		
NORTH (REAR) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	50 %	YES
TOTAL VERTICAL ELEMENTS TO BE	REMOVED = 9%				

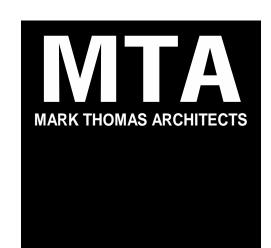
VERTICAL ELEMENTS	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE
NORTH (REAR) FACADE)	3,066 SF	0 SF	0 %		
SOUTH (FRONT) FACADE	2,904 SF	357 SF	12 %		
EAST FACADE	3,555 SF	311 SF	9 %		
WEST FACADE	3,523 SF	584 SF	16 %		
TOTALS	13,048 SF	1,252 SF	9 %	25 %	YES

REMOVAL OF MORE TH	IAN 75% OF ALL INTERN	IAL STRUCTURAL FRAMEWO	ORK OR FLOOR F	PLATES SEC.1005(f)4	ļ
STRUCTURAL WALL	AREA (SF)	AREA REMOVED (SF)	% REMOVED	MAX PERMITTED	MEET CODE?
FLOOR 01	5,158 SF	248 SF	5 %		
FLOOR 02	3,499 SF	117 SF	3 %		
FLOOR 03	0 SF	0 SF	0 %		
TOTALS	8,657 SF	365 SF	4 %		
FLOOR AREA	AREA (SF)	AREA REMOVED (SF)	% REMOVED		
FLOOR 01	9,491 SF	962 SF	10 %		
FLOOR 02	7,739 SF	111 SF	1 %		
FLOOR 03	140 SF	0 SF	0 %		
ROOF	9,568 SF	898 SF	9 %		
TOTALS	26,938 SF	1,971 SF	7 %		
TOTALS ALL STRUCTURAL FRAMEW	ORK/FLOOR PLATES TO	BE REMOVED = 7%		75 %	YES

THIS PROJECT IS NOT CONSIDERED AS DEMOLITION PER SAN FRANCISCO PLANNING CODE SEC. 1005(f)(1)(2)(3)(4)

DEMOLITION NOTES

ALL DEMOLITION WORK TO COMPLY WITH SFBC CH13B - CONSTRUCTION AND DEBRIS RECOVERY PROGRAM.
 DEMOLITION OTHER THAN THAT EXPLICITLY STATED AND SHOWN ON THE ARCHITECTURAL DEMO PLANS IS ILLEGAL UNDER P.C. 317 AND ANY MODIFICATIONS REQUIRE A PERMIT REVISION AND APPROVAL FROM THE SF PLANNING DEPARTMENT.



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

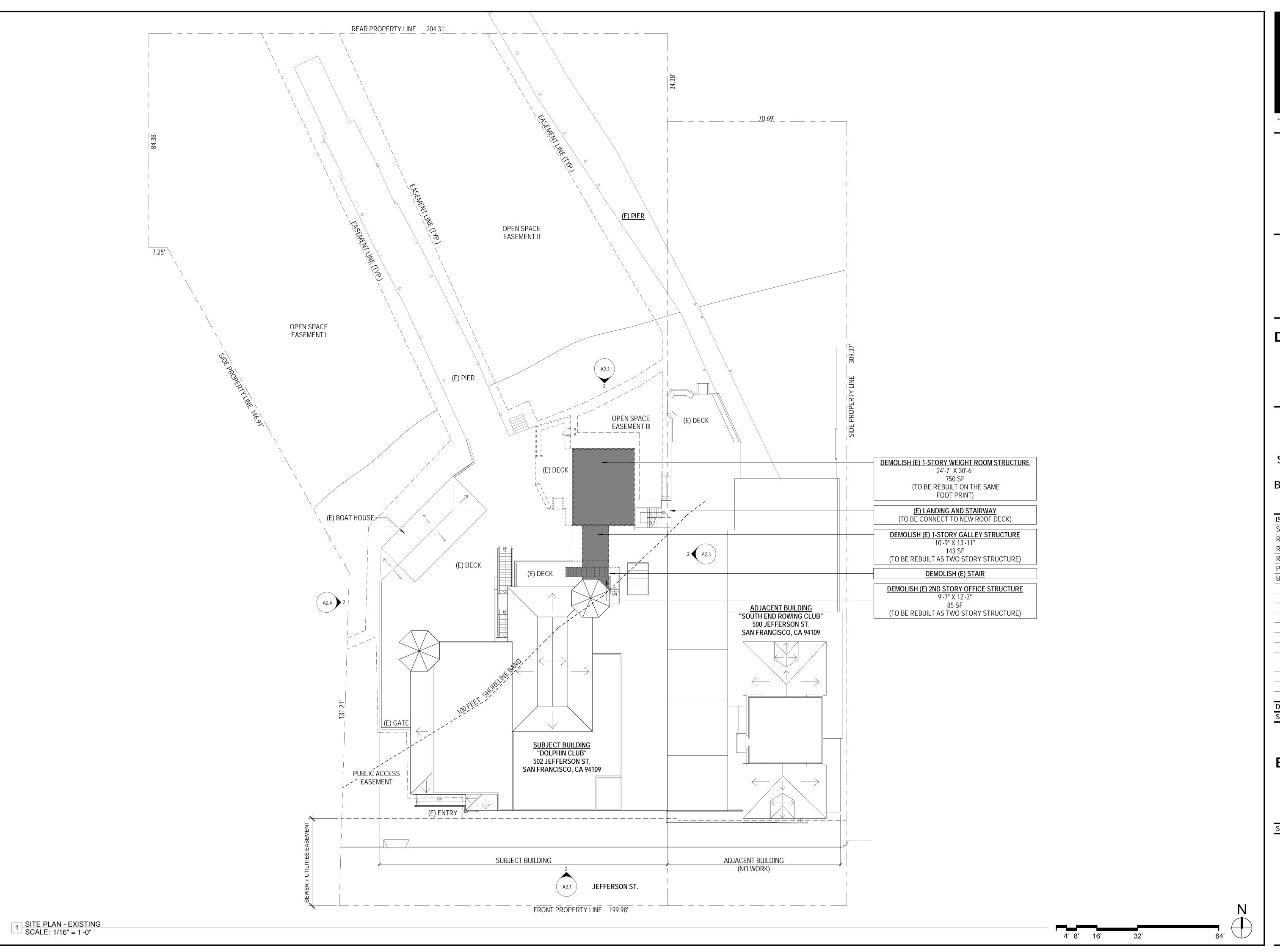
502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

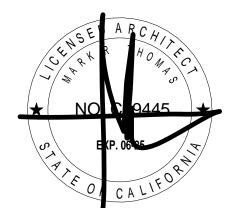
DRAWN BY: SHEET TITLE:

DEMOLITION
CALCULATION
PLANS

SHEET NUMBER:







DOLPHIN CLUB

ALTERATIONS & ADDITION

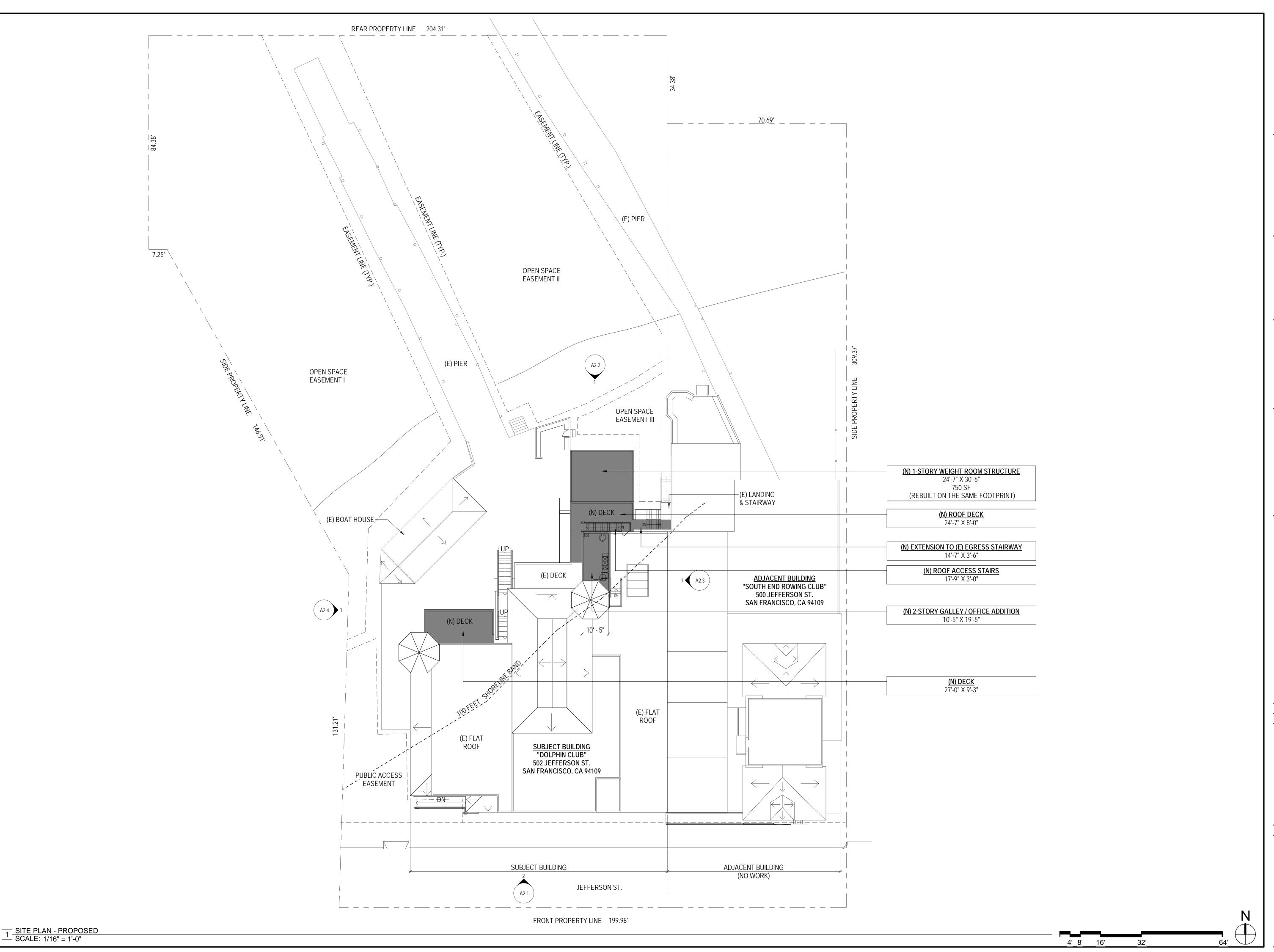
502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

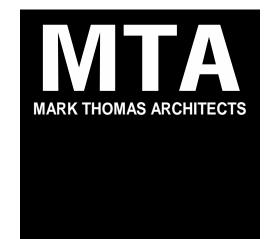
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

EXISTING SITE PLAN

SHEET NUMBER:







DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

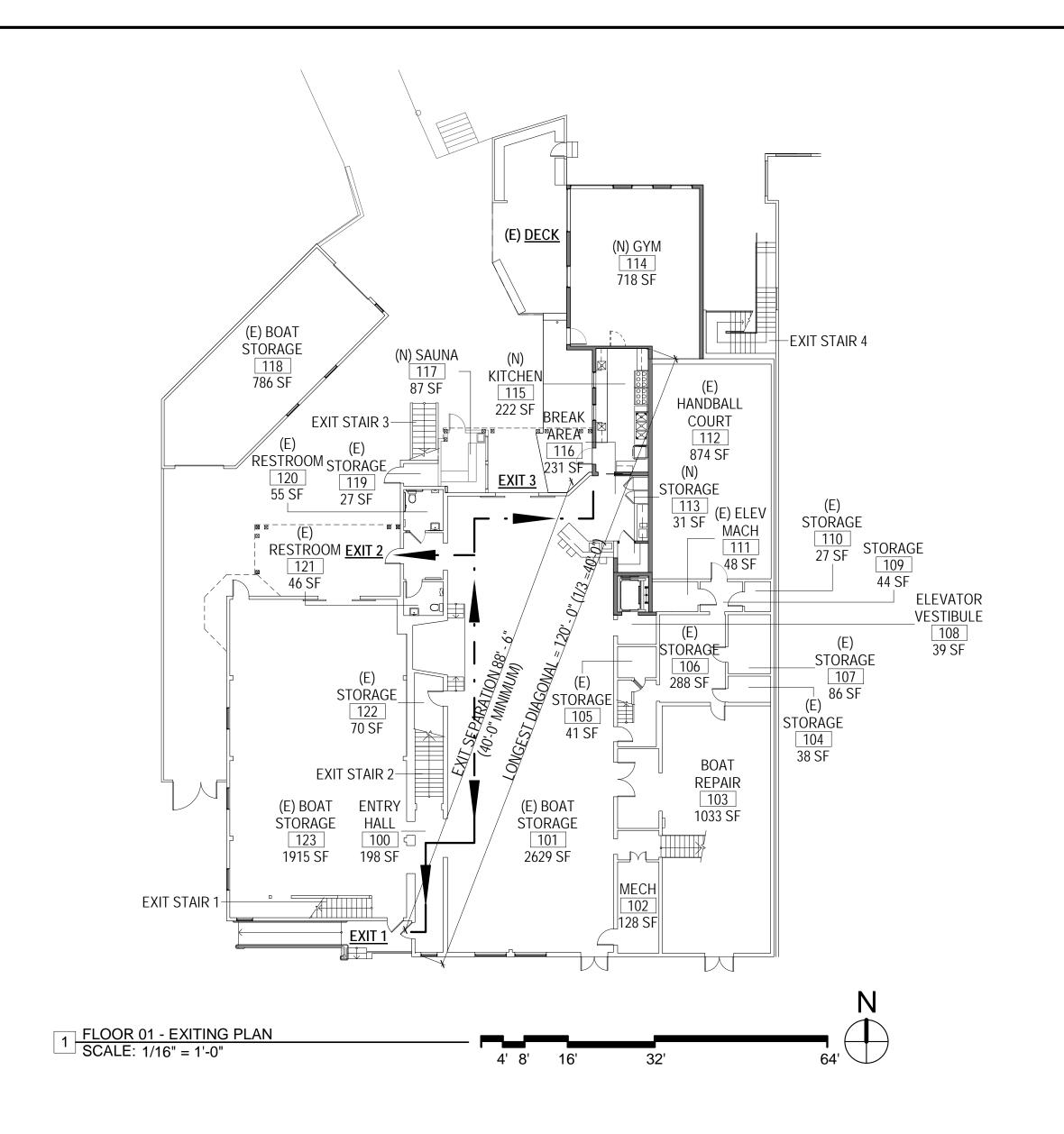
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

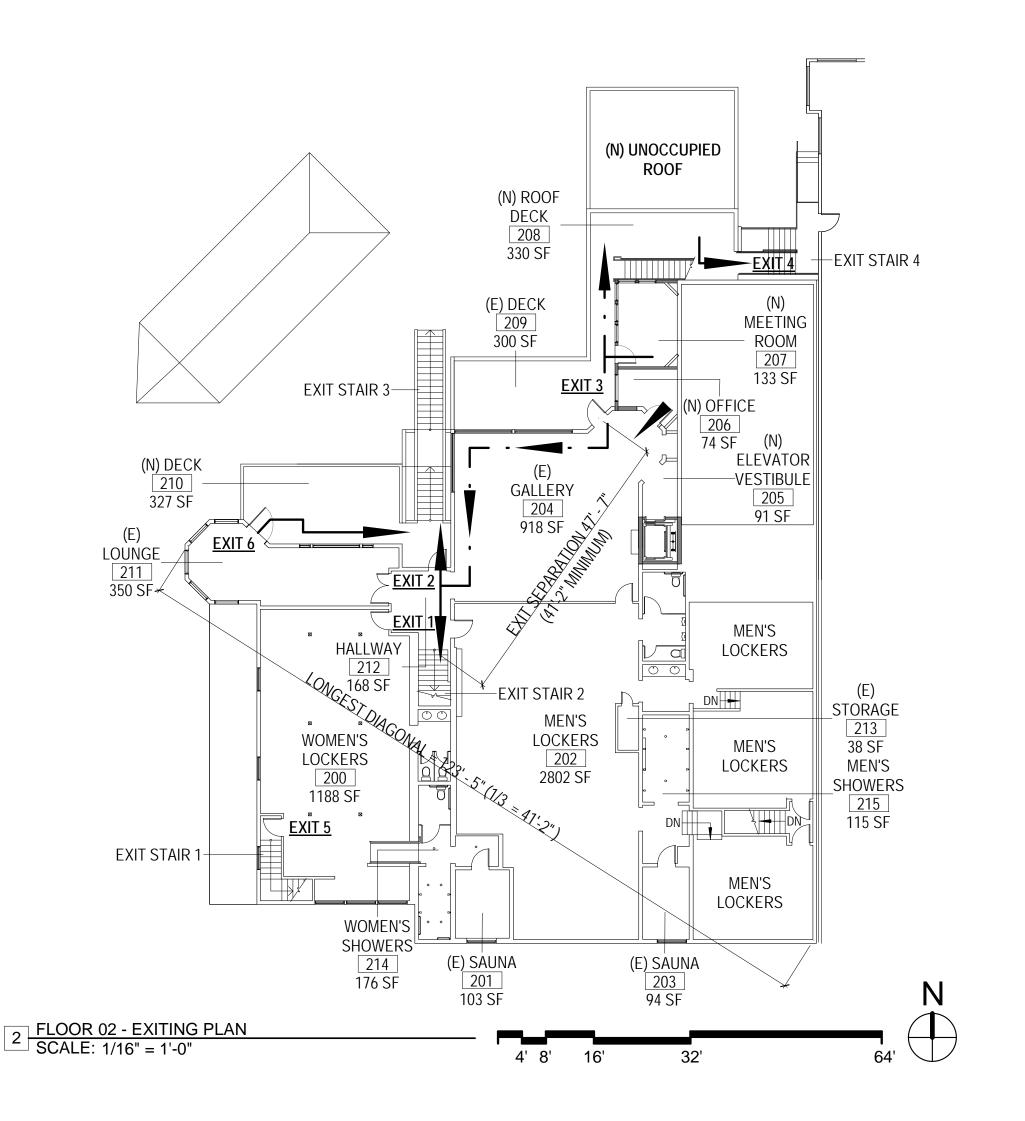
DRAWN BY: SHEET TITLE:

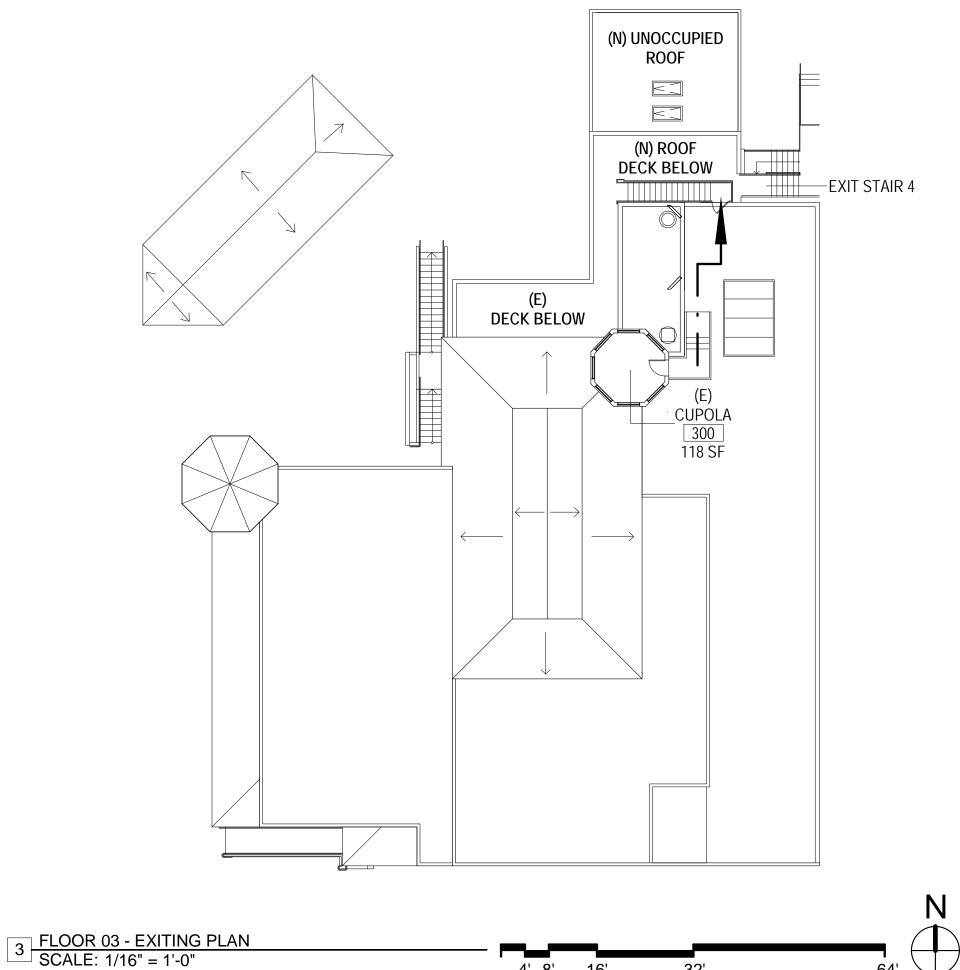
PROPOSED SITE PLAN

SHEET NUMBER:

8.0A







SYMBOL LEGEND

DIRECTION OF EGRESS TRAVEL

DIRECTION OF EGRESS TRAVEL

EXIT SIGN
EXIT

OCCUPANCY CALCULATION - FLOOR 01

ROOM #	ROOM NAME	SF	FACTOR	OCCs
100	ENTEN/IIAI I	100.05	400.05	
100	ENTRY HALL	198 SF	100 SF	
101	(E) BOAT STORAGE	2629 SF	300 SF	
102	MECH	128 SF	300 SF	
103	BOAT REPAIR	1033 SF	100 SF	
104	(E) STORAGE	38 SF	300 SF	
105	(E) STORAGE	41 SF	300 SF	
106	(E) STORAGE	288 SF	300 SF	
107	(E) STORAGE	86 SF	300 SF	
108	ELEVATOR VESTIBULE	39 SF	100 SF	
109	STORAGE	44 SF	300 SF	
110	(E) STORAGE	27 SF	300 SF	
111	(E) ELEV MACH	48 SF	300 SF	
112	(E) HANDBALL COURT	874 SF	50 SF	
113	(N) STORAGE	31 SF	300 SF	
114	(N) GYM	718 SF	50 SF	
115	(N) KITCHEN	222 SF	200 SF	
116	BREAK AREA	231 SF	15 SF	
117	(N) SAUNA	87 SF	300 SF	
118	(E) BOAT STORAGE	786 SF	300 SF	
119	(E) STORAGE	27 SF	300 SF	
120	(E) RESTROOM	55 SF	300 SF	
121	(E) RESTROOM	46 SF	300 SF	
122	(E) STORAGE	70 SF	300 SF	
123	(E) BOAT STORAGE	1915 SF	300 SF	
GRAND TOT	· /	9660 SF		

TOTAL OCCUPANTS: 82
EXITS REQUIRED: 2
EXITS PROVIDED: 3
LONGEST DIAGONAL: 123' - 5"

LONGEST DIAGONAL: 123' - 5' 1/3 LONGEST DIAGONAL: 41' - 2" EXIT SEPARATION PROVIDED: 47' - 7"

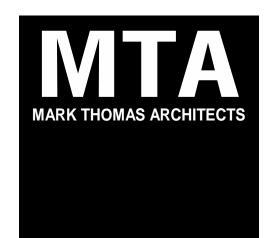
OCCUPANCY CALCULATION - FLOOR 02

ROOM#	ROOM NAME	SF	FACTOR	OCCs
200	WOMEN'S LOCKERS	1188 SF	50 SF	24
201	(E) SAUNA	103 SF	300 SF	(
202	MEN'S LOCKERS	2802 SF	50 SF	56
203	(E) SAUNA	94 SF	300 SF	(
204	(E) GALLERY	918 SF	15 SF	61
205	(N) ELEVATOR VESTIBULE	91 SF	100 SF	1
206	(N) OFFICE	74 SF	100 SF	1
207	(N) MEETING ROOM	133 SF	15 SF	Ç
208	(N) ROOF DECK	330 SF	15 SF	22
209	(E) DECK	300 SF	15 SF	20
210	(N) DECK	327 SF	15 SF	22
211	(E) LOUNGE	350 SF	15 SF	23
212	HALLWAY	168 SF	100 SF	2
213	(E) STORAGE	38 SF	300 SF	(
214	WOMEN'S SHOWERS	176 SF	300 SF	1
215	MEN'S SHOWERS	115 SF	300 SF	(
GRAND TO	DTAL	7205 SF		242
1				

TOTAL OCCUPANTS: 244
EXITS REQUIRED: 2
EXITS PROVIDED: 3
LONGEST DIAGONAL: 120' - 0"
1/3 LONGEST DIAGONAL: 40' - 0"
EXIT SEPARATION PROVIDED: 88' - 6"

OCCUPANCY CALCULATION - FLOOR 03

ROOM#	ROOM NAME	SF	FACTOR	OCCs 1
				1
300	(E) CUPOLA	118 SF	300 SF	(
GRAND TO	DTAL	118 SF		(
	EXITS F	CUPANTS: 1 REQUIRED: 1 PROVIDED: 1		



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

DATE:
09.17.20
09.15.22
03.29.23
05.09.23
11.29.23
09.15.24

DRAWN BY:
SHEET TITLE:

EXIT ANALYSIS

SHEET NUMBER:



EXISTING NORTH ELEVATION (N.T.S.)

<u>DEMOLISH (E) STAIR</u> -(TO EXISTING COPULA)

(TO BE REBUILT ON THE SAME

(E) HORIZONTAL SIDING, PAINT -

(E) WOOD TRIMS, PAINT -

FOOT PRINT W/ NEW ROOF DECK ABOVE)

(N) 2-STORY GALLEY / OFFICE ADDITION 10'-5" X 19'-5"

(N) ROOF ACCESS METAL STAIRS

(N) WOOD FRAMED GLASS RAILING

(N) EXTENSION TO (E) EGRESS STAIRWAY (FOR EGRESS FROM NEW ROOF DECK)

(N) 1-STORY WEIGHT ROOM STRUCTURE

(REBUILT ON THE SAME FOOTPRINT)

(N) WOOD WINDOWS AND TRIMS, PAINT

(N) HORIZONTAL SIDING, PAINT -

24'-7" X 30'-6"

750 SF

(N) DECK

27'-0" X 9'-3"

24'-7" X 30'-6"

(MATCH EXISTING)

750 SF

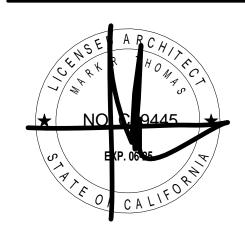
DEMOLISH (E) 1-STORY WEIGHT ROOM STRUCTURE



PROPOSED NORTH ELEVATION (N.T.S.)



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

SSUE:	DATE:
ITE PERMIT	09.17.20
EVISION 01	09.15.22
EVISION 02	03.29.23
EVISION 03	05.09.23
LAN CHECK	11.29.23
UILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

PERSPECTIVE VIEWS

SHEET NUMBER:

DEMOLISH (E) STAIR (TO EXISTING COPULA)

DEMOLISH (E) 1-STORY GALLEY STRUCTURE

10'-9" X 13'-11" 143 SF

(TO BE REBUILT AS TWO STORY STRUCTURE)

DEMOLISH (E) 1-STORY WEIGHT ROOM STRUCTURE

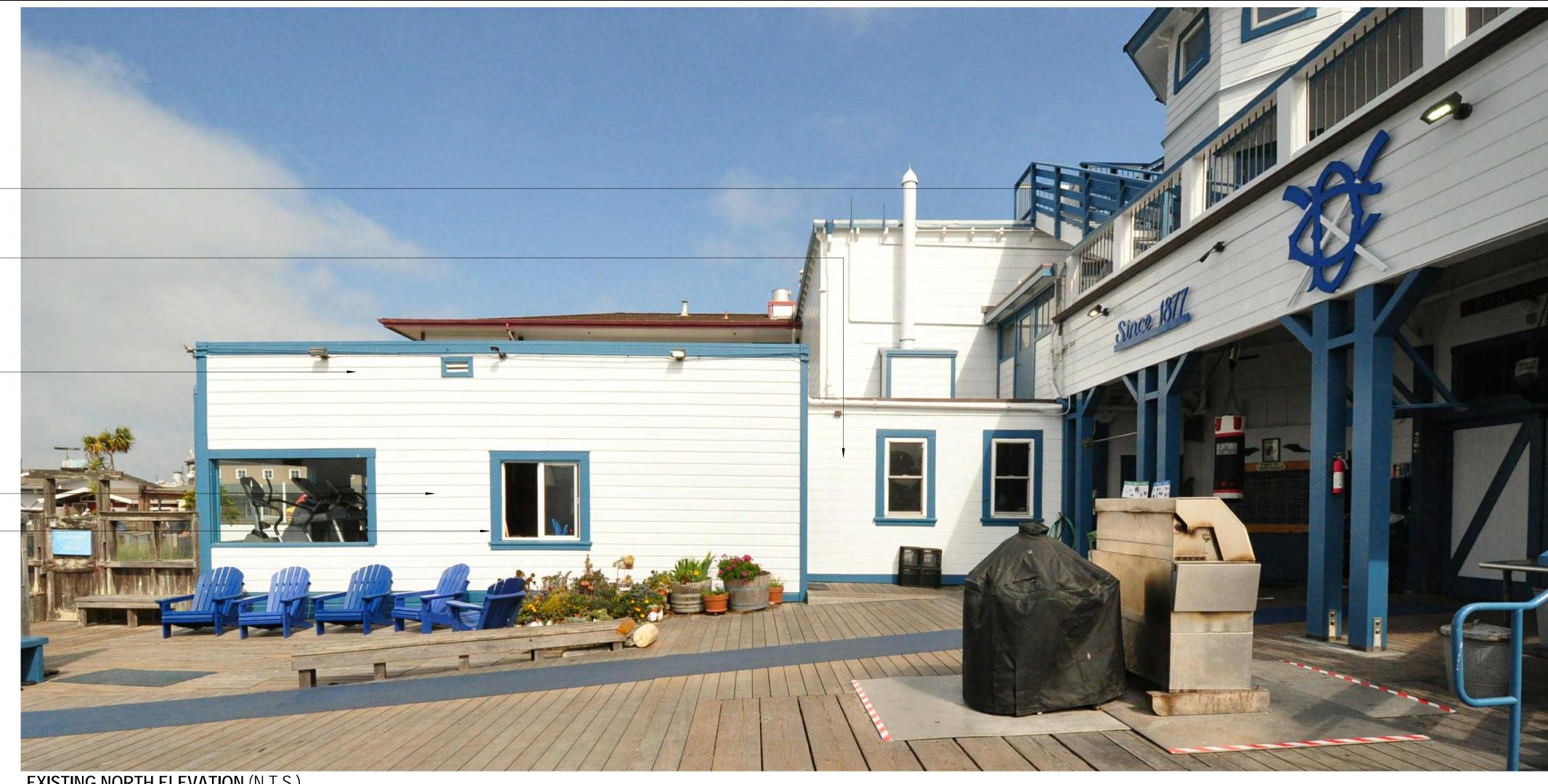
24'-7" X 30'-6"

750 SF

(TO BE REBUILT ON THE SAME FOOT PRINT W/ NEW ROOF DECK ABOVE)

(E) HORIZONTAL SIDING, PAINT

(E) WOOD TRIMS, PAINT





(N) METAL STAIRS (TO EXISTING COPULA)

(N) WOOD FRAMED GLASS RAILING

(N) 1-STORY WEIGHT ROOM STRUCTURE 24'-7" X 30'-6"

750 SF

(REBUILT ON THE SAME FOOTPRINT)

(N) HORIZONTAL SIDING, PAINT (MATCH EXISTING)

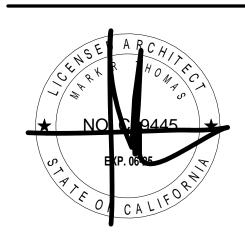
(N) WOOD WINDOWS AND TRIMS, PAINT (MATCH EXISTING)

(N) SAUNA

(APPROVED PER BPA 202405031358)

(N) LEVELED WALKWAY AND METAL RAILING





DOLPHIN CLUB

ALTERATIONS & ADDITION

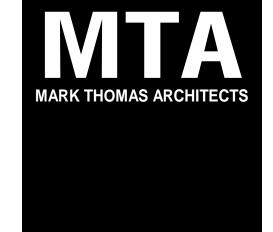
502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

SUE:	DATE:
TE PERMIT	09.17.20
EVISION 01	09.15.22
EVISION 02	03.29.23
EVISION 03	05.09.23
AN CHECK	11.29.23
JILDING PERMIT	09.15.24
-	

DRAWN BY: SHEET TITLE:

PERSPECTIVE VIEWS







DOLPHIN CLUB

ALTERATIONS & ADDITION

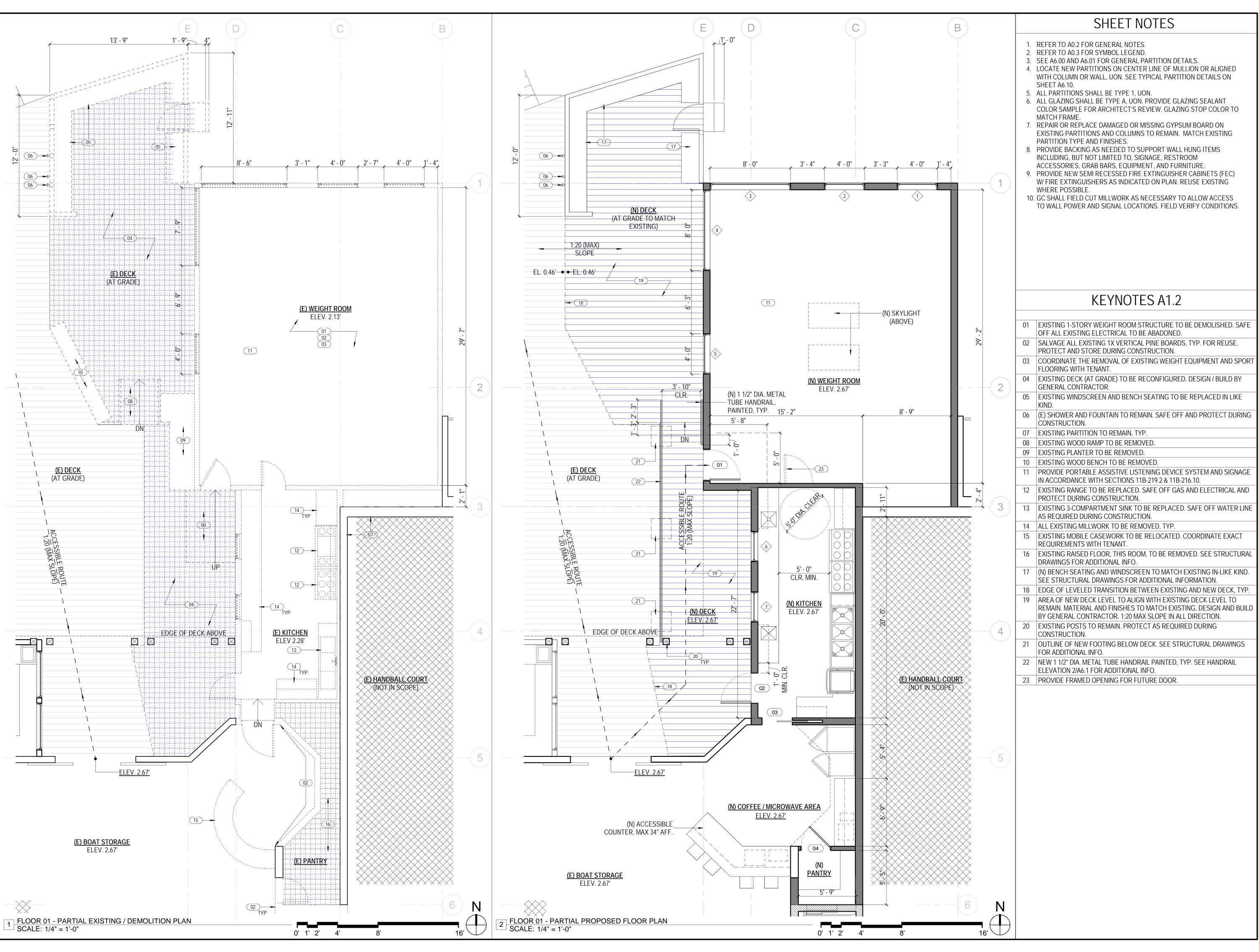
502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

EXISTING &
PROPOSED
FIRST FLOOR
PLAN

SHEET NUMBER:







NEW WALL
DEMOLISHED WALL
EXISTING WALL
NEW 1-HOUR RATED WALL

DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

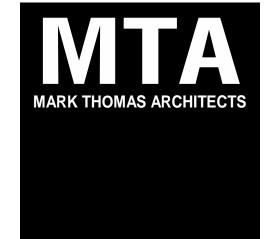
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

ENLARGED FIRST FLOOR PLAN

SHEET NUMBER:







NEW WALL
DEMOLISHED WALL
EXISTING WALL
NEW 1-HOUR RATED WALL

DOLPHIN CLUB

ALTERATIONS & ADDITION

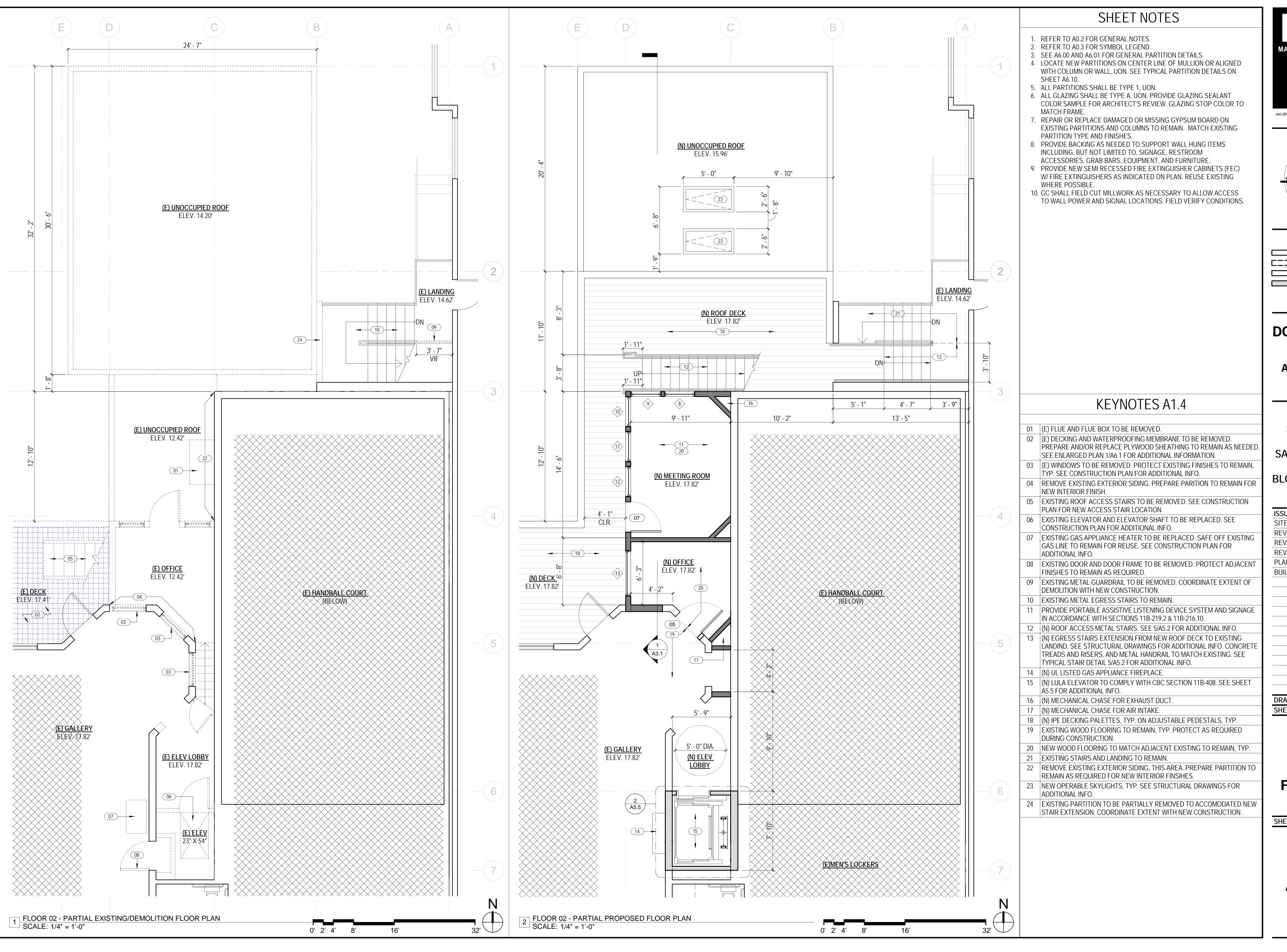
502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

EXISTING &
PROPOSED
SECOND
FLOOR PLAN

SHEET NUMBER:







NEW WALL
DEMOLISHED WALL
EXISTING WALL
NEW 1-HOUR RATED WALL

DOLPHIN CLUB

ALTERATIONS & ADDITION

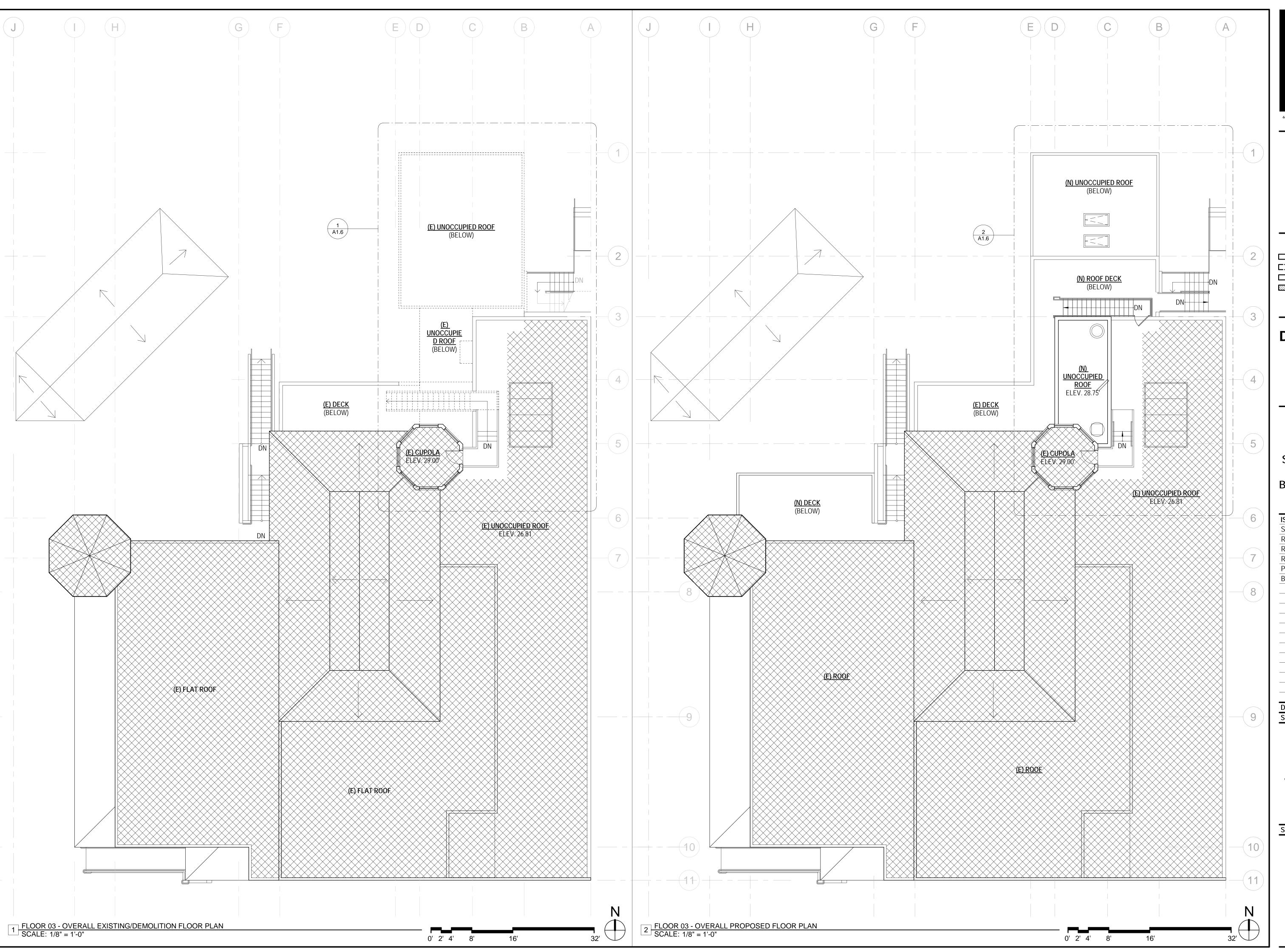
502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

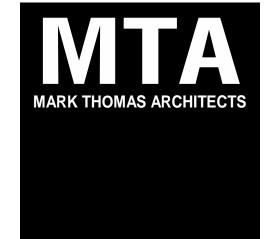
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BLIII DING PERMIT	NO 15 24

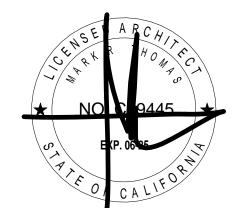
DRAWN BY:
SHEET TITLE:

ENLARGED
SECOND
FLOOR PLAN

SHEET NUMBER:







NEW WALL

DEMOLISHED WALL

EXISTING WALL

NEW 1-HOUR RATED WALL

DOLPHIN CLUB

ALTERATIONS & ADDITION

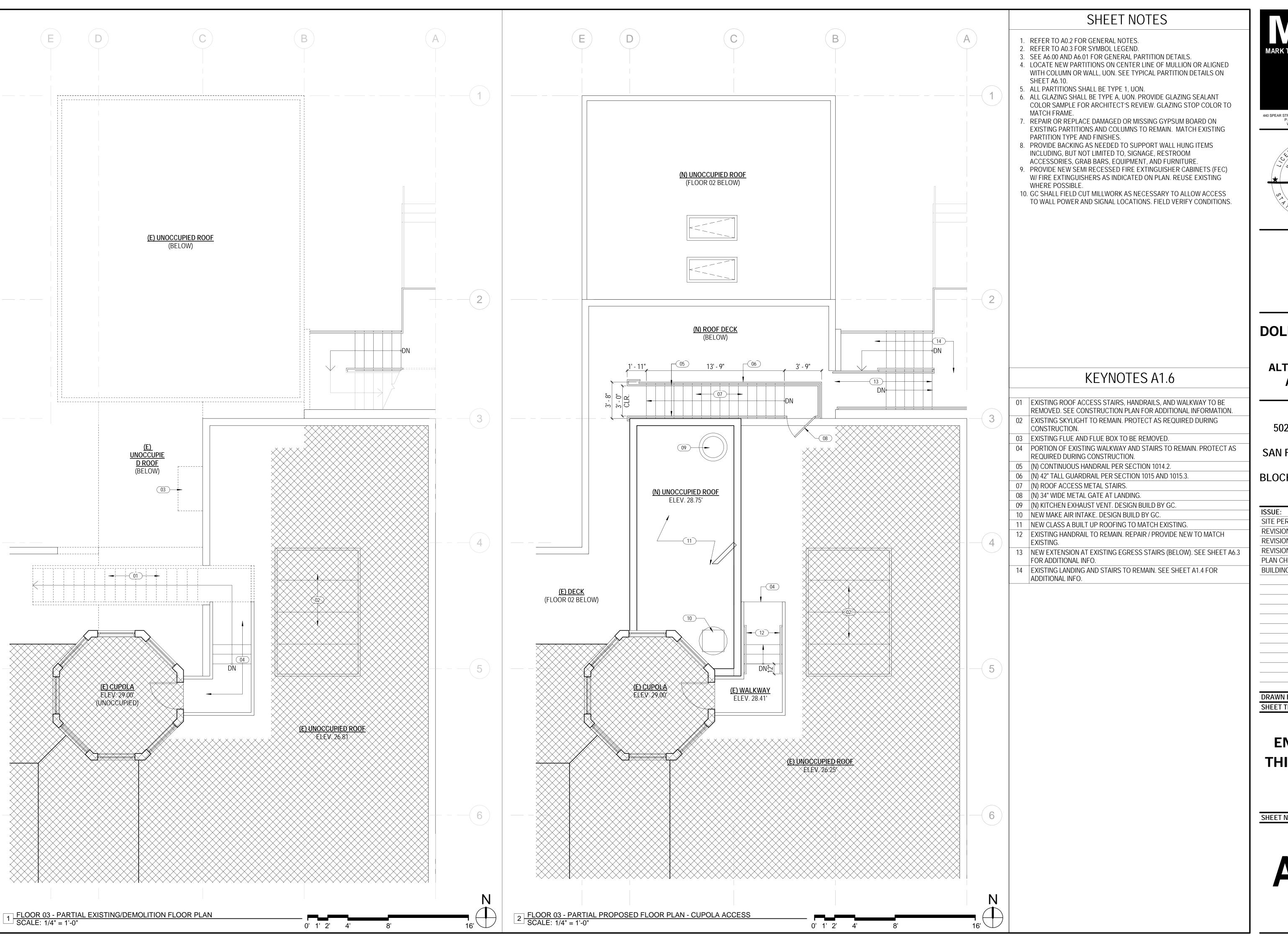
502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

EXISTING &
PROPOSED
THIRD FLOOR
PLAN

SHEET NUMBER:







DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

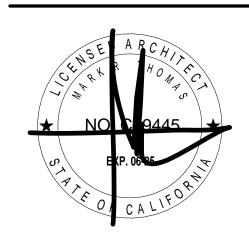
DRAWN BY: SHEET TITLE:

ENLARGED THIRD FLOOR **PLAN**









DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

DATE:
DATE.
09.17.20
09.15.22
03.29.23
05.09.23
11.29.23
09.15.24

DRAWN BY: SHEET TITLE:

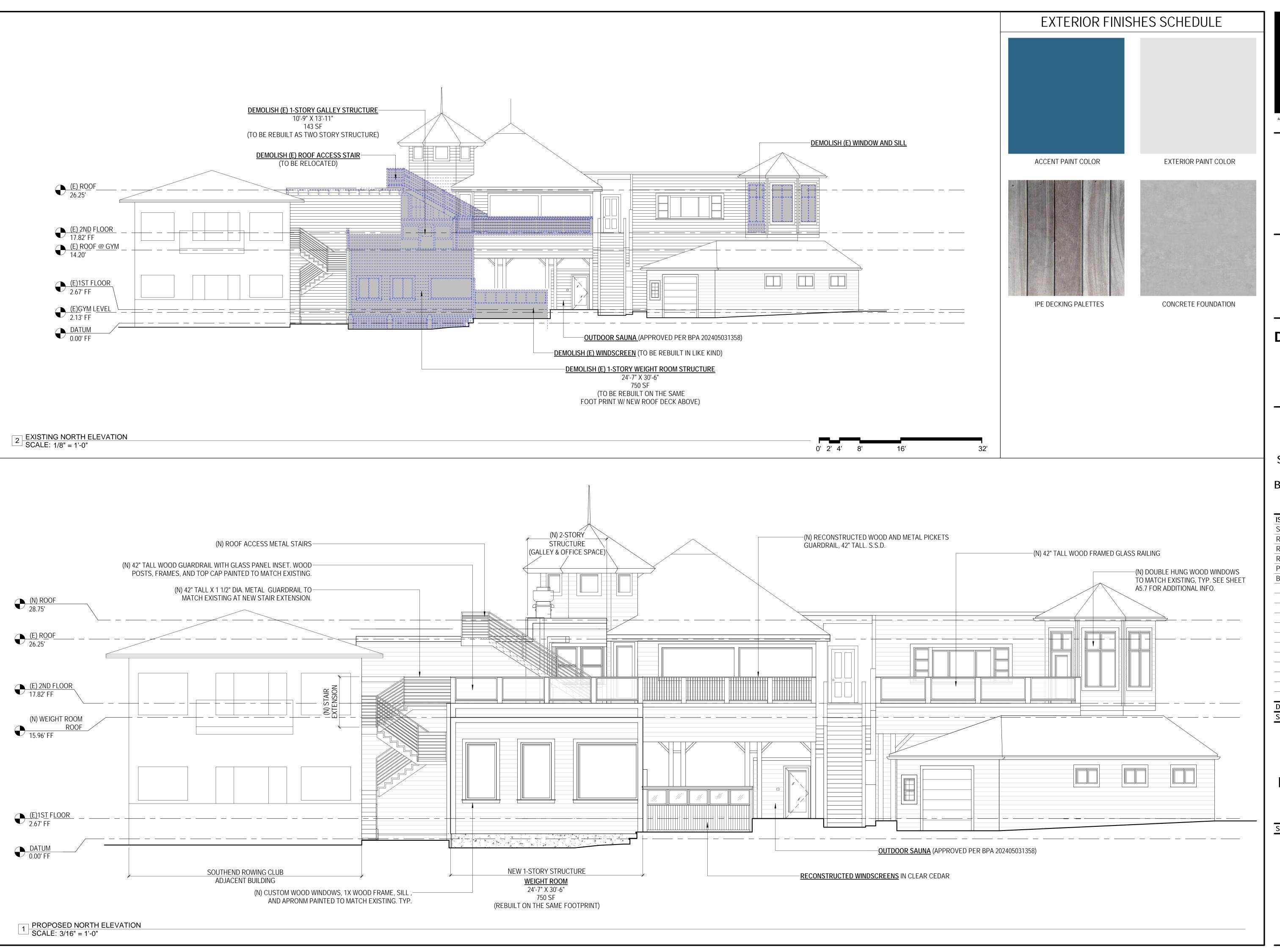
EXISTING &

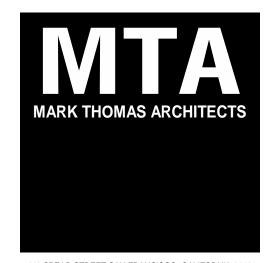
PROPOSED SOUTH (FRONT)

ELEVATION

SHEET NUMBER:

0' 2' 4' 8'







DOLPHIN CLUB

ALTERATIONS & ADDITION

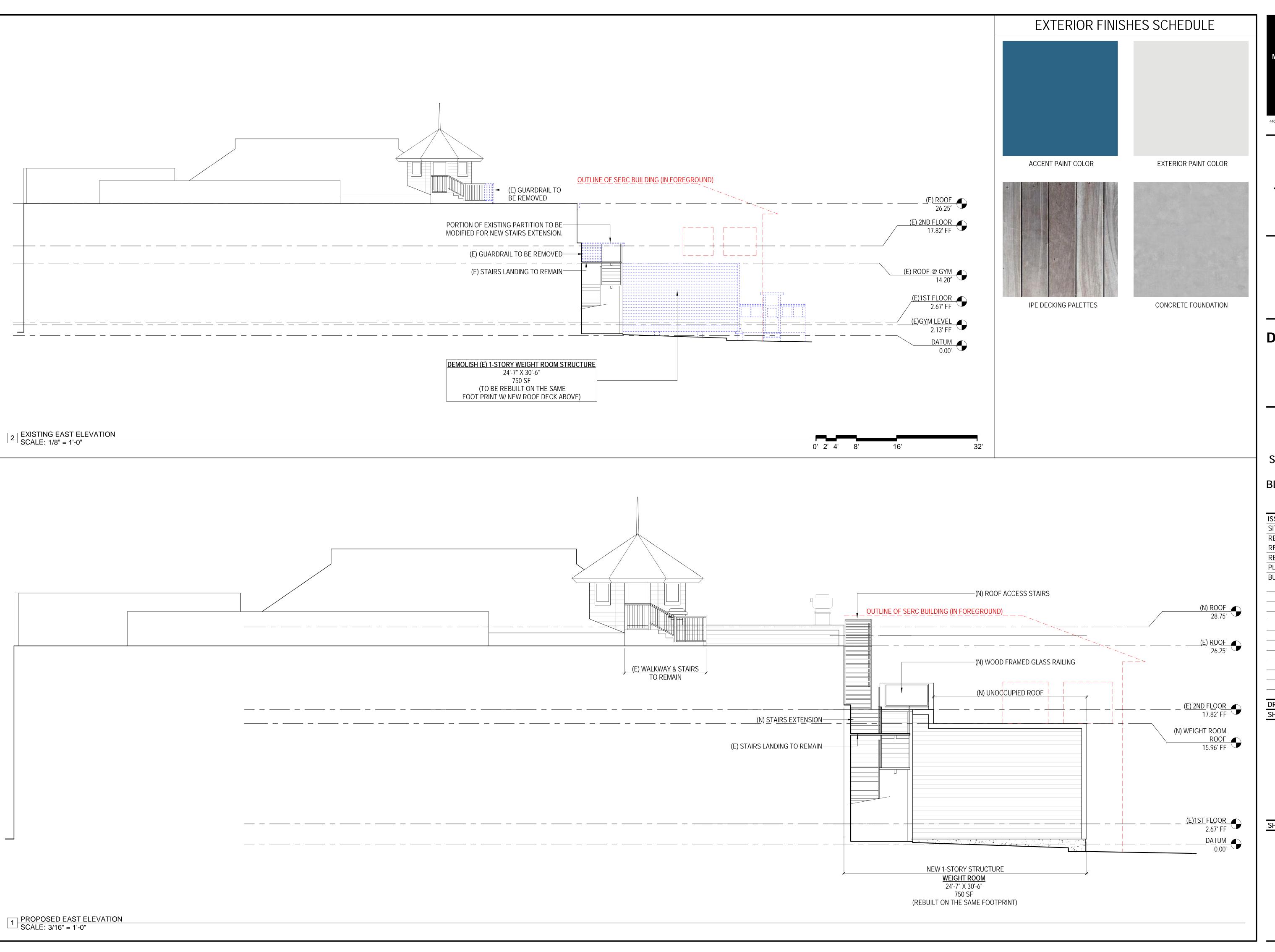
502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

DATE:
09.17.20
09.15.22
03.29.23
05.09.23
11.29.23
09.15.24

DRAWN BY:
SHEET TITLE:

EXISTING &
PROPOSED
NORTH(REAR)
ELEVATIONS

SHEET NUMBER:



MARK THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

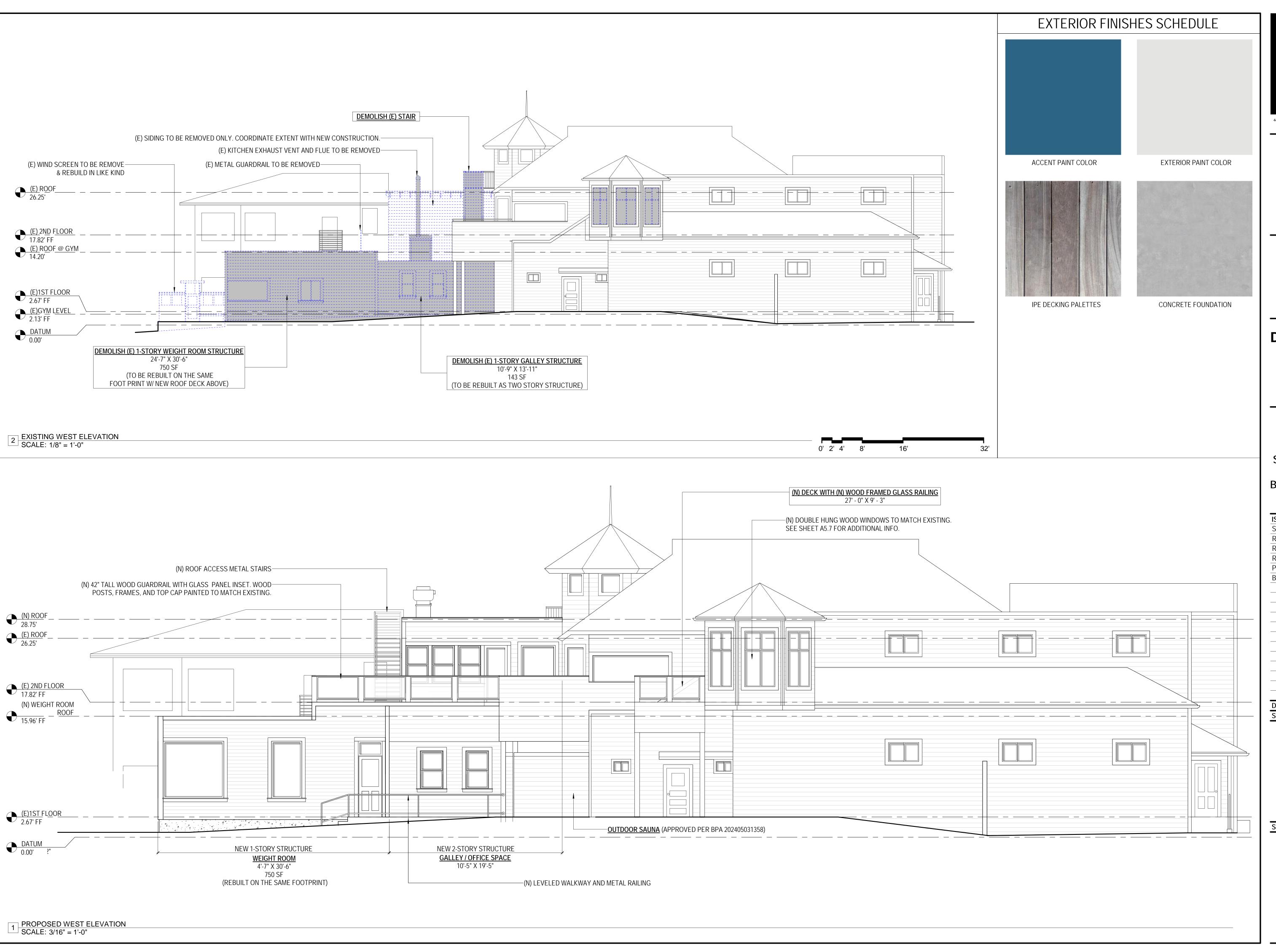
502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

17.20
15.22
29.23
09.23
29.23
15.24

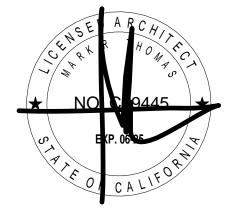
DRAWN BY: SHEET TITLE:

EXISTING &
PROPOSED
EAST (SIDE)
ELEVATIONS

SHEET NUMBER:







DOLPHIN CLUB

ALTERATIONS & ADDITION

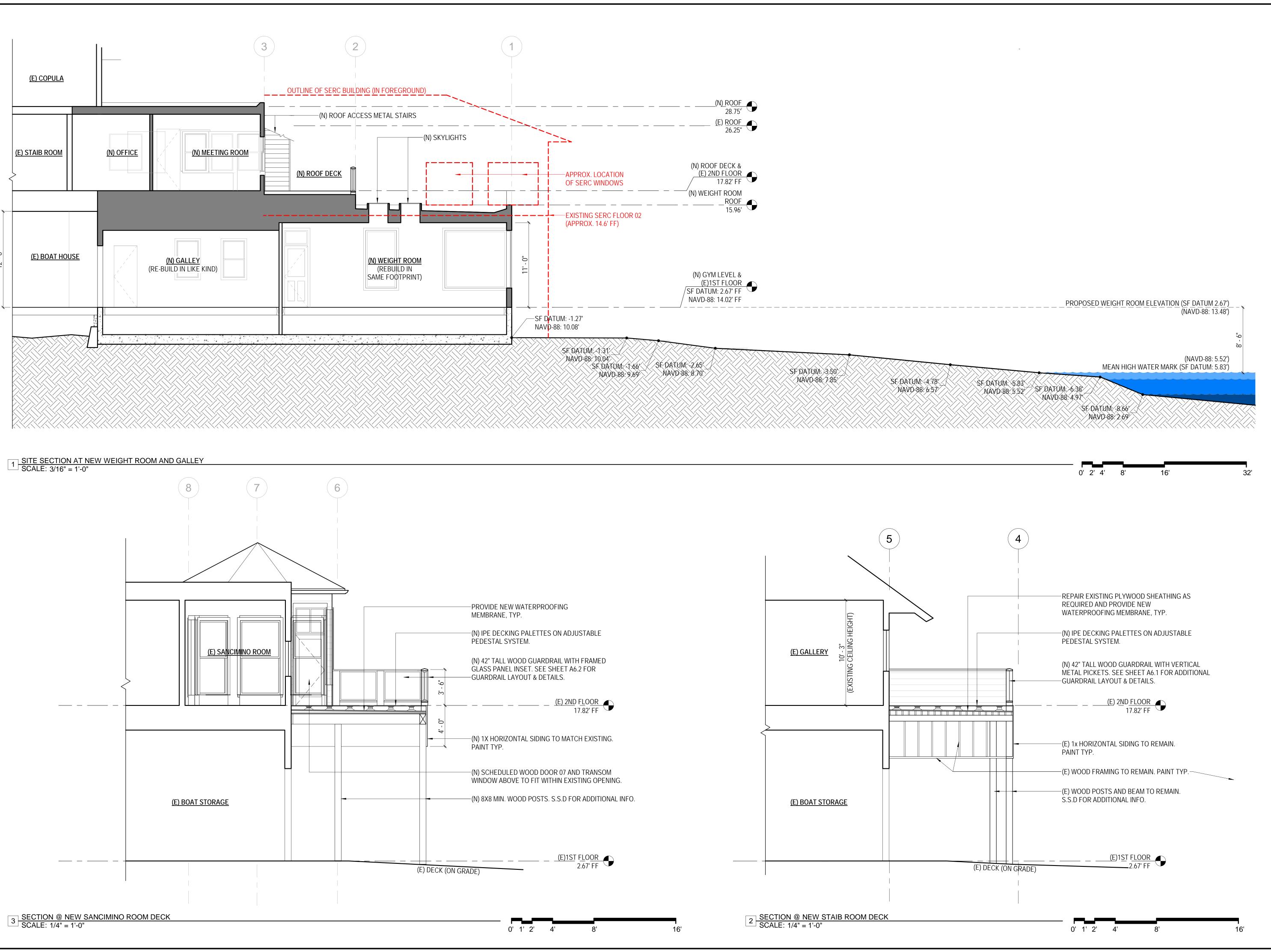
502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

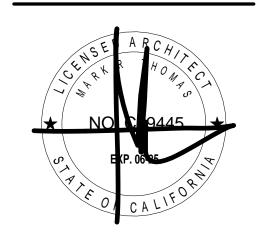
DRAWN BY: SHEET TITLE:

EXISTING &
PROPOSED
WEST(SIDE)
ELEVATIONS

SHEET NUMBER:







DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

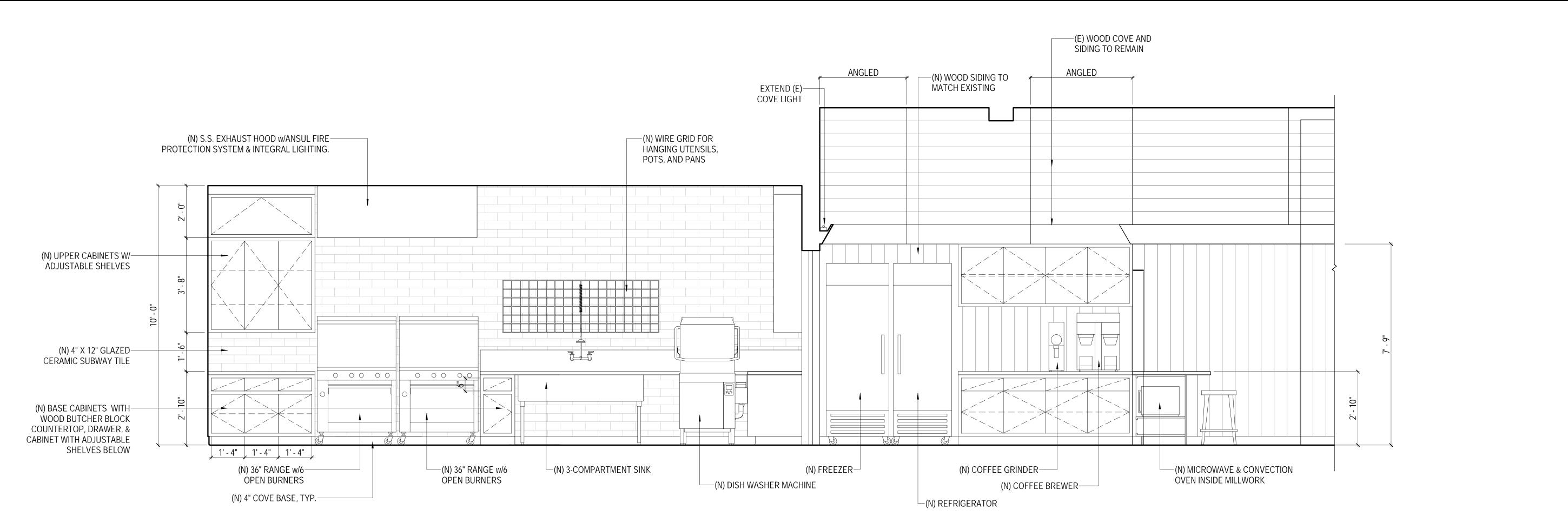
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY:
SHEET TITLE:

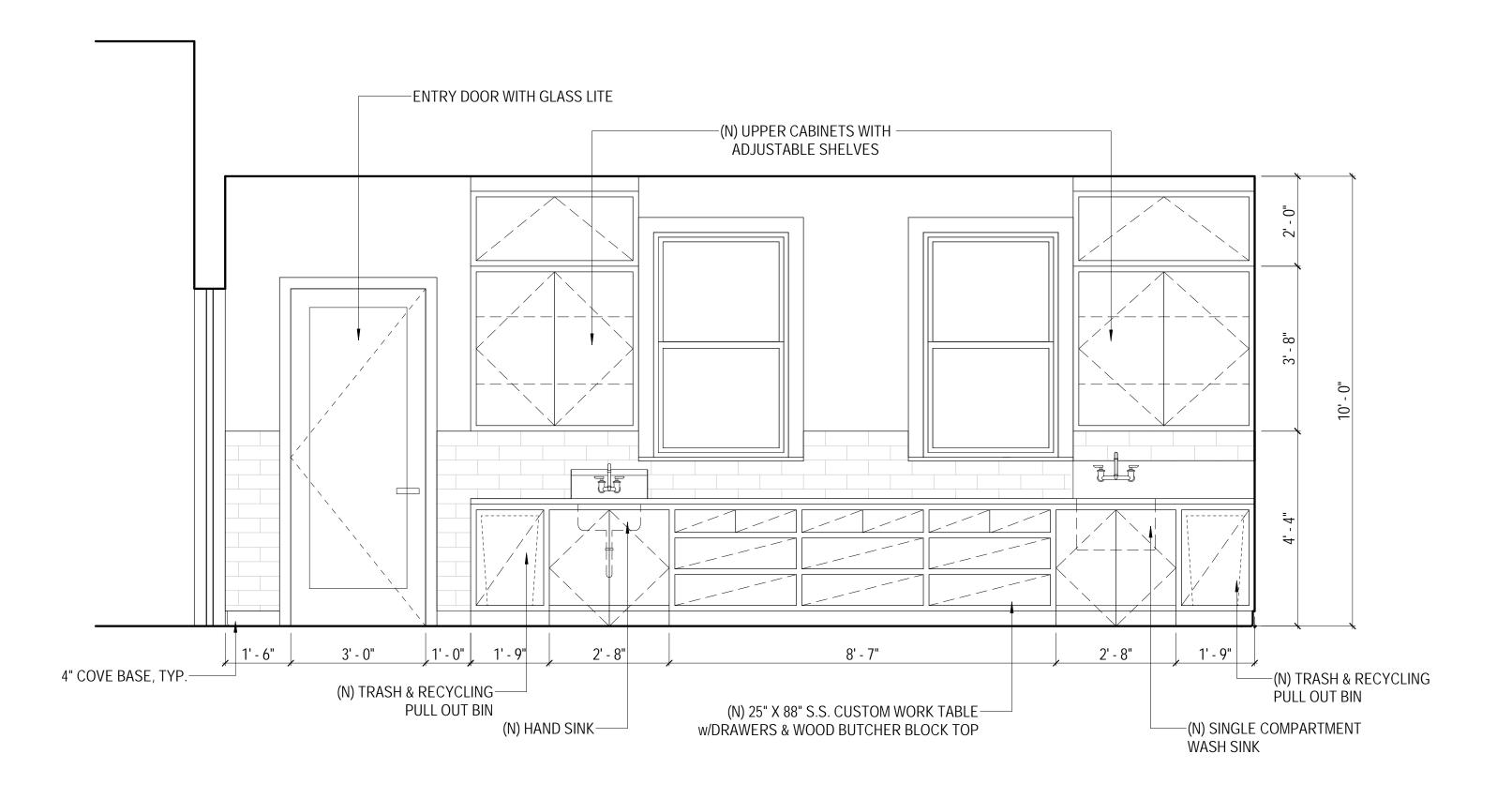
BUILDING SECTIONS

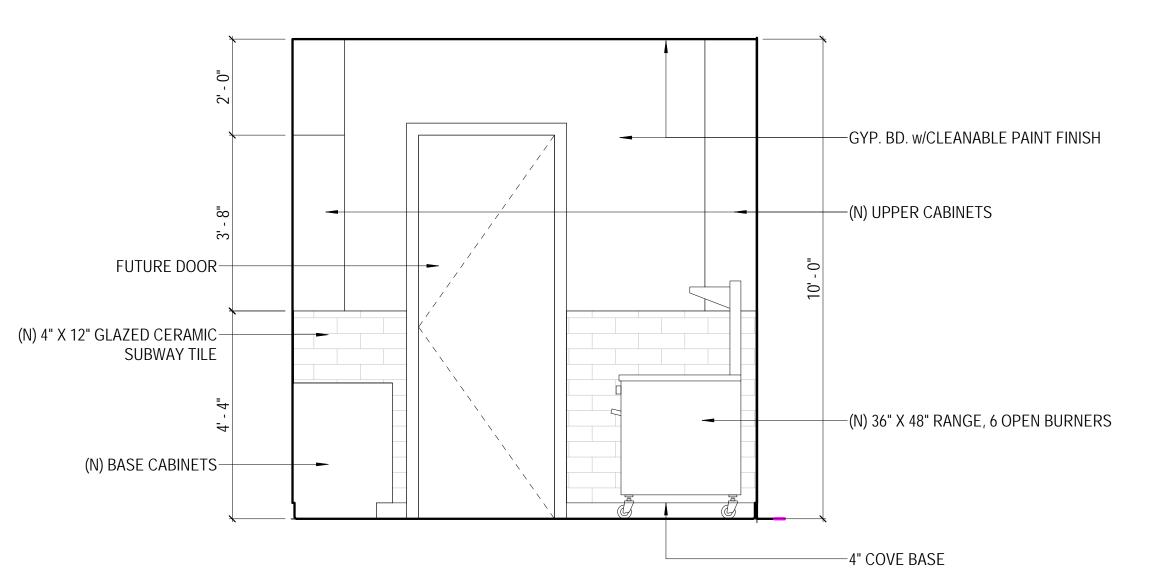
SHEET NUMBER:

A3.1



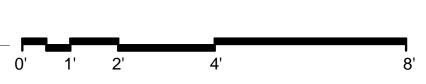
1 GALLEY - EAST ELEVATION SCALE: 1/2" = 1'-0"

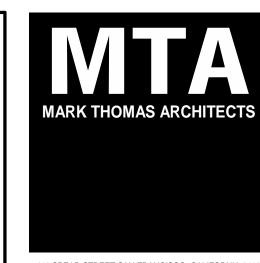




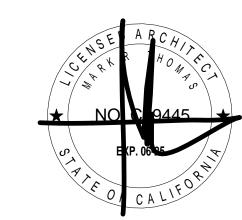
3 GALLEY - WEST ELEVATION
SCALE: 1/2" = 1'-0"
0' 1' 2' 4'

GALLEY - NORTH ELEVATION
SCALE: 1/2" = 1'-0"





440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94109 BLOCK: 0405 LOT: 004

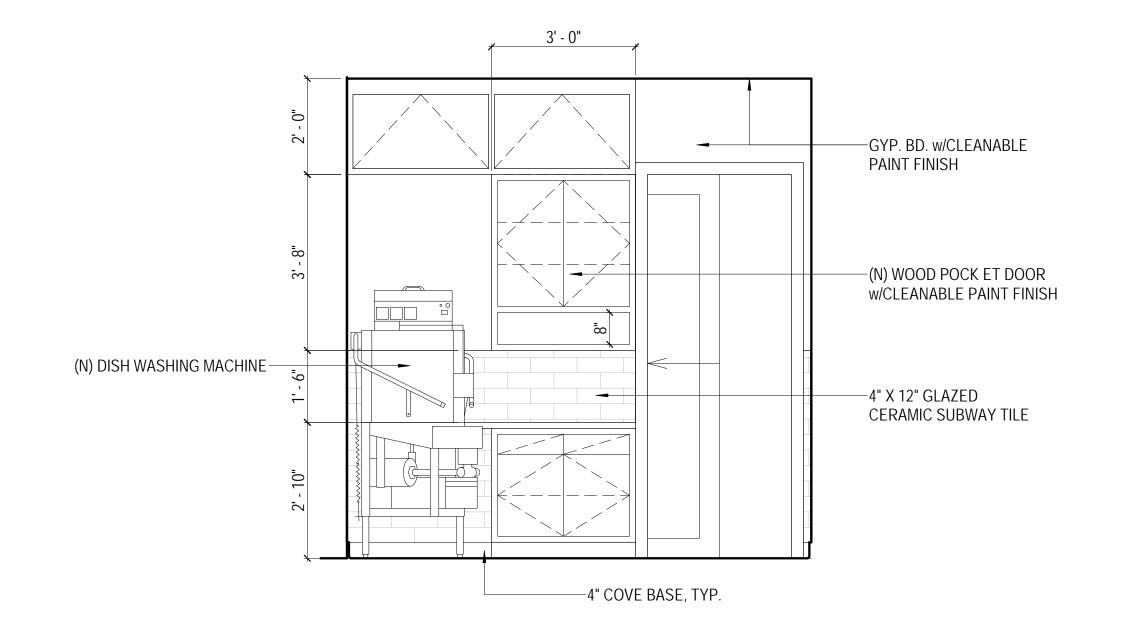
DATE:
09.17.20
09.15.22
03.29.23
05.09.23
11.29.23
09.15.24

DRAWN BY:
SHEET TITLE:

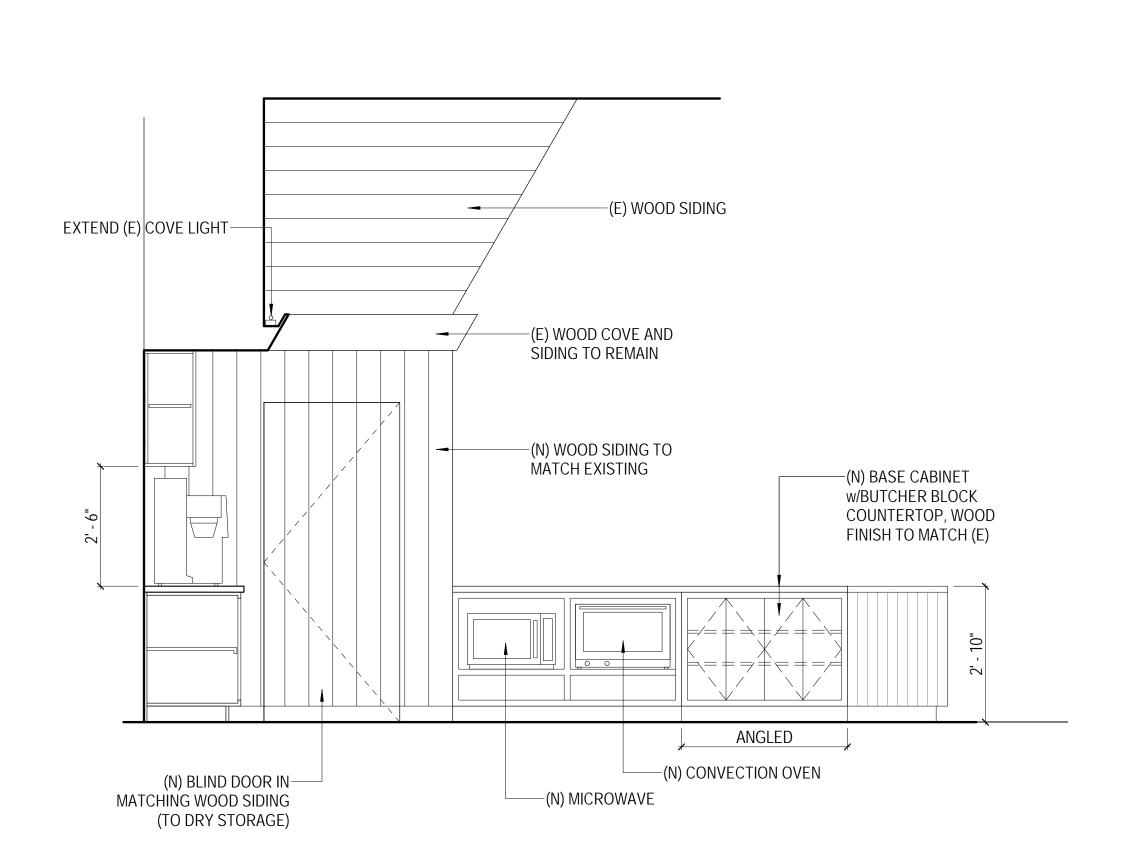
INTERIOR ELEVATIONS

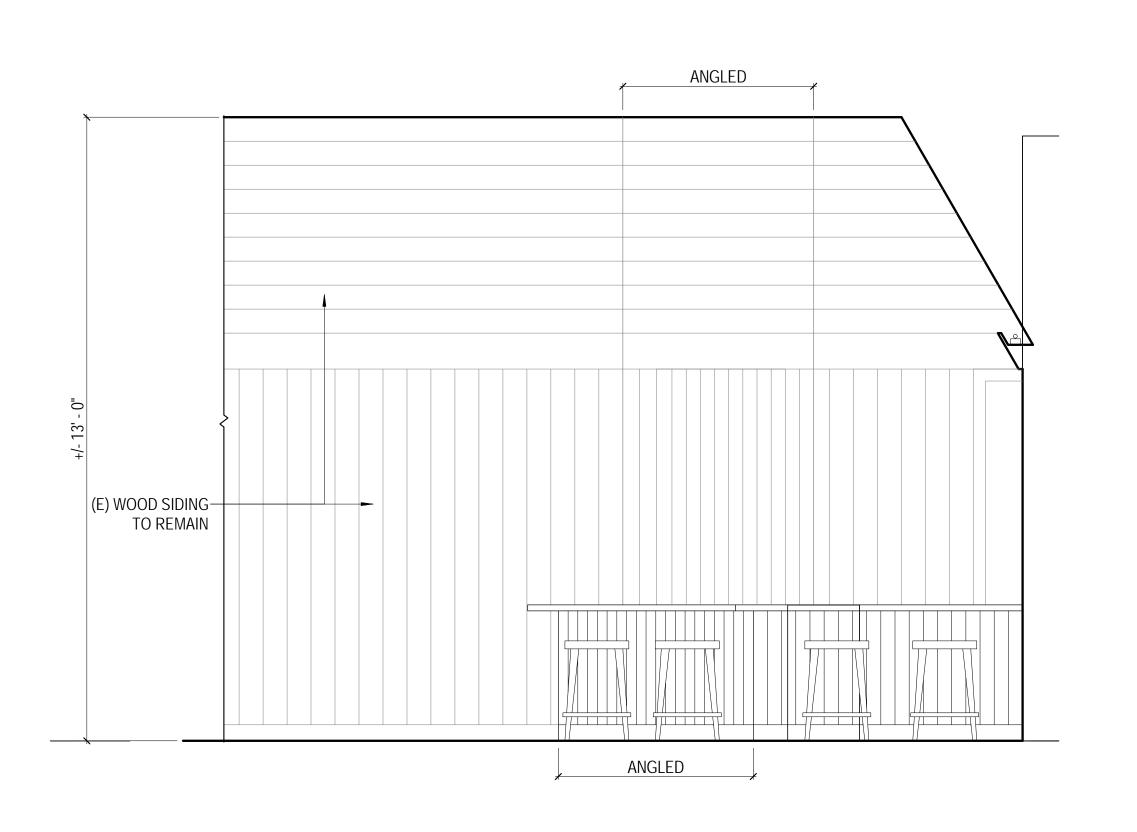
SHEET NUMBER:

A4.1



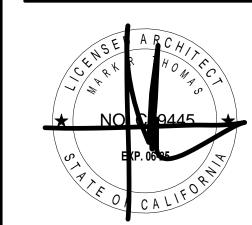
1 GALLEY - SOUTH ELEVATION
SCALE: 1/2" = 1'-0"
0' 1' 2' 4'







440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94109 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

INTERIOR ELEVATIONS

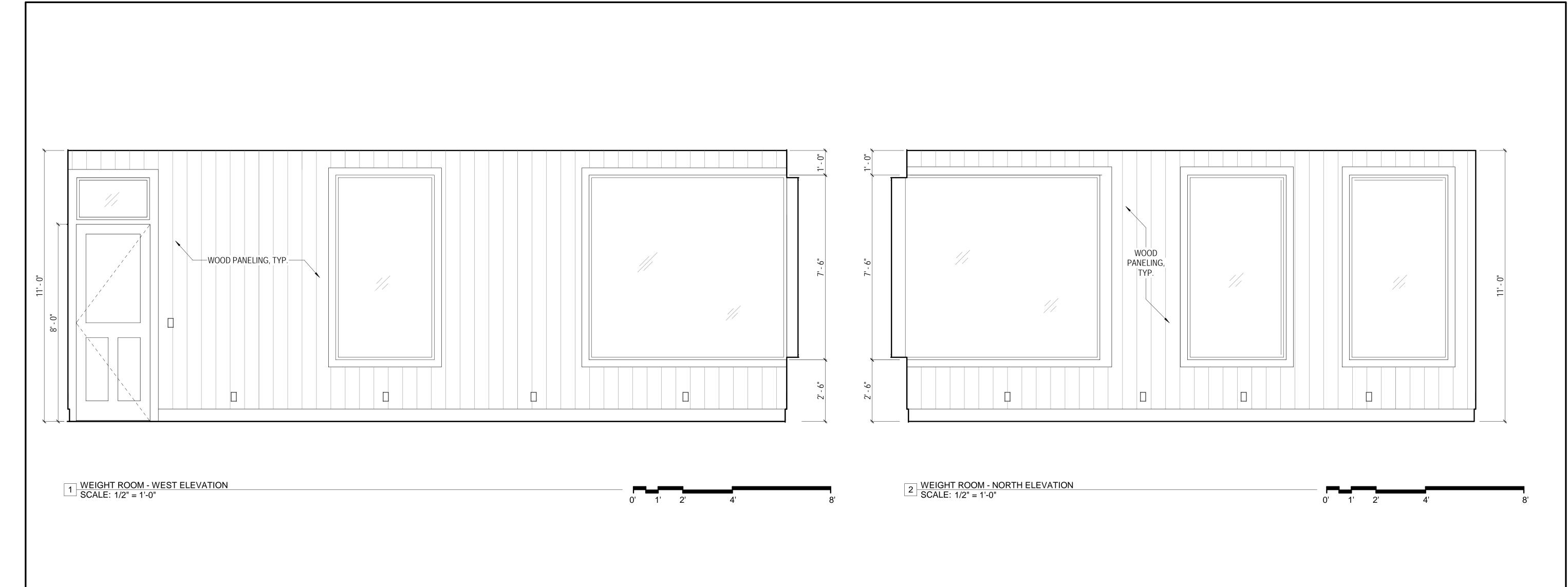
SHEET NUMBER:

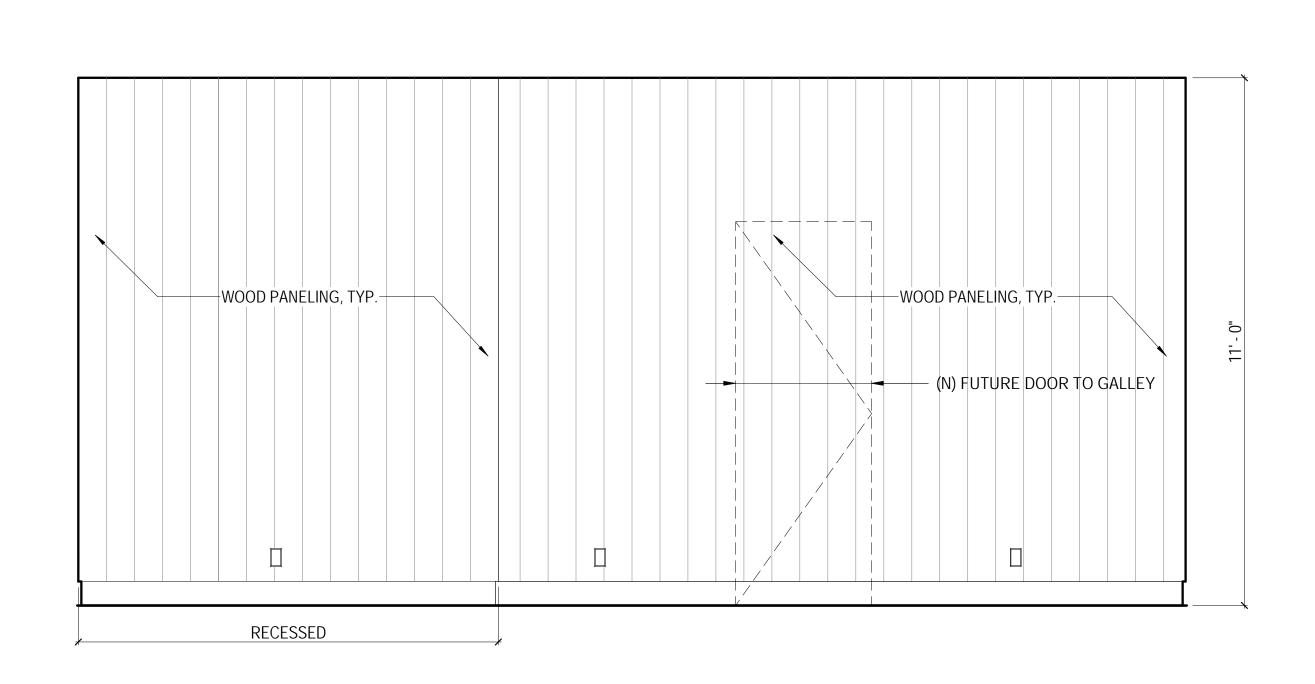
A4.2

BAR - FRONT ELEVATION - OPTION 2 SCALE: 1/2" = 1'-0"

2 SCALE: 1/2'

BAR - INTERIOR ELEVATION - OPTION 2
SCALE: 1/2" = 1'-0"







WEIGHT ROOM - SOUTH ELEVATION

SCALE: 1/2" = 1'-0"

0' 1' 2' 4'

3 WEIGHT ROOM - EAST ELEVATION SCALE: 1/2" = 1'-0"



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94109 BLOCK: 0405 LOT: 004

DATE:
09.17.20
09.15.22
03.29.23
05.09.23
11.29.23
09.15.24

DRAWN BY: SHEET TITLE:

INTERIOR ELEVATIONS

SHEET NUMBER:

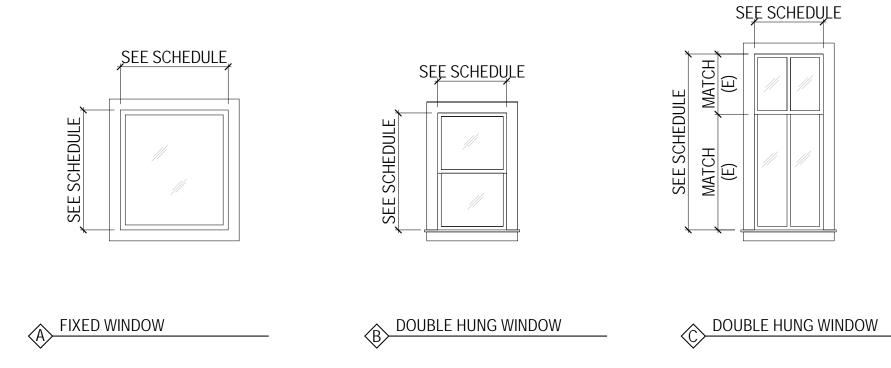
A4.3

WINDOW SCHEDULE

AAII	ADOMA 2	CITED	ULL					
MAI	RK TYPE	WIDTH	HEIGHT	HEAD HT	MATERIAL	FINISH	TEMPER	NOTES
1	А	4' - 0"	7' - 6"	10' - 0"	WOOD	PAINTED	Х	
2	А	4' - 0"	7' - 6"	10' - 0"	WOOD	PAINTED	X	
3	А	8' - 0"	7' - 6"	10' - 0"	WOOD	PAINTED	X	
4	A	8' - 0"	7' - 6"	10' - 0"	WOOD	PAINTED	Х	
5	A	4' - 0"	7' - 6"	10' - 0"	WOOD	PAINTED	X	
6	В	3' - 0"	5' - 0"	8' - 9"	WOOD	PAINTED	Х	
7	В	3' - 0"	5' - 0"	8' - 9"	WOOD	PAINTED	Х	
8	В	3' - 0"	5' - 0"	7' - 6"	WOOD	PAINTED	Х	
9	В	3' - 0"	5' - 0"	7' - 6"	WOOD	PAINTED	Х	
10) В	3' - 0"	5' - 0"	7' - 6"	WOOD	PAINTED	X	
11	В	3' - 0"	5' - 0"	7' - 6"	WOOD	PAINTED	Х	
12	2 B	3' - 0"	5' - 0"	7' - 6"	WOOD	PAINTED	Х	
13	3 A	4' - 6"	5' - 0"	7' - 6"	WOOD	PAINTED	Х	
14	ł C	4' - 0"	7' - 4"	9' - 4"	WOOD	PAINTED	X	
15	5 C	4' - 0"	7' - 4"	8' - 4"	WOOD	PAINTED	Х	
16	C C	4' - 0"	7' - 4"	8' - 4"	WOOD	PAINTED	X	
17	7 C	4' - 0"	7' - 4"	8' - 4"	WOOD	PAINTED	Х	
18	3 C	4' - 0"	7' - 4"	8' - 4"	WOOD	PAINTED	X	

WINDOW GENERAL NOTES

- 1. NEW WINDOW OPENINGS TO BE ENERGY EFFICIENT.
- 2. WINDOW DIMENSIONS INDICATED ABOVE ARE APPROXIMATE FRAME DIMENSIONS. GENERAL CONTRACTOR TO FIELD VERIFY TRUE
- WINDOW SIZE REQUIREMENTS PRIOR TO ORDERING WINDOWS.
- 3. ALL WINDOWS ARE TO BE CUSTOM WOOD WINDOWS, UNLESS NOTED OTHERWISE.
- 4. WINDOW SYMBOLS SHOW VIEW FROM EXTERIOR.

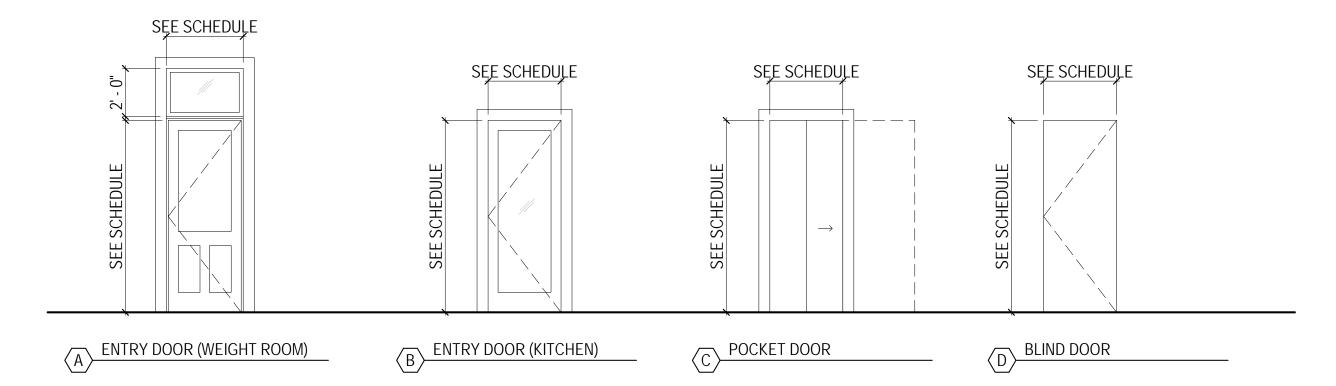


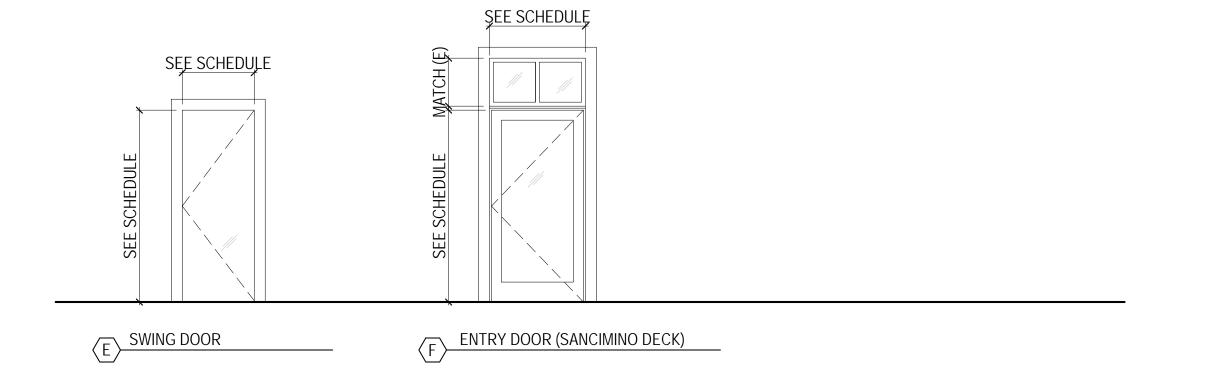
DOOR SCHEDULE

MARK	LOCATION	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	RATING	NOTES
01	(N) GYM	А	3' - 0"	8' - 0"	WOOD	PAINTED	NA	
02	(N) KITCHEN	В	3' - 0"	8' - 0"	WOOD	PAINTED	NA	
03	(N) KITCHEN	С	3' - 0"	8' - 0"	WOOD y>	PAINTEDy>	NA	
04	(N) STORAGE	D	2' - 10"	8' - 0"	WOOD	PAINTED	NA	
05	(E) GALLERY	В	3' - 0"	8' - 0"	WOOD	PAINTED	NA	
07	(N) MEETING ROOM	В	3' - 0"	8' - 0"	WOOD	PAINTED	NA	
08	(E) LOUNGE	F	4' - 0"	8' - 0"	WOOD	PAINTED	NA	
09	(E) RESTROOM	Е	2' - 10"	7' - 6"	WOOD	PAINTED	NA	

DOOR GENERAL NOTES

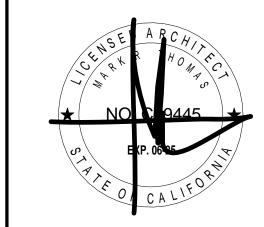
- 1. DIMENSIONS INDICATED ARE OF APPROXIMATE LEAF SIZE OR IN SOME INSTANCES, FINISHED OPENING SIZE.
- 2. STANDARD DOOR THICKNESS TO BE 1-3/4" UNLESS NOTED OTHERWISE.
- 3. ALL FIRE-RATED DOORS SHALL HAVE SMOKE-TIGHT GASKETS AND SELF-CLOSING DEVICES.







440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

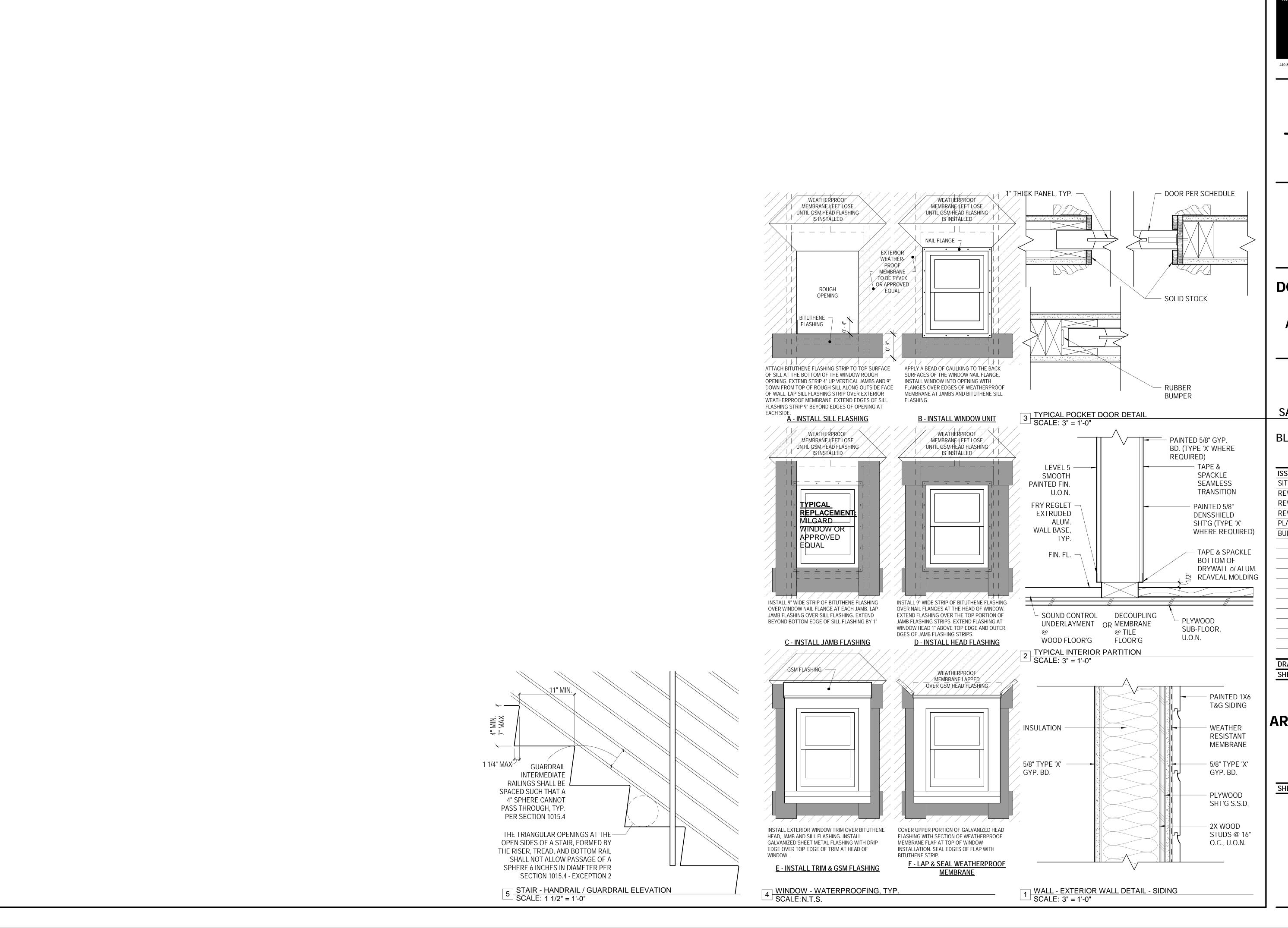
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

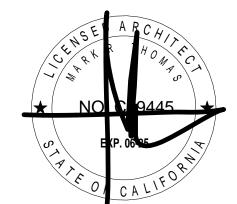
DOOR & WINDOW SCHEDULE

SHEET NUMBER:

A5.1







DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

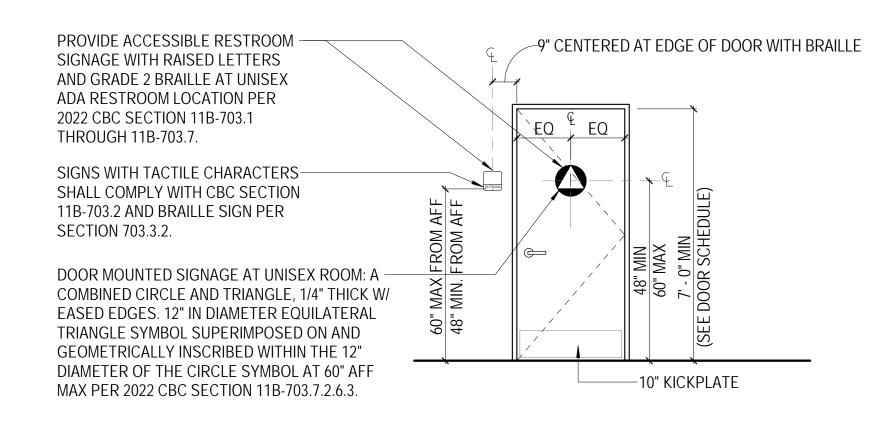
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY:
SHEET TITLE:

ARCHITECTURAL DETAILS

SHEET NUMBER:

A5.2



- 1. SIGNAGE LOCATED ON DOORS IS TO BE CENTERED ON THE WIDTH OF THE DOOR.
- 2. LEVER STYLE HARDWARE TO BE PROVIDED AT BOTH SIDES OF DOOR.
- 3. PICTORAL SYMBOL TO COMPLY WITH 2002 CBC SECTION 11B-703.6. 4. PICTOGRAMS, TEXT, OR BRAILLE SHALL NOT BE LOCATED ON THE GEOMETRIC RESTROOM SYMBOL REQUIRED ON A RESTROOM DOOR.

2 SIGNAGE MOUNTING REQUIREMENTS SCALE: 3/8" = 1'-0"

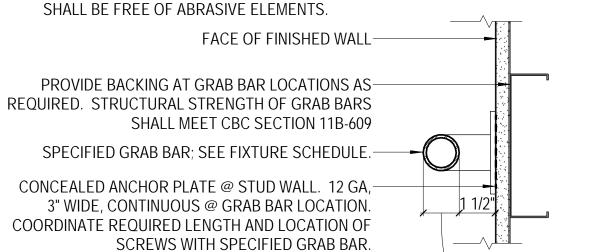
UNDERSINK CLEARANCES
SCALE: 12" = 1'-0"

3 SIGNAGE MOUNTING REQUIREMENTS SCALE: 1/4" = 1'-0"

LOCATION OF MIRROR-MIN. WATER SUPPLIES AN DRAIN PIPES BELOW LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT PER CBC SECTION 11B-606.5 AND CPC 403.3. THE PROTECTORS, INSULATORS OR BOTH SHALL COMPLY WITH ASME A112.18.9 OR ASTM C1822. 17" MIN.

THE STRUCTURAL STRENGTH OF GRAB BARS SHALL MEET THE FOLLOWING SPECIFICATIONS:

- A. BENDING STRESS AND SHEAR STRSS INDUCED IN A GRAB BAR BY THE APPLICATION OF A 250-POUND POINT LOAD SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR, AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
- B. SHEAR FORCE INDUCED IN FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF A 250-POUND POINT LOAD SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
- C. TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF A 250-POUND POINT LOAD, PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF A 250-POUND POINT LOAD, SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER AND SUPPORTING STRUCTURE
- D. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS. EDGES SHALL HAVE MINIMUM RADIUS OF 1/8", GRAB BAR AND ADJACENT SURFACE



1-1/4" MIN TO 2" MAX

ACCESSIBILITY REQUIREMENTS
SCALE: 3" = 1'-0"

7' - 4" 60" MIN. 17" MIN. CLEAR SPACE 30" X 48" 100 09

ENLARGED PLAN - FLOOR 01 - ACCESSIBLE RESTROOM SCALE: 1/2" = 1'-0"

PLUMBING FIXTURE LEGEND

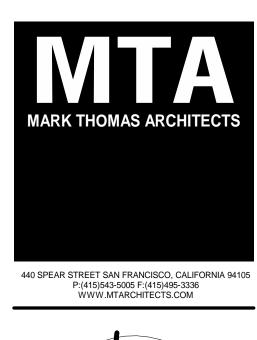
А	WALL MOUNTED TOILET PAPER DISPENSER	EXISTING
В	WALL MOUNTED STAINLESS STEEL GRAB BAR	EXISTING
С	WALL MOUNTED ACCESSIBLE LAVATORY	EXISTING
D	PAPER TOWEL DISPENSER / WASTE RECEPTABLE	EXISTING
E	WALL MOUNTED SANITARY NAPKIN DISPOSAL	EXISTING
F	ACCESSIBLE WARDROBE HOOK	EXISTING
G	WALL MOUNTED SOAP DISPENSER	EXISTING
Н	FLOOR MOUNTED ACCESSIBLE WATER CLOSET	EXISTING
1	TEMPERED MIRROR IN MTL FRAME	EXISTING
J	ACCESSIBLE WALL MOUNTED URINAL	EXISTING
•		

ACCESSIBILITY KEYNOTES

1. PROVIDE HAND OPERATED OR AUTOMATIC FLUSH CONTROLS FOR WATER CLOSETS PER CBC 11B-604.6:

FOR HAND OPERATED FLUSH CONTROLS

- A. CONTROLS TO BE LOCATED A MAXIMUM OF 44 INCHES ABOVE THE FINISHED FLOOR. B. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS. (22.2N) MAXIMUM PER SECTION 11B-309.4
- 2. PER 11B-603.2.3 DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE REQUIRED FOR ANY FIXTURE EXCEPT, WHERE THE TOILET ROOM IS FOR INDIVIDUAL USE AND A 30" X 48" CLEAR FLOOR SPACE IS PROVIDED WITH THE ROOM BEYOND THE ARC OF THE DOOR SWING.
- 3. PROVIDE 48" MIN. CLEAR MANEUVERING SPACE IN FRONT OF THE WATER CLOSET PER SECTION 11B-604.8.1.1.3.
- 4. KNEE AND TOE CLEARANCE PER CBC 11B-306.3.3. KNEE CLEARANCE SHALL BE 11 INCHES DEEP MINIMUM AT 9 INCHES ABOVE THE FINISH FLOOR AND 8 INCHES DEEP MINIMUM AT 27 INCHES ABOVE THE FINISH FLOOR.
- 5. WATER SUPPLIES AND DRAIN PIPES BELOW LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT PER CBC SECTION 11B-606.5 AND CPC 403.3. PROTECTORS, INSULATORS OR BOTH SHALL COMPLY WITH ASME A112.18.9 OR ASTM C1822.



DOLPHIN CLUB

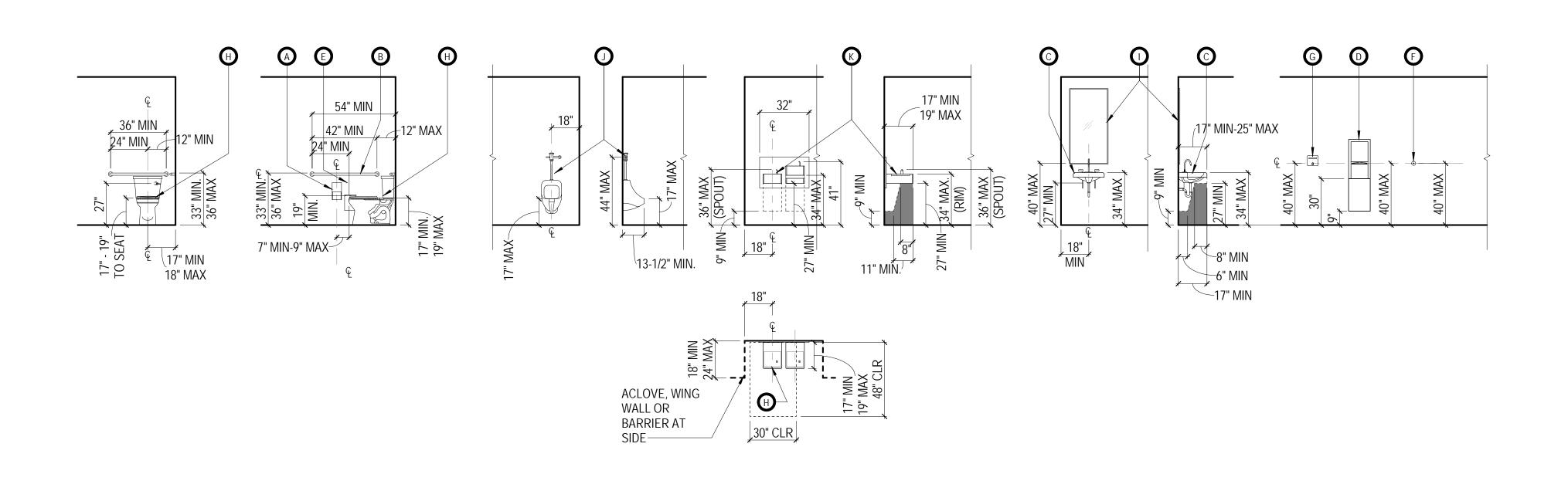
ALTERATIONS & ADDITION

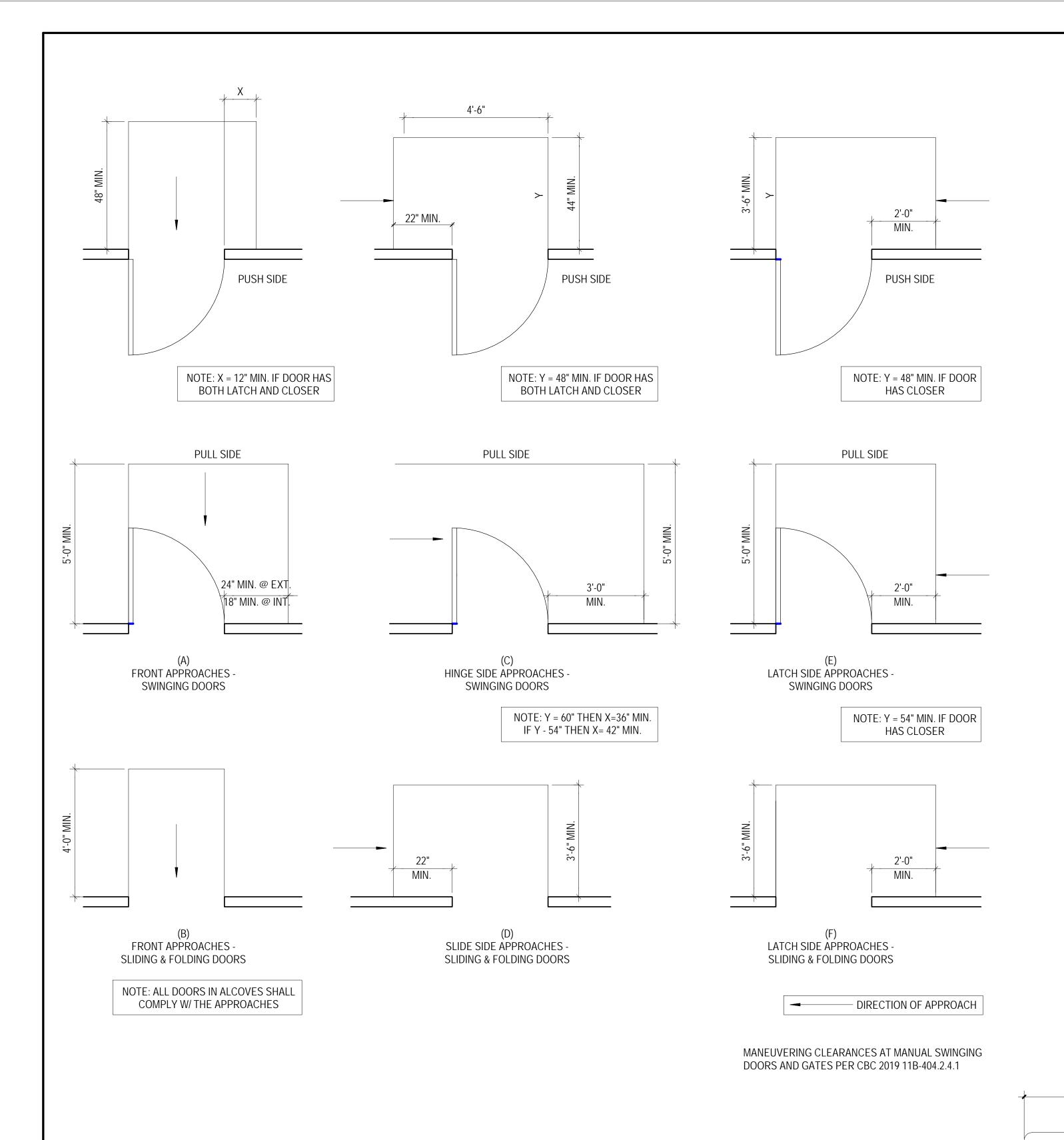
502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

ACCESSIBILITY DETAILS





DOOR ACCESSIBILITY NOTES

- 1. AUTOMATIC DOORS: WHEN AN AUTOMATIC DOORS OPERATOR IS UTILIZED TO OPERATE A PAIR OF DOORS, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- 2. FLOOR LEVEL AT DOORS: REGARDLESS OF THE OCCUPANT LOAD, THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR PER 2019 CBC SECTIONS 1010.1.6 AND 11B-404.2.4.4.
- 3. THRESHOLDS: THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY PER 2019 CBC SECTION 11B-404.2.5 AND SECTION 11B-303.4. CHANGE IN LEVEL BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL. CHANGE IN LEVEL GREATER THAN 1/2 INCH SHALL BE ACCOMPLISHED BY MEANS OF A RAMP.
- 4. MANUEVERING CLEARANCES AT DOORS: MIN. MANUEVERING CLEARANCES AT DOORS SHALL BE PER CBC 11B-404.2.4. THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR.
- 5. SWINGING DOORS AND GATES SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH TABLE 11B-404.2.4.1. DOORWAYS LESS THAN 36 INCHES WIDE WITHOUT DOORS OR GATES, SLIDING DOORS AND FOLDING DOORS SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH TABLE 11B-404.2.4.2. RECESSED DOORS AND GATES SHALL COMPLY WITH SECTION 11B-404.2.3.
- 6. THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR THE INTERIOR DOORS.
- 7. PER CBC SECTIONS 11B-404.2.6 AND 1010.1.8, THE DISTANCE BETWEEN TWO HINGED OR PIVOTED DOORS IN SERIES AND GATES IN SERIES SHALL BE 48 INCHES MINIMUM PLUS THE WIDTH OF DOORS AND GATES SWINGING INTO THE SPACE DOORS IN A SERIES SHALL SWING EITHER IN TE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN THE DOORS.
- 8. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE SHALL BE PER CBC 11B-404.2.9: 5 LBS MAX. AT INTERIOR DOORS, 5 LBS MAX. FOR SLIDING OR FOLDING DOORS, 5 LBS MAX. FOR EXTERIOR HINGED DOORS. AT REQUIRED FIRE DOORS, THE MINIMUM OPENING FORCE SHALL NOT EXCEED 15 LBS. DOORS & GATES EQUIPPED WITH SELF-CLOSING DEVICES SHALL BE PER CBC 11B-404.2.9.
- 9. HAND OPERATED DOOR HARDWARE SHALL BE CENTERED VETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR PER CBC 11B-404.2.7. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND WHICH ARE IN THE PATH OF TRAVEL SHALL BE OPERABLE WITH ONE HAND BY LEVER TYPE HARDWARE, PANIC BAR PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROIVDE PASSAGE WITHOUT REQUIRING TIGHT GRAPSHIN, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 LBS. MAX. PER CBC 11B-309.4.
- 10. SMOOTH SURFACE: PER CBC 11B-404.2.10 THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENING BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10 INCH HIGH SMOOTH PANEL SHALL BE INSALLED ON THE PUSH SIDE OF THE DOOR ,WHICH WILL ALOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- 11. ALL EXIT DOORS TO SWING IN THE DIRECTION OF TRAVEL AND BE OPERABLE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE
- 12. REGARDLESS OF THE OCCUPANT LOAD SERVED, EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPEICAL KNOWLEDGE OR EFFORT.

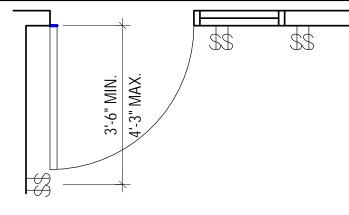
INTERNATIONAL SYMBOL FOR ACCESSIBILITY

SHALL CONSIST OF A WHITE FIGURE ON A

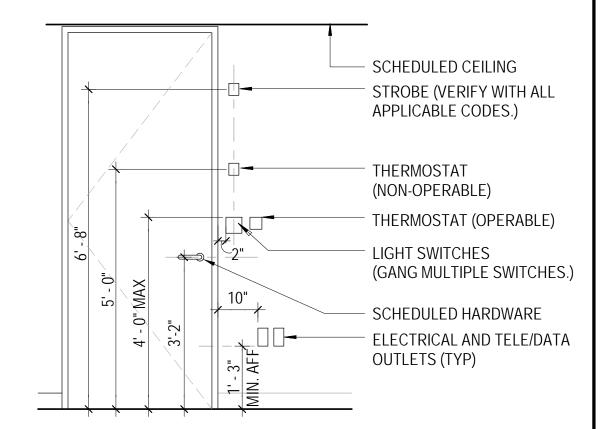
BUILDING OR ROOM NAME AND NUMBER. 1"

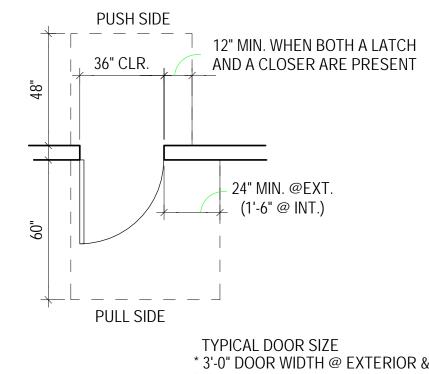
HIGH LETTERS RAISED 1/32" PER 11B-703.2.

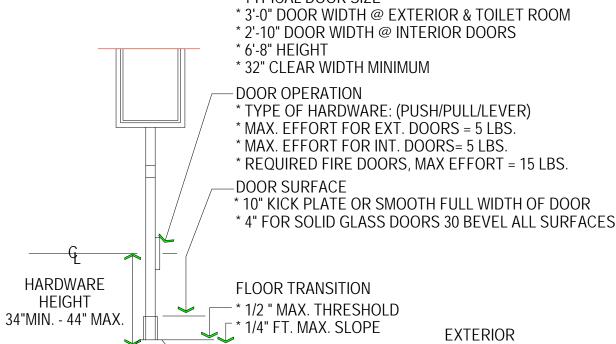
BLUE BACKGROUND PER 11B-703.7.2.1

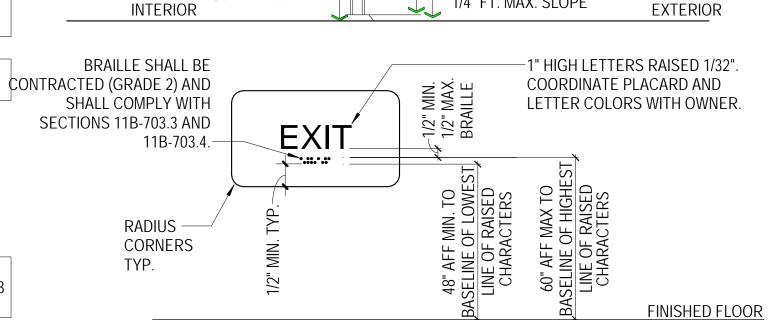


NOTE: ALL DEVICE LOCATIONS SHOWN BELOW ARE DIMENSIONED WITH RESPECT TO THE STRIKE SIDE DOOR JAMB. WHERE SIDELIGHT OCCURS, SHIFT ALL DEVICES TO INDICATED DISTANCES WITH RESPECT TO SIDELIGHT JAMB. REFERENCE ARCHITECTURAL THEN ELECTRICAL DRAWINGS AT EACH DOOR TO DETERMINE IF SWITCHES ARE LOCATED ON DOOR WALL OR SIDE WALL. NOTIFIY ARCHITECT PRIOR TO INSTALLATION WHERE LOCATION IS NOT CLEAR. ALL DEVICES SHALI ALIGN VERTICALLY WHERE POSSIBLE AT INDICATED SWITCH LOCATION





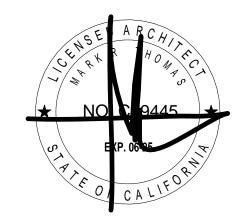




- 1. SIGNS FOR MEANS OF EGRESS SHALL COMPLY WITH SECTION 11B-216.4, 1013.4, AND 11B-703
- FOR TACTILE EXIT SIGNS. 2. PLACARD MATERIAL TO BE 1/8" THICK ES PLASTIC WITH 1/32" RAISED BORDER GRAPHICS AND LETTERS. PROVIDE MECHANICAL MOUNTING WITH VANDAL-RESISTANT FASTERNERS.
- 3. LOCATE SIGN ON LATCH SIDE OF THE DOOR IN ACCORDANCE WITH SECTIONS 11B-703.4. 4. PROVIDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AT ALL ACCESSIBLE ENTRY DOORS IN ACCORDANCE WITH SECTIONS 11B-216.6 AND 11B-703.7.2.1, AND IF NOT ALL ENTRANCES ARE ACCESSIBLE, PROVIDE DIRECTIONAL SIGNS COMPLYING WITH SECTION 11B-703.5 INCLUDING THE ISA TO INDICATE THE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE AT ALL NON-ACCESSIBLE ENTRY DOORS AND AT ALL JUNCTIONS WHERE THE ACCESSIBLE ROUTE DIVERGES FROM THE REGULAR CIRCULATION PATH.

ACCESSIBLE EXIT SIGN SCALE: 3" = 1'-0"

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY:

SHEET TITLE:

ACCESSIBILITY DETAILS

SHEET NUMBER:

BRAILLE SHALL BE CONTRACTED (GRADE 2) AND SHALL COMPLY WITH SECTIONS 11B-703.3 AND 11B-703.4. 1. PER SECTION 11B-216.2 INTERIOR AND EXTERIOR SIGNS IDENTIFYING PERMANENT ROOMS AND SPACES SHALL COMPLY WITH SECTIONS 11B-703.1, 11B-703.2, 11B-703.3 AND 11B-703.5. WHERE PICTOGRAMS ARE PROVIDED AS DESIGNATIONS OF PERMANENT ROOMS AND SPACES, THE PICTOGRAMS SHALL COMPLY WITH SECTION 11B-703.6 AND SHALL HAVE TEXT DESCRIPTORS COMPLYING WITH SECTIONS 11B-703.2 AND 11B-703.5

MIN. MAX

1/2" 1/2" BRA

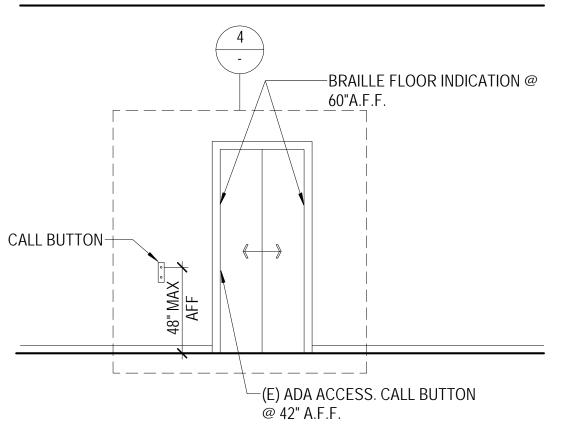
2. PLACARD MATERIAL TO BE 1/8" THICK ES PLASTIC WITH 1/32" RAISED BORDER GRAPHICS AND LETTERS. PROVIDE MECHANICAL MOUNTING WITH VANDAL-RESISTANT FASTENERS. LOCATE AT INTERIOR SIDE OF ALL DESIGNATED EXIT DOORS. SEE FLOOR PLAN. 3. LOCATE SIGN ON LATCH SIDE OF THE DOOR IN ACCORDANCE WITH SECTIONS 11B-703.4

2 ACCESSIBLE ROOM NAME SIGN SCALE: 3" = 1'-0"

ROUTE PLACARD/

NAMÉ

NUMBER



6 ELEVATOR LOBBY - TYPICAL SCALE: 1/4" = 1'-0"

RAISED CHARACTERS OR --5/8" MIN. NUMERAL HEIGHT. 3/4" MIN. SYMBOLS AND BRAILLE **(**5) BUTTON DIA. DESIGNATIONS SHALL BE PLACED IMMEDIATELY TO THE LEFT OF THE CONTROL ₹3/8" MIN. SEPERATION BUTTON TO WHICH THE -PLACE STAR DESIGNATIONS APPLY. ALONGSIDE MAIN EXIT FLOOR NO. NOTES: +35" A.F.F. 1. RAISED NUMBERS & LETTER ALARM STOP TO BE WHITE ON BLACK BACKGROUND. -CONTROL 2. CONTROL BUTTONS W/ PANEL SQUARE SHOULDERS TO BE RAISED 1/8" & BE MECHANICAL & -RAIL ILLUMINATE WHEN PRESSED 3. MIN. CONTROL MEASUREMENT: ENTIRE FACE OF LIGHTED BUTTONS 1-\" MIN MUST FULLY ILLUMINATE CLR. WITH HIGH INTESITY WHITE LIGHT.

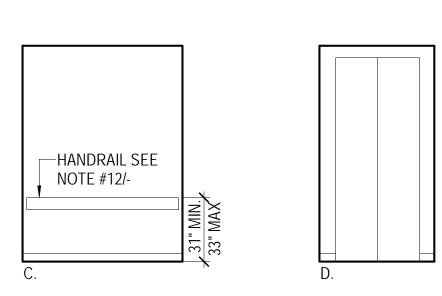
5 ELEVATOR CONTROL PANEL SCALE:1:1

CAR POSITION INDICATOR SEE NOTE -WALL LANTERN SEE NOTE #15/-FLOOR LANDING NUMBERS ON BOTH SIDES OF DOOR JAMB AND RAISED STAR ON GRADE LEVEL. SEE NOTES # 16/- AND #17/-CALL BUTTON WHERE OCCURS. SEE NOTE #14/-NOTE: THE AUTOMATIC DOOR REOPENING DEVICE IS ACTIVATED IF AN OBJECT PASSES THROUGH EITHER LINE A OR B. LINE A AND LINE B REPRESENT THE VERTICAL LOCATION OF THE DOOR REOPENING DEVICE

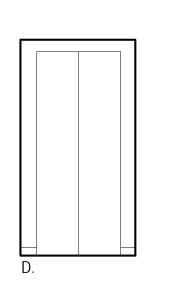
NOT REQUIRING CONTACT. SEE NOTE #4/-

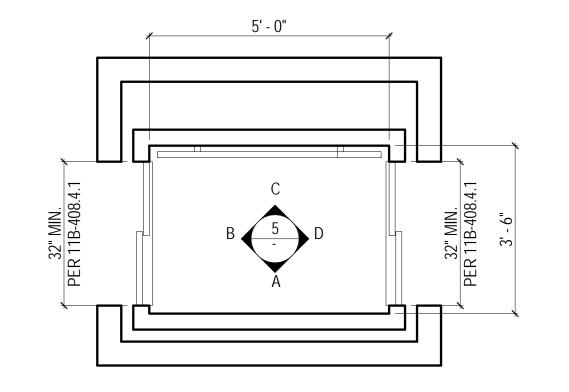
4 ELEVATOR ENTRANCE SCALE:1:1

ELEVATOR CONTROL PANEL WITH LIGHTED NUMBERS AND BRAILLE SIGNAGE -EMERGENCY PHONE SEE NOTE #10/-



1 ELEVATOR ACCESSIBILITY NOTES SCALE:1:1





ELEVATOR ACCESSIBILITY NOTES

OPERATION AND LEVELING: THE ELEVATOR SHALL BE AUTOMATIC AND BE PROVIDED WITH A SELF-LEVELING FEATURE THAT WILL ALLOW A TOLERANCE OF PLUS OR MINUS 1/2 INCH UNDER NORMAL LOADING AND UNLOADING CONDITIONS. THIS SELF LEVELING SHALL, WITHIN ITS ZONE, BE ENTIRELY AUTOMATIC AND INDEPENDENT OF THE OPERATING DEVICE AND SHALL CORRECT THE OVERTRAVEL OR UNDERTRAVEL. THE CARE SHALL ALSO BE MAINTAINED APPROXIMATELY LEVEL WITH THE LANDING, IRRESPECTIVE OF LOAD.

2. DOOR OPERATION: POWER-OPERATED HORIZONTALLY SLIDING CAR AND HOISTWAY DOORS OPENED AND CLOSED BY MEANS SHALL BE PROVIDED. PROVIDE DOOR CLOSING DELAY AND MINIMUM 5 SECOND FULLY OPEN.

3. DOOR SIZE: MINIMUM CLEAR WIDTH FOR ELEVATOR DOORS SHALL BE 36 INCHES.

4. DOOR PROTECTIVE AND REOPENING DEVICES: DOORS CLOSED BY AUTOMATIC MEANS SHALL BE PROVIDED WITH A DOOR-REOPENING DEVICE THAT WILL FUNCTION TO STOP AND REOPEN A CAR DOOR AND ADJACENT HOISTWAY DOOR IN CASE THE CAR DOOR IS OBSTRUCTED WHILE CLOSING. THIS REOPENING DEVICE SHALL ALSO BE CAPABLE OF SENSING AN OBJECT OR PERSON IN THE PATH OF A CLOSING DOOR WITHOUT REQUIRING CONTACT FOR ACTIVATION AT A NOMINAL 5 INCH AND 29 INCHES ABOVE THE FLOOR.

HALL CALL: THE MINIMUM ACCEPTABLE TIME FROM NOTIFICATION THAT A CAR IS ANSWERING A CALL (LANTERN AND AUDIBLE SIGNAL) UNTIL THE DOORS OF THAT CAR START TO CLOSE SHALL BE AS INDICATED IN THE FOLLOWING TABLE:

0 TO 5 FT. 4 SECONDS 7 SECONDS 15 FT. 10 SECONDS 13 SECONDS 20 FT.

THE DISTANCE SHALL BE ESTABLISHED FROM A POINT IN THE CENTER OF THE CORRIDOR LOBBY DIRECTLY OPPOSITE THE FARTHEST HALL BUTTON TO THE CENTER LINE OF THE HOISTWAY ENTRANCE.

6. CAR CALL: THE MIN. ACCEPTABLE TIME FOR DOORS TO REMAIN FULLY OPEN SHALL NOT BE LESS THAN THREE SECONDS.

7. CAR DIMENSION: LULA ELEVATOR CARS SHALL PROVIDE A CLEAR WIDTH 42 INCHES MINIMUM AND A CLEAR DEPTH 54 INCHES MINIMUM PER 11B-408.4.1.

8. CAR CONTROLS: CAR CONTROLS SHALL BE READILY ACCESSIBLE FROM A WHEELCHAIR UPON ENTERING AN ELEVATOR AND SHALL BE CENTERED ON ONE OF THE SIDE WALLS OF THE CAR PER 11B-408.4.6. THE CENTERLINE OF THE ALARM BUTTON AND EMERGENCY STOP SWITCH SHALL BE AT A NOMINAL 35 INCHES, AND THE HIGHEST FLOOR BUTTON NO HIGHER THAN 48 INCHES AFF PER11B-408.4.6 AND 11B-407.4.6. FLOOR REGISTRATION BUTTONS, EXCLUSIVE OF BORDER, SHALL BE A MINIMUM 3/4 INCH IN SIZE, RAISED FLUSH OR RECESSED. VISUAL INDICATION SHALL BE PROVIDED TO SHOW EACH CALL REGISTERED AND EXTINGUISHED WHEN THE CALL IS ANSWERED. DEPTH OF FLUSH OR RECESSED BUTTONS WHEN OPERATED SHALL NOT EXCEED 3/8 INCH. MARKINGS SHALL BE ADJACENT TO THE CONTROLS ON A CONTRASTING COLOR BACKGROUND TO THE LEFT OF THE CONTROLS. LETTERS OR NUMBERS SHALL BE A MINIMUM OF 5/8 INCH HIGH AND RAISED 1/32 INCH. APPLIED PLATES PERMANENTLY ATTACHED SHALL BE ACCEPTABLE. EMERGENCY CONTROLS SHALL BE GROUPED TOGETHER AT THE BOTTOM OF THE CONTROL PANEL. CONTROLS NOT ESSENTIAL TO THE AUTOMATIC OPERATION OF THE ELEVATOR MAYBE LOCATED AS CONVENIENT

9. CAR POSITION INDICATOR AND SIGNAL: A CAR POSITION INDICATOR SHALL BE PROVIDED ABOVE THE CAR OPERATING PANEL OR OVER THE OPENING OF EACH CAR TO SHOW THE POSITION OF THE CAR IN THE HOISTWAY BY ILLUMINATION OF THE INDICATION CORRESPONDING TO THE LANDING AT WHICH THE CAR IS PASSING. INDICATIONS SHALL BE ON A CONTRASTING COLOR BACKGROUND AND A MIN. OF 1/2 INCH IN HEIGHT. IN ADDITION, AN AUDIBLE SIGNAL SHALL SOUND TO TELL A PASSENGER THAT THE CAR IS STOPPING OR PASSING A FLOOR SERVED BY THE ELEVATOR.

10. EMERGENCY COMMUNICATION: PER SECTION 11B-407.4.9 EMERGENC' TWO-WAY COMMUNICATION SYSTEMS SHALL COMPLY WITH SECTION 11B-308. EMERGENCY TWO-WAY COMMUNICATION SYSTEMS BETWEEN THE ELEVATOR AND A POINT OUTSIDE THE HOISTWAY SHALL COMPLY WITH ASME A17.1, AND IN ADDITION, THE TWO-WAY COMMUNICATION SYSTEM SHALL MEET THE FOLLOWING REQUIREMENTS PER CBC SECTION 3001.2: IS A VISUAL AND TEXT-BASED AND A VIDEO-BASED 24/7 LIVE INERACTIVE SYSTEM. IS FULLY ACCESSIBLE BY THE DEAF, HARD OF HEARING AND SPEECH IMPAIRED, AND SHALL INCLUDE VOICE-ONLY OPTIONS FOR HEARING INDIVIDUALS. HAS THE ABILITY TO COMMUNICATE WITH EMERGENCY PERSONNEL UTILIZING EXISTING VIDEO CONFERENCE TECHNOLOGY. CHAT/TEXTSOFTWARE OR OTHER APPROVED TECHNOLOGY IF A TELEPHONE IS PROVIDED, IT SHALL BE LOCATED A MAXIMUM OF 54 INCHES FROM THE FLOOR WITH A MINIMUM CORD LENGTH OF 29 INCHES. MARKINGS OR THE INTERNATIONAL SYMBOL FOR TELEPHONES SHALL BE ADJACENT TO THE CONTROL ON A CONTRASTING COLOR BACKGROUND. LETTERS OR NUMBERS SHALL BE A MINIMUM OF 5/8 INCH HIGH AND RAISED OR RECESSED 1/32 INCH. APPLIED PLATES PERMANENTLY ATTACHED SHALL BE ACCEPTABLE.

11. FLOOR COVERING: FLOOR COVERING SHALL HAVE A NON-SLIP HARD SURFACE THAT PERMITS EASY MOVEMENT OF WHEELCHAIRS. IF CARPETING IS USED, IT SHALL BE SECURELY ATTACHED, HEAVY DUTY, WITH A TIGHT WEAVE AND LOW PILE, INSTALLED WITHOUT PADDING.

12. SUPPORT RAIL: SUPPORT RAILS SHALL BE PROVIDED ON AT LEAST ONE WALL OF THE CAR, PREFERABLY THE REAR. CLEARANCE BETWEEN SUPPORT RAILS AND ADJACENT SURFACES SHALL BE 1 1/2 INCHES MINIMUM. TOP OF SUPPORT RAILS SHALL BE 31 INCHES MNIMUM TO 33 INCHES MAXIMUM ABOVE THE FLOOR OF THE CAR. THE ENDS OF THE SUPPORT RAIL SHALL BE 6 INCHES MAXIMUM FROM ADJACENT WALLS PER CBC 2019 SECTION 11B-407.4.10.1. SUPPORT RAILS SHALL BE SMOOTH AND ANY SURFACE ADJACENT TO THEM SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS PER 11B-407.4.10.2. ALLOWABLE STRESSES SHALL NOT BE EXCEEDED FOR MATERIALS USED WHEN A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS IS APPLIED AT ANY POINT ON THE SUPPORT RAIL, FASTENER, MOUNTING DEVICE OR SUPPORTING STRUCTURE PER 11B--407.4.10.3.

13. MINIMUM ILLUMINATION: THE MINIMUM ILLUMINATION AT THE CAR CONTROLS, THRESHOLD AND LANDING WHEN THE CAR AND LANDING DOOR S ARE OPEN SHALL NOT BE LESS THAN 5 FOOT CANDLES

14. HALL BUTTONS: THE CENTER LINE OF THE HALL CALL BUTTONS SHALL BE A NOMINAL 42 INCHES AFF (48" MAX). DIRECTION BUTTONS, EXCLUSIVE OF BORDER, SHALL BE A MINIMUM OF 3/4 INCH IN SIZE, RAISED, FLUSH, OR RECESSED. VISUAL INDICATION SHALL BE PROVIDED TO SHOW EACH CALL REGISTERED AND EXTINGUISHED WHEN THE CALL IS ANSWERED. DEPTH OF FLUSH OR RECESSED BUTTON WHEN OPERATED SHALL NOT EXCEED 3/8 INCH.

15. HALL LANTERN: A VIABLE AND AUDIBLE SIGNAL SHALL BE PROVIDED AT EACH HOISTWAY ENTRANCE INDICATING TO THE PROSPECTIVE PASSENGER THE CAR ANSWERING THE CALL AND ITS DIRECTION OF TRAVEL. THE VIABLE SIGNAL FOR EACH DIRECTION SHALL BE A MINIMUM OF 2.5 INCHES IN SIZE AND VISIBLE FROM THE PROXIMITY OF THE HALL CALL BUTTON. THE AUDIBLE SIGNAL SHALL SOUND ONCE FOR THE UP DIRECTION AND TWICE FOR THE DOWN DIRECTION. THE CENTER LINE OF THE FIXTURE SHALL BE LOCATED A MINIMUM OF SIX FEET FROM THE FLOOR. THE USE OF IN CAR LANTERNS CONFORMING TO THE ABOVE AND LOCATED IN THE JAMB SHALL BE ACCEPTABLE.

16. DOOR JAMB MARKING: FLOOR DESIGNATIONS COMPLYING WITH SECTIONS 11B-703.2 AND 11B-703.4.1 SHALL BE PROVIDED ON BOTH JAMBS OF ELEVATOR HOISTWAY ENTRANCES. FLOOR DESIGNATIONS SHALL BE PROVIDED IN BOTH RAISED CHARACTERS AND BRAILLE. RAISED CHARACTERS SHALL BE 2 INCHES HIGH. A RAISED STAR, PLACED TO THE LEFT OF THE FLOOR DESIGNATION, SHALL BE PROVIDED ON BOTH JAMBS AT THE MAIN ENTRY LEVEL. THE OUTSIDE DIAMETER OF THE STAR SHALL BE 2 INCHES AND ALL POINTS SHALL BE OF EQUAL LENGTH. RAISED CHARATERS INCLUDING THE STAR, SHALL BE WHITE ON A BLACK BACKGROUND. BRAILLI COMPLYING WITH SECTION 11B-703.3 SHALL BE PLACED BELOW THE CORRESPONDING RAISED CHARACTERS AND THE STAR. THE BRAILLE TRANSLATION FOR THE STAR SHALL BE "MAIN". APPLIED PLATES ARE ACCEPTABLE IF THEY ARE PERMANENTLY FIXED TO THE JAMB.

17. TACTILE FLOOR DESIGNATION SIGN: TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS PER SECTIONS 11B-407.2.3.1 AND 11B-703.4.1.

09.15.22 **REVISION 01** 03.29.23 **REVISION 02** 05.09.23 REVISION 03

ISSUE:

SITE PERMIT

PLAN CHECK 11.29.23 09.15.24 **BUILDING PERMIT**

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105

P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM

DOLPHIN CLUB

ALTERATIONS &

ADDITION

502 JEFFERSON

STREET

SAN FRANCISCO, CA

94100

BLOCK: 0405 LOT: 004

DATE:

09.17.20

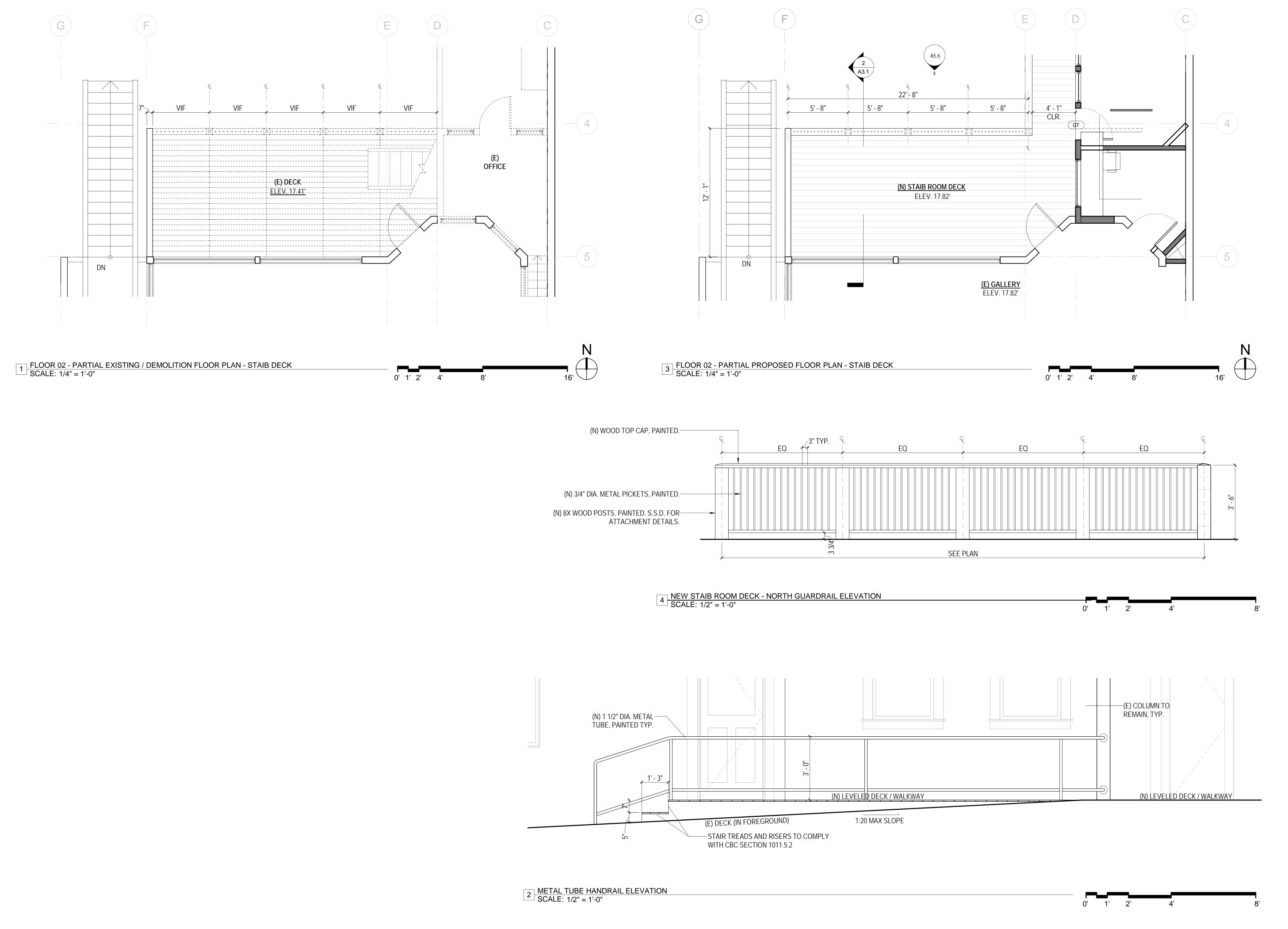
DRAWN BY: SHEET TITLE:

> **ELEVATOR DETAILS**

SHEET NUMBER:

3 ELEVATOR CAB ELEVATIONS SCALE: 1/4" = 1'-0"

(N) LULA ELEVATOR CAB PLAN - PER SECTION 11B-408 SCALE: 1/2" = 1'-0"







DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON
STREET
SAN FRANCISCO, CA
94100
BLOCK: 0405 LOT: 004

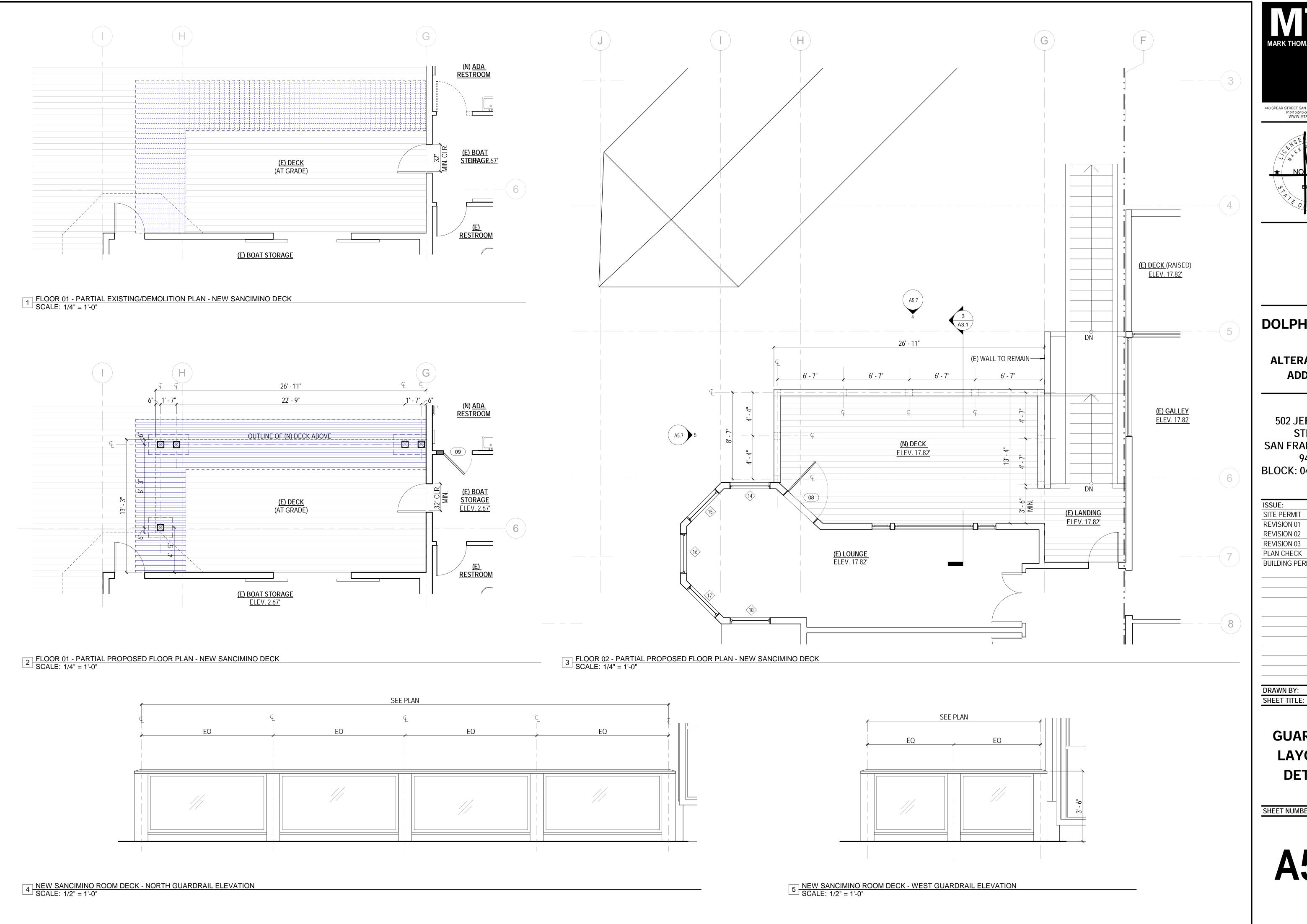
ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY:
SHEET TITLE:

GUARDRAIL LAYOUT & DETAILS

SHEET NUMBER:

A5.6







DOLPHIN CLUB

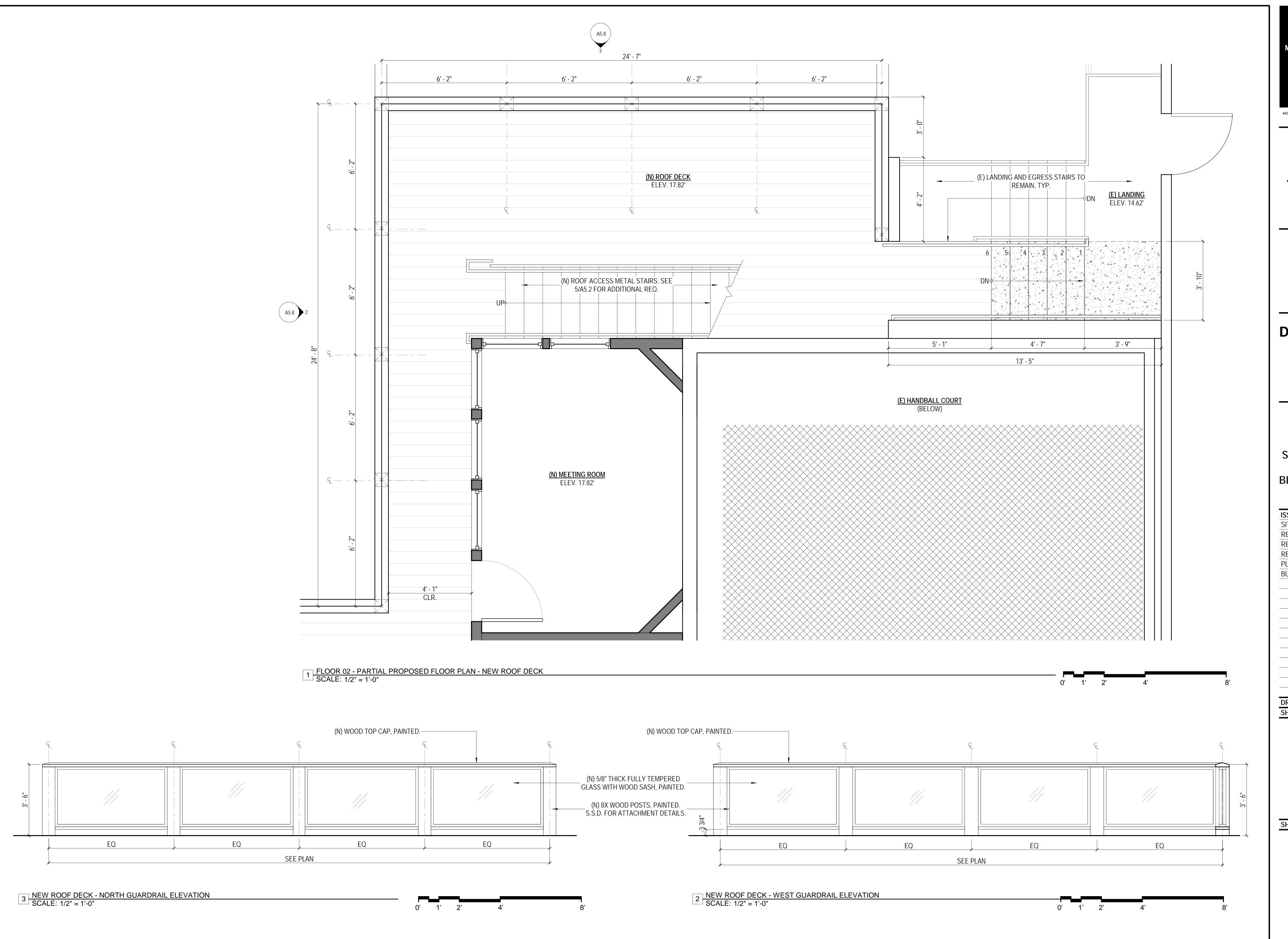
ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

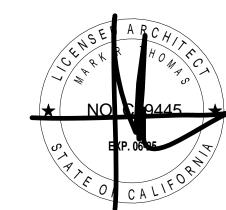
DATE:
09.17.20
09.15.22
03.29.23
05.09.23
11.29.23
09.15.24

DRAWN BY:

GUARDRAIL LAYOUT & DETAILS







DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

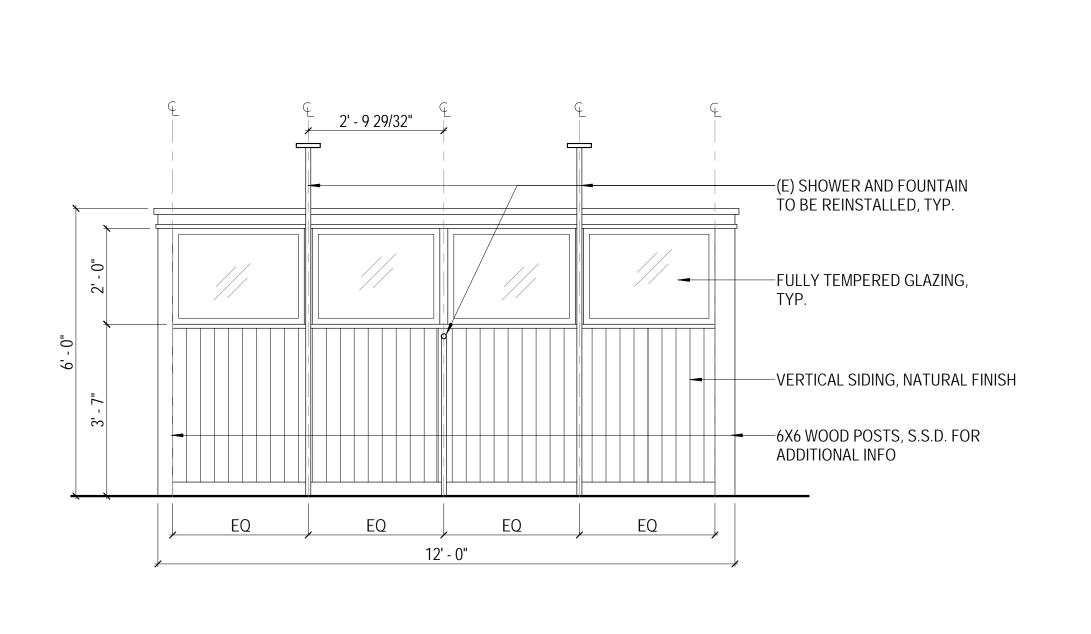
DATE:
09.17.20
09.15.22
03.29.23
05.09.23
11.29.23
09.15.24

DRAWN BY: SHEET TITLE:

GUARDRAIL LAYOUT & DETAILS

SHEET NUMBER:

A5.8



2 WINDSCREEN - WEST ELEVATION SCALE: 1/2" = 1'-0"

FULLY TEMPERED GLAZING, TYP.

VERTICAL SIDING, NATURAL FINISH

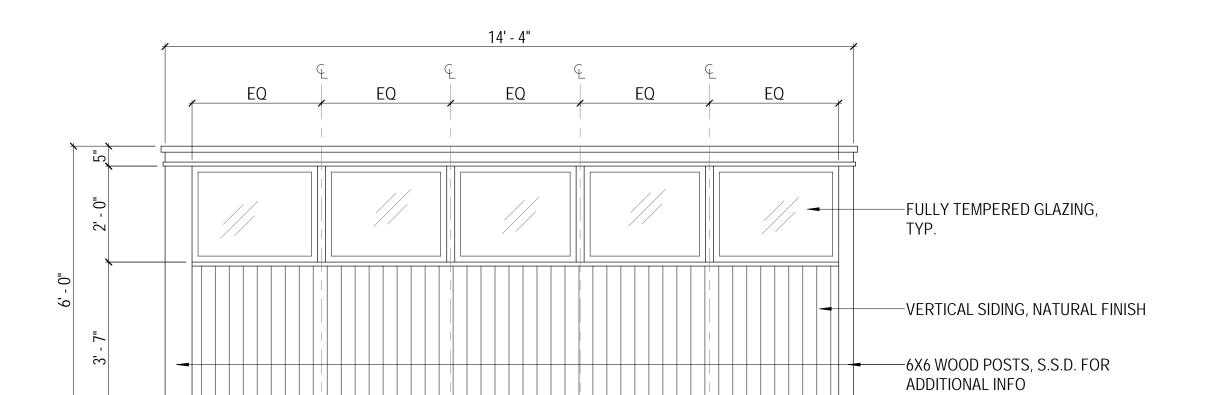
6X6 WOOD POSTS, S.S.D. FOR
ADDITIONAL INFO

5 WINDSCREEN - SOUTH ELEVATION SCALE: 1/2" = 1'-0"

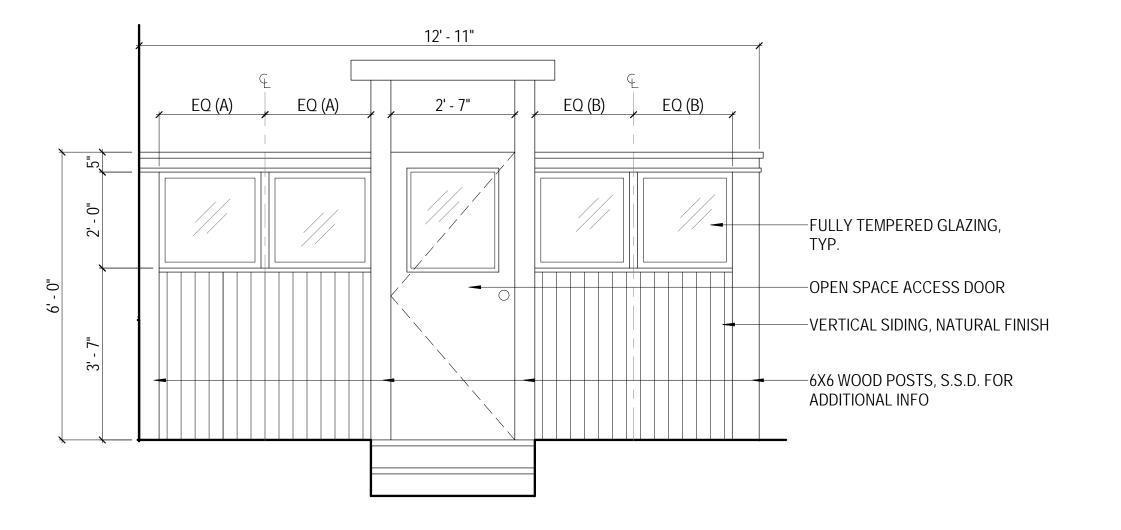
1 FLOOR 01 - PARTIAL PROPOSED FLOOR PLAN - WINDSCREENS SCALE: 1/2" = 1'-0"

A5.9

A5.9 2



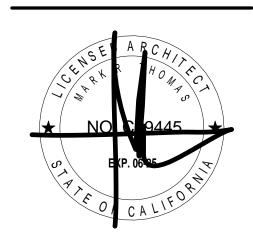
3 WINDSCREEN - NORTH ELEVATION
SCALE: 1/2" = 1'-0"



WINDSCREEN - EAST ELEVATION
SCALE: 1/2" = 1'-0"

MARK THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P:(415)543-5005 F:(415)495-3336
WWW.MTARCHITECTS.COM



4 A5.9

1' - 9" TYP.

(N) DECK (ON GRADE) NEW WALL

DEMOLISHED WALL

EXISTING WALL

NEW 1-HOUR RATED WALL

DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

DATE:
09.17.20
09.15.22
03.29.23
05.09.23
11.29.23
09.15.24

DRAWN BY: SHEET TITLE:

WINDSCREEN LAYOUT & ELEVATIONS

SHEET NUMBER:

A5.9

No	nresidential Performance Compl	iance Method					(Page 1 of 14)
Pro	oject Name:			Dolphin Club	Date Pre	pared:	2024-08-13
Α. Θ	Seneral Information						
1	Project Name	Dolphin Club					
2	Run Title	Title 24 Analysis	itle 24 Analysis				
3	Project Location	502 Jefferson Street					
4	City	San Francisco	5	Standards Version	- 1	Compliance 2022	
6	Zip code	94109	7	Compliance Software	(version)	EnergyPro 9.3	
8	Climate Zone	3	9	Building Orientation	(deg)	0	
10	Building Type(s)	Nonresidential	11	Weather File		OAKLAND-INTL_STYP20.epw	
12	Project Scope	Existing addition and alteration	13	Number of Dwelling	Units	0	
14	Total Conditioned Floor Area in Scope (ft²)	17833	15	Total # of hotel/motel rooms 0			
16	Total Unconditioned Floor Area (ft²)	0	17	Fuel Type		Natural gas	
18	Nonresidential Conditioned Floor Area	17833	19	Total # of Stories (Ha Above Grade)	bitable	2	
20	Residential Conditioned Floor Area	0					

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD	NRCC-PRF-E
Nonresidential Performance Compliance Method	(Page 4 of 14)

Report Version: 2022.0.000

Schema Version: rev 20220601

Report Generated: 2024-08-13 14:38:34

Compliance ID: EnergyPro-0000-0824-0167

COMPLIES ²					
Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) ¹		
Space Heating	17.9	17.79	0.11		
Space Cooling	22.07	22.09	-0.02		
Indoor Fans	13.26	12.26	1		
Heat Rejection	0	0	0		
Pumps & Misc.	Ò	Ō	0		
Domestic Hot Water	9.51	9.51	0		
Indoor Lighting	43,35	43.35	0		
Flexibility	344-5	344H	-		
EFFICIENCY COMPLIANCE TOTAL	106.09	105	1.09 (1%)		
Photovoltaics		Name .			
Batteries	-	***	-		
TOTAL COMPLIANCE	106.09	105	1.09 (1%)		

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance	Report Version: 2022.0.000	Report Generated: 2024-08-13 14:38:34
	Schema Version: rev 20220601	Compliance ID: EnergyPro-0000-0824-0167

	1.17.77
CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD	NRCC-PRF-E
Nonresidential Performance Compliance Method	(Page 2 of 14)

-		
R	PROJECT	SUMMARY

Table B shows which building components are included in the performance calculation. If indicated as not included, the project must show compliance prescriptively if within the permit application.

В	uilding Comp	onents Complyin	ng via Performance			Building Components Complying Pre	escriptively	
Eminiana (Cas Table C)	Nonres	Performance	Solar Thermal Water		Performance	The following building components are ONLY eligible for		
Envelope (See Table G)	MultiFam	Not Included	Heating (See Table 13)	Ø	Not Included	and should be documented on the NRCC form listed if within the sco permit application (i.e. compliance will not be shown on the NRCC-		
Machinian (Can Table II)	Nonres	Not Included	Covered Process:		Performance	Indoor Lighting (Unconditioned) 140.6 & 170.2(e)	NRCC-LTI-E is required	
Mechanical (See Table H)	MultiFam	Not included	Commercial Kitchens (see Table J)	×	Not Included	Outdoor Lighting 140.7 & 170.2(e)	NRCC-LTO-E is required	
Domestic Hot Water (See	Nonres	Not Included	Covered Process: Laboratory Exhaust (see		Performance	Sign Lighting 140.8 & 170.2(e)	NRCC-LTS-E is required	
Table I)	MultiFam	Not Included	Table J)		Not Included	Building Components Complying with Man	datory Measures	
Lighting (Indoor Conditioned, see Table K)	Nonres	Performance	Photovoltaics (see Table F)		Performance	Electrical power systems, commissioning, solar escalator requirements are mandatory and sho on the NRCC form listed if applicable (i.e. com shown on the NRCC-PRF-E.	ould be documente opliance will not be	
	MultiFam	Not Included		Ø	Not Included	Electrical Power Distribution 110.11	NRCC-ELC-E is required	
			Survey Tuest		Performance	Commissioning 120.8	NRCC-CXR-E is required	
			Battery (see Table F)	Ø	Not Included	Solar and Battery 110.10	NRCC-SAB-E is required	

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance	Report Version: 2022.0.000	Report Generated: 2024-08-13 14:38:34
	Schema Version: rev 20220601	Compliance ID: EnergyPro-0000-0824-0167

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD	NRCC-PRF-E
Nonresidential Performance Compliance Method	(Page 5 of 14)

Non-Regulated Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) ¹
Receptacle	45,98	45.98	-
Process	Septem .	atom.	
Other Ltg	1		
Process Motors)—)—)	No.
TOTAL (TOTAL COMPLIANCE + NON-REGULATED COMPONENTS)	152.07	150.98	1.09 (0.7%)

TOTAL (TOTAL COMPLIANCE + NON-REGULATED COMPONENTS)	152.07	150.98	1.09 (0.7%)
¹ Notes: This table is not used for Energy Code Compliance.			
C6. 'ABOVE CODE' QUALIFICATIONS			

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance	Report Version: 2022.0.000	Report Generated: 2024-08-13 14:38:34
	Schema Version: rev 20220601	Compliance ID: EnergyPro-0000-0824-0167

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD	NRCC-PRF-E	
Nonresidential Performance Compliance Method	(Page 3 of 14)	

C1. COMPLIANCE SUMMARY

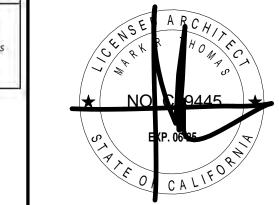
COMPLIES ³				
	Time Dependent Valuaton (TDV)		Source Energy Use	
	Efficiency ¹ (kBtu/ft ² - yr)	Total ² (kBtu/ft ² - yr)	Total ² (kBtu/ft ² - yr)	
Standard Design	106.09	n/a	n/a	
Proposed Design	105	n/a	n/a	
Compliance Margins	1.09	n/a	n/a	

¹ Efficiency measures include improvements like a better building envelope and more efficient equipment

² Compliance Totals include efficiency, photovoltaics and batteries

³ New Construction, Complete Addition Scope: Building complies when all efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded

Existing, Addition and Alteration Scope: Building complies when efficiency compliance margin is greater than or equal to zero and unmet load hour limits are not exceeded



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Re

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Standard Design Site

(MWh)

7.7

30.6

47.3

47.3

32.5

79.8

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Proposed Design Site

(MWh)

9

7.7

-

0

30.6

47.3

47.3

32.5

79.8

Margin (MWh)

0

0

Report Version: 2022.0.000

Schema Version: rev 20220601

Standard Design Site

(MBtu)

116

66.6

182.6

182.6

182.6

Nonresidential Performance Compliance Method

C7. ENERGY USE SUMMARY

Space Heating

Space Cooling

Indoor Fans

Heat Rejection

Pumps & Misc.

Indoor Lighting

EFFICIENCY TOTAL

ENERGY USE SUBTOTAL

Photovoltaics

Batteries

Receptacle

Process

Other Ltg

Process Motors

ENERGY USE TOTAL

Flexibility

Domestic Hot Water

Energy Component

Report Version: 2022.0.000 Schema Version: rev 20220601 Report Generated: 2024-08-13 14:38:34 Compliance ID: EnergyPro-0000-0824-0167

> Margin (MBtu)

> > 0.8

0.8

0.8

0.8

Proposed Design Site

(MBtu)

115.2

-

66.6

181.8

181.8

181.8

Report Generated: 2024-08-13 14:38:34

Compliance ID: EnergyPro-0000-0824-0167

DOLPHIN CLUB

ALTERATIONS & ADDITION

STREET
SAN FRANCISCO, CA
(Page 6 of 14)

PAGE 14)

BLOCK: 0405 LOT: 004

ISSUE:

SITE PERMIT

REVISION 01

DATE:

09.17.20

09.15.22

REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

TITLE 24

SHEET NUMBER:

A6.1

ERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD	NRCC-PRF-E
Ionresidential Performance Compliance Method	(Page 7 of 14)

C8. ENERGY USE INTENSITY (EUI)

	Standard Design (kBtu/ft² / yr)	Proposed Design (kBtu/ft² / yr)	Margin (kBtu/ft² / yr)	Margin Percentage
GROSS EUI ¹	25.51	25.46	0.05	0.2
NET EUI ¹	25.51	25.46	0.05	0.2

1 Notes: Gross EUI is Energy Use Total (not including PV)/Total Building Area. Net EUI is Energy Use Total (including PV)/Total Building Area.

D1. EXCEPTIONAL CONDITIONS

• The project uses the Simplified Geometry Performance Modeling Approach which is not capable of modeling daylighting controls and assumes the prescriptive Secondary Daylit Control requirements are met. PRESCRIPTIVE COMPLIANCE documentation (form NRCC-LTI-02-E) for the requirements of section 140.6(d) Automatic Daylighting Controls in Secondary Daylit Zones is required.

• The building does not include service water heating. Verify that service water heating is not required and is not included in the design.

• The proposed building includes space(s) that are modeled with unknown HVAC system(s). Verify that the spaces modeled with unknown HVAC system(s) are either part of core and shell analysis which will be permitted for mechanical compliance in the future, or the spaces have an existing HVAC system not modeled for compliance, or the compliance scope does not include mechanical.

G1. ENVELOPE GENERAL INFORMATION (conditioned spaces only)

01	02	03	04
Opaque Surfaces & Orientation	Total Gross Surface Area (ft ²)	Total Fenestration Area (ft ²)	Window to Wall Ratio (%)
North-Facing ¹	1879	454.8	24.2
East-Facing ²	3008	0	0
South-Facing ³	1708.6	168.5	9.86
West-Facing ⁴	2928.5	427.5	14.6

North-Facing is oriented to within 45 degrees of true north, including 45 00'00" east of north (NE), but excluding 45 00'00" west of north (NW), ²East-Facing is oriented to within 45 degrees of true east, including 45 00'00" south of east (SE), but excluding 45 00'00" north of east (NE), ³South-Facing is oriented to within 45 degrees of true south, including 45 00'00" west of south (SW), but excluding 45 00'00" east of south (SE), West-Facing is oriented to within 45 degrees of true west, including 45 00'00" north of west (NW), but excluding 45 00'00" south of west (SW),

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000

Schema Version: rev 20220601

Report Generated: 2024-08-13 14:38:34 Compliance ID: EnergyPro-0000-0824-0167 CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD NRCC-PRF-E Nonresidential Performance Compliance Method (Page 8 of 14)

G1. ENVELOPE GENERAL INFORMATION (conditioned spaces only) Opaque Surfaces & Orientation Total Fenestration Area (ft²) Window to Wall Ratio (%) Total Gross Surface Area (ft²) Total 9524.1 1050.8 11.03

North-Facing is oriented to within 45 degrees of true north, including 45 00'00" east of north (NE), but excluding 45 00'00" west of north (NW), ²East-Facing is oriented to within 45 degrees of true east, including 45 00'00" south of east (SE), but excluding 45 00'00" north of east (NE), ³South-Facing is oriented to within 45 degrees of true south, including 45 00'00" west of south (SW), but excluding 45 00'00" east of south (SE), 4West-Facing is oriented to within 45 degrees of true west, including 45 00'00" north of west (NW), but excluding 45 00'00" south of west (SW),

9650

4. NONRESIDENTIAL AIR BARRIER	
01	02
Building Story Name	Air Barrier
Com-Floor 1	No air barrier
Com-Floor 2	No air barrier

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000 Schema Version: rev 20220601

Report Generated: 2024-08-13 14:38:34 Compliance ID: EnergyPro-0000-0824-0167

NRCC-PRF-E

(Page 11 of 14)

0.19

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD	NRCC-PRF-E
Nonresidential Performance Compliance Method	(Page 10 of 14)

G5. OPAQUE SURFACE ASSEMBLY SUMMARY

01	02	03	04	05	0	6	07	08	09	10						
Surface Name	Construction	Area (ft²)	Framing	Cavity	Continuous R-Valu		Continuo	Continuous R-Value		Units	Value	No.		624.2	Description of Assembly Layers	1
Surface (vame	Туре	Area (IT-)	Туре	R-Value	Interior	Exterior	Onits	Value	Description of Assembly Layers	Status ¹						
Existing Roof57	Roof	8,686	Wood	19	N/A	N/A	U-factor	0.0526	Built-up roofing - 3/8 in. Vapor permeable felt - 1/8 in. Plywood - 1/2 in. Composite-5 Gypsum Board - 5/8 in.	E						
R-21 Wall Alt81	Exterior Wall	690	Wood	21	N/A	N/A	U-factor	0.0646	Wood siding - 1/2 in. Vapor permeable felt - 1/8 in. Composite-6 Gypsum Board - 5/8 in.	А						

01	02	.03	04
Assembly Name	Area (ft ²)	Overall U-factor	Status ¹
Wood Door44	168	0.5	E

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Nonresidential Performance Compliance Method

01	02	03	04	05	06	07	08	09
Fenestration Assembly Name	Fenestration Type/ Product Type / Frame Type	Certification Method ¹	Assembly Method	Area (ft²)	Overall U-factor	Overall SHGC	Overall VT	Status ²
Fixed Window	Vertical fenestration Fixed window N/A	NFRC	Manufactured	322.5	0.4	0.23	0.42	Ŋ
Door	Vertical fenestration Glazed door N/A	NFRC	Manufactured	76.5	0.4	0.23	0.17	N
Skylight	Skylight Operable window N/A	NFRC	Manufactured	18	0.58	0.25	0.49	N
Existing Windows	Vertical fenestration Fixed window Non-metal	Default 110,6	Site built	651.8	0.55	0.55	0.77	E

1 Notes: Newly installed fenestration shall have a certified NFRC Label Certificate or use the CEC default tables found in Table 110.6-A and Table 110.6-B. Center of Glass (COG) values are for the glass-only, determined by the manufacturer, and are shown for ease of verification. Site-built fenestration values are calculated per Nonresidential Appendix NA6 and are used in the analysis.

Status: N - New, A - Altered, E - Existing

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000

Schema Version: rev 20220601

Report Generated: 2024-08-13 14:38:34 Compliance ID: EnergyPro-0000-0824-0167 CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000 Schema Version: rev 20220601

Report Generated: 2024-08-13 14:38:34 Compliance ID: EnergyPro-0000-0824-0167

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD Nonresidential Performance Compliance Method

01	02	03	04	05	0	16	07	08	09	10
Surface Name	Construction	16,21	Framing	Cavity	Continuous R-Value		Units	Value	Description of Assembly Layers	Cr. v. v. 1
Surface Name	Туре	Area (ft²)	Туре	R-Value	Interior	Exterior	Units	value	Description of Assembly Layers	Status ¹
R-21 Wall6	Exterior Wall	1,649.1	Wood	21	N/A	N/A	U-factor	0.0646	Wood siding - 1/2 in. Vapor permeable felt - 1/8 in. Composite-1 Gypsum Board - 5/8 in.	N
R-30 Roof- n14	Roof	133	Wood	30	N/A	N/A	U-factor	0.0369	Built-up roofing - 3/8 in. Vapor permeable felt - 1/8 in. Plywood - 1/2 in. Air - Ceiling - 3/4 in. Composite-2 Gypsum Board - 5/8 in.	N
Interior Floor16	Interior Floor	8,177	N/A	0	N/A	N/A	U-factor	0.1832	Air - Cavity - Wall Roof Ceiling - 4 in. or more Plywood - 1/2 in. Carpet - 3/4 in.	E
R-30 Roof26	Roof	831	Wood	30	N/A	N/A	U-factor	0.0353	Built-up roofing - 3/8 in. Vapor permeable felt - 1/8 in. Plywood - 1/2 in. Air - Ceiling - 3/4 in. Composite-3 Gypsum Board - 5/8 in.	Α
Existing Wall39	Exterior Wall	7,185	Wood	13	N/A	N/A	U-factor	0.0939	Wood siding - 1/2 in. Vapor permeable felt - 1/8 in. Composite-4 Gypsum Board - 1/2 in.	E
Slab On Grade55	Underground Floor	9,517	N/A	0	N/A	N/A	F-factor	0.73	Slab Type =Unheated slab on grade Insulation Orientation =None Insulation R-Value =none	E

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Conditioned Floor Area² (ft²)

17700

17833

³Lighting information for existing spaces modeled is not included in this table

K4. INDOOR CONDITIONED LIGHTING MANDATORY LIGHTING CONTROL

and provided to the building inspector during construction and can be found online

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

L. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

M. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

Installed Lighting Power

8850

86.45

8936.45

NRCI-ENV-01-E - Must be submitted for all buildings

to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP).

NRCA-ENV-02-F - NRFC label verification for fenestration

NRCI-ENV-E - Envelope (for all buildings)

NRCI-LTI-E - Indoor Lighting (for all buildings)

Selections made by Documentation Author indicate which Certificates of Installation must be submitted for the features to be recognized for compliance. These documents must be retained

selections made by Documentation Author indicate which Certificates of Acceptance must be submitted for the features to be recognized for compliance. These documents must be provided

Report Version: 2022.0.000

Schema Version: rev 20220601

Lighting Control Credits

Form/Title

Nonresidential Performance Compliance Method

K1. INDOOR CONDITIONED LIGHTING GENERAL INFO

Occupancy Type¹

Exercise Center Gymnasium

Office (250 square feet)

Building Totals:

²See NRCC-LTI--E for unconditioned spaces

See NRCC-LTI-E for mandatory controls

Building Component

Envelope

Envelope

Building Component

1See Table 140.6-C

1 Status: N - New, A - Altered, E - Existing

Report Version: 2022.0.000 Schema Version: rev 20220601

Report Generated: 2024-08-13 14:38:34 Compliance ID: EnergyPro-0000-0824-0167

Additional (Custom) Allowance

Area Category Footnotes

Report Generated: 2024-08-13 14:38:34 Compliance ID: EnergyPro-0000-0824-0167

(Watts)

Area Category Footnotes

(Watts)

DOLPHIN CLUB

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM

ALTERATIONS & ADDITION

502 JEFFERSON STREET NRCC-PRF-E SAN FRANCISCO, CA (Page 12 of 14) BLOCK: 0405 LOT: 004

ISSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
BUILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

TITLE 24

Anna da Anna anna anna		Observations	IS M-04 Attachme Last Modified August 2	
Title-24 California Energ NON-RESIDENTIAL				
A COPY OF THIS DOCUMENT SHALL BE			RAWING SET	
	PPLICATION NO. 20	022.1011.4038	ADDENDUM NO.	
RESPONSIBLE DESIGNER NAME MARK THOMAS	PF	IONE NO	415-543-5005	
Installation, Acceptance, and/or Verification compliance M-06. In accordance with the requirements of the Califor the electrical elements in this project:				
1. Installation	2. Acceptance			
Indoor Lighting X NRCI-LTI-E Indoor Lighting (IE21)			hting Controls (AE1)	
Outdoor Lighting	□ NRCA-LTI-03-A (AE2)	Automatic D	aylighting Controls	
□ NRCI-LTO-E Outdoor Lighting (IE22)	□ NRCA-LTI-04-A Demand Response Controls (A			
Sign Lighting		05-A Institutional Tuning Power ent Factor (PAF) (AE5)		
☐ NRCI-LTS-E Sign Lighting (IE23)	Adjustment Fa	actor (PAF) (AE5)	
Electrical	Outdoor Lighting			
□ NRCI-ELC-E Electrical (IE24)	□ NRCA-LTO-02-A	Outdoor Lig	hting Controls (AE4)	
Solar □ NRCI-SAB-E Solar Access Requirements (IE25)				
Required information:	1			
Prepared by:	Email:		Date:	
Responsible Designer Signature			37.07	
Review by:	DH	ione:		
DBI Engineer or Plan Reviewer				
APPROVAL (Based on submitted reports)				
AFFINOVAL (Dased on submitted reports)				
DATE DBI B	uilding Inspector or En	ergy Inspect	ion Services Staff	

QUESTIONS ABOUT ENERGY CODE AND GREEN BUILDING CODE INSPECTIONS SHOULD BE DIRECTED TO:

Energy Inspection Services (628) 652-3407 or dbi.energyinspections@sfgov.org

IS M-04 Attachment 2

Last Modified August 2024

NOTICE

Title-24 California Energy Code Inspection Checklist

NON-RESIDENTIAL (ELECTRICAL)

Certificates of Installation, Verification, and/or Acceptance are required for this project, as indicated on

the checklist issued with this permit. Ensuring the accurate completion of this documentation is the direct

responsibility of the Responsible Designer. This documentation is required in addition to site inspections

For questions regarding the details or extent of required documentation or testing, and if there are any

field problems regarding documentation or testing, please contact your district building inspector or call

Before final building inspection is scheduled, documentation of California Energy Code (CEC) compliance

"Certificate of Installation, Acceptance, and Verification" must be completed and signed by the

Responsible Designer. The permit will not be finalized without compliance with the energy inspection

performed by the Department of Building Inspection.

Energy Inspection Services contact information:

Email: dbi.energyinspections@sfgov.org

3. In person: 49 South Van Ness Ave., 4th floor

Please submit all special inspection submittals, including final letters, to

acceptance energy certificates. M-06 may be found on the SFDBI website at

Installation, Acceptance, and Verification certificates can be found on the California Energy

Commission website at www.energy.ca.gov/programs-and-topics/programs/building-energy-efficiency-

Information Sheet M-06 provides submittal instructions for the Title-24 CEC installation, verification, and

QUESTIONS ABOUT ENERGY CODE AND GREEN BUILDING CODE INSPECTIONS SHOULD BE DIRECTED TO:

Energy Inspection Services (628) 652-3407 or dbi.energyinspections@sfgov.org

1. Telephone: (628) 652-3407

dbi.energyinspections@sfgov.org.

standards/2022-building-energy-efficiency.

www.sf.gov/resource/2022/information-sheets-dbi.

(628) 652-3400.

requirements.

mentation Author Name: Hayley Monahan mpany: EnergySoft ignature Date: There are no Certificates of Verification applicable to this project ddress: 1025 5th Street, Suite A CEA/HERS Certification Identification (if applicable): y/State/Zip: Novato, CA 94945 Responsible Person's Declaration statement certify the following under penalty of perjury, under the laws of the State of Californ The information provided on this Certificate of Compliance is true and correct. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer) The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application I understand that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections, and I will take the necessary steps to accomplish this requirement. 6. I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner a occupancy, and I will take the necessary steps to accomplish these requirements. onsible Designer Name: MARK THOMAS ompany: Mark Thomas Architects Inc. dress: 440 Spear Street City/State/Zip: San Francisco, CA 94105 License #: 9/14/2024 Phone: 415 - 543 - 5005 Report Generated: 2024-08-13 14:38:34 Report Generated: 2024-08-13 14:38:34 CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Compliance ID: EnergyPro-0000-0824-0167 Schema Version: rev 20220601 Schema Version: rev 20220601 Compliance ID: EnergyPro-0000-0824-0167 IS M-04 Attachment 1 Last Modified May 2024 Title-24 California Energy Code & San Francisco Green Building Code Inspection Checklist NOTICE NON-RESIDENTIAL (BUILDING) A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET Title-24 California Energy Code & San Francisco Green Building Code Inspection Checklist NON-RESIDENTIAL (BUILDING) JOB ADDRESS 502 JEFFERSON STREET APPLICATION NO. 2022.1011.4038 ADDENDUM NO. 1 RESPONSIBLE DESIGNER NAME MARK THOMAS PHONE NO. Certificates of Installation, Verification, and/or Acceptance are required for this project, as indicated on the checklist issued with this permit. Ensuring the accurate completion of this documentation is the direct Installation, Acceptance, Verification, and/or Green Building compliance documentation shall be completed per Information responsibility of the Responsible Designer. This documentation is required in addition to site inspections Sheet M-06. In accordance with the requirements of the California Energy Code, San Francisco Green Building Code and performed by the Department of Building Inspection. SFDBI Administrative Bulletin AB-093, the following documentation are required for the building elements in this project: 1. Installation For questions regarding the details or extent of required documentation or testing, and if there are any Envelope X NRCI-ENV-E Envelope (IB71) field problems regarding documentation or testing, please contact your district building inspector or call □ NRCI-MCH-E Mechanical (IB72) □ NRCI-MCH-23-F Airflow Rate (IB93) □ NRCI-MCH-20-F Duct Leakage (IB91) □ NRCI-MCH-25-F Refrigerant Charge (IB94) □ NRCI-PRC-E Covered Processes (IB73) □ NRCI-MCH-22-F Fan Efficacy (IB92) 2. Acceptance Before the final building inspection is scheduled, documentation of California Energy Code (CEC) Mechanical compliance "Certificate of Installation, Acceptance, and Verification" and San Francisco Green Building ☑ NRCA-ENV-02-F Fenestration Acceptance (AB1) ☐ NRCA-MCH-02-A Outdoor Air (AB2) ☐ NRCA-ENV-03-F Daylighting Design PAF Acceptance (AB25) ☐ NRCA-MCH-03-A Constant Volume Single Zone HVAC (AB3) Code (SFGBC) compliance "Administrative Bulletin AB-093 Attachment E" must be completed and □ NRCA-MCH-04-H HERS Air Distribution Duct Leakage Testing (AB4) signed by the Responsible Designer. The permit will not be finalized without compliance with the energy □ NRCA-PRC-01-F Compressed Air Systems (AB15) ☐ NRCA-MCH-05-A Air Economizer Controls (AB5) inspection requirements. □ NRCA-PRC-02-F Commercial Kitchen Exhaust (AB16) ☐ NRCA-MCH-06-A Demand Control Ventilation (DVC) (AB6) ☐ NRCA-PRC-03-F Parking Garage Exhaust (AB17) ☐ NRCA-MCH-07-A Supply Fan Variable Flow Controls (VFC) (AB7) Energy Inspection Services contact information: □ NRCA-PRC-04-F Refrigerated Warehouse – Evaporator Fan ☐ NRCA-MCH-11-A Automatic Demand Shed Controls (AB8) Controls (AB18) □ NRCA-MCH-12-A Fault Detection & Diagnostics for DX Units (AB9) 1. Telephone: (628) 652-3407 □ NRCA-PRC-05-F Refrigerated Warehouse – Evaporative ☐ NRCA-MCH-13-A Automatic Fault Detection & Diagnostics for Air Condenser Controls (AB19) Handling & Zone Terminal Units (AB10) Email: dbi.energyinspections@sfgov.org □ NRCA-PRC-06-F Refrigerated Warehouse – Air-cooled ☐ NRCA-MCH-14-A Distributed Energy Storage DX AC Systems Test Condenser Controls (AB20) In person: 49 South Van Ness Ave., 4th floor □ NRCA-PRC-07-F Refrigerated Warehouse - Variable Speed ☐ NRCA-MCH-15-A Thermal Energy Storage (TES) Systems (AB12) Compressor (AB21) □ NRCA-MCH-16-A Supply Air Temperature Reset Controls(AB13) Please submit all special inspection submittals, including final letters, to: □ NRCA-PRC-08-F Refrigerated Warehouse – Electric ☐ NRCA-MCH-18-A Energy Management Control System (AB14) Resistance Underslab Heating System (AB22) dbi.energyinspections@sfgov.org ☐ NRCA-MCH-19-A Occupied Standby Acceptance (AB26) □ NRCA-PRC-12-F Elevator Lighting & Ventilation Controls ☐ NRCA-MCH-20-A Multifamily Ventilation (AB32) Installation, Acceptance, and Verification certificates can be found on the California Energy ☐ NRCA-MCH-21-A Multifamily Leakage (AB33) □ NRCA-PRC-13-F Escalators & Moving Walkways Speed ☐ NRCA-MCH-22-A System Duct Leakage (AB34) Commission website at www.energy.ca.gov/programs-and-topics/programs/building-energy-efficiency-Controls (AB24) ☐ NRCA-MCH-23-A HRV ERV Verification (AB35) □ NRCA-PRC-14-F Lab Exhaust Ventilation System (AB27) standards/2022-building-energy-efficiency. ☐ NRCA-PRC-15-F Fume Hood Automatic Sash Closure System Information Sheet M-06 provides submittal instructions for the Title-24 CEC and SFGBC certificates of □ NRCA-PRC-16-F Adiabatic Condensers and Condenser Fan installation, verification, and acceptance. M-06 may be found on the SFDBI website at Motor Variable Speed Control (AB29) 4. Green Building (For New Construction and Major Alterations) www.sf.gov/resource/2022/information-sheets-dbi. ☐ Green Building AB-093 Attachment E (GBC1) □ NRCV-MCH-04-H HERS Duct Leakage Diagnostic Test (VB55) 5. All-Electric (For New Construction) ☐ NRCV-MCH-024-H HERS Enclosure Air Leakage Worksheet All-Electric Compliance AB-112 Attachment 2 (AEC1) □ NRCV-MCH-027-H HERS Indoor Air Quality (IAQ) (VB62) ☐ NRCV-MCH-032-H HERS Local Mechanical Exhaust (VB63) APPROVAL (Based on submitted reports) DBI Building Inspector or Energy Inspection Services Staff QUESTIONS ABOUT ENERGY CODE AND GREEN BUILDING CODE INSPECTIONS SHOULD BE DIRECTED TO: QUESTIONS ABOUT ENERGY CODE AND GREEN BUILDING CODE INSPECTIONS SHOULD BE DIRECTED TO:

NRCC-PRF-E

(Page 13 of 14)

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

1. I certify that this Certificate of Compliance documentation is accurate and complete.

Energy Inspection Services (628) 652-3407 or dbi.energyinspections@sfgov.org

Nonresidential Performance Compliance Method

ocumentation Author's Declaration Statement

CERTIFICATE OF COMPLIANCE - NONRESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Energy Inspection Services (628) 652-3407 or dbi.energyinspections@sfgov.org

elections made by Documentation Author indicate which Certificates of Verification must be submitted for the features to be recognized for compliance. These documents must be retained

Nonresidential Performance Compliance Method

N. DECLARATION OF REQUIRED CERTIFICATES OF VERIFICATION

MARK THOMAS ARCHITECTS

(Page 14 of 14)

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94100 BLOCK: 0405 LOT: 004

 ISSUE:
 DATE:

 SITE PERMIT
 09.17.20

 REVISION 01
 09.15.22

 REVISION 02
 03.29.23

 REVISION 03
 05.09.23

 PLAN CHECK
 11.29.23

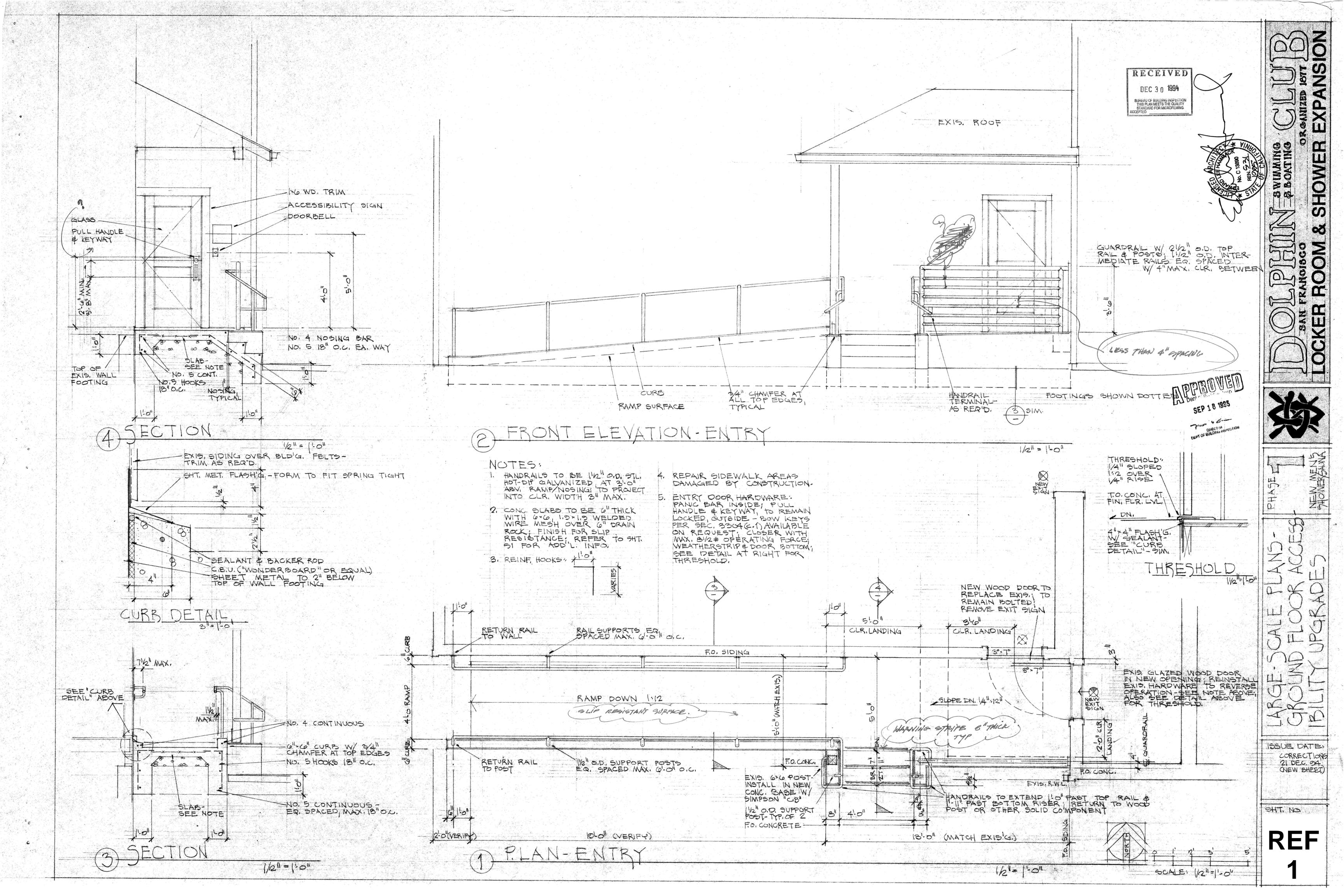
 BUILDING PERMIT
 09.15.24

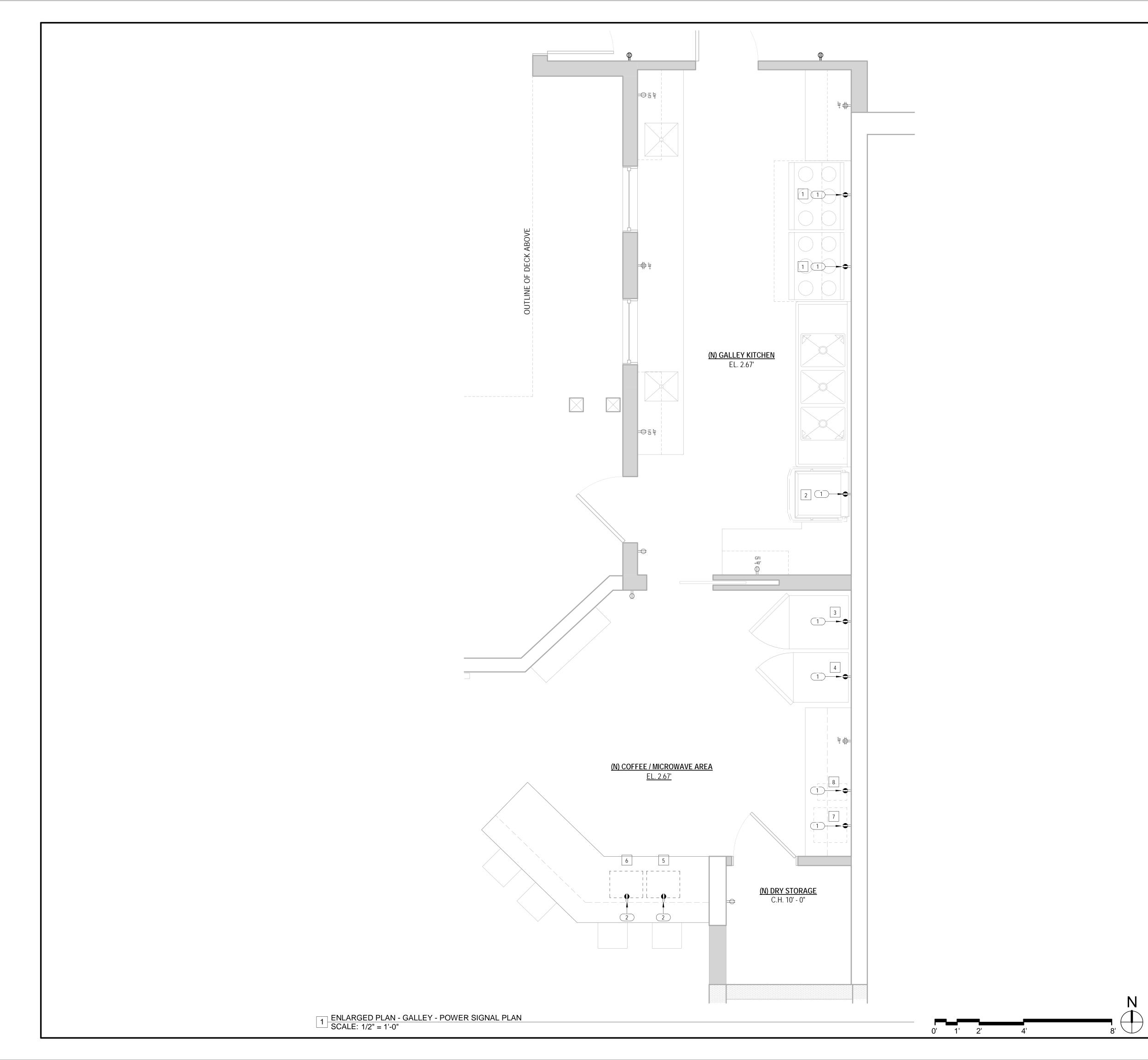
DRAWN BY: T

TITLE 24

SHEET NUMBER:

A6.3





SHEET NOTE

- 1. REFER TO A0.2 FOR GENERAL NOTES.
- REFER TO A0.3 FOR SYMBOL LEGEND.
- 3. REFER TO DETAIL E2.1 FOR TYPICAL DEVICE MOUNTING HEIGHTS.
- 4. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.5. SEE E2.1 FOR WALL SWITCH LOCATIONS.
- 6. TELE / DATA CABLING PROVIDED BY TENANT UNDER SEPARATE CONTRACT.
 VERIFY OUTLET AND CONDUIT REQUIREMENTS WITH TENANT'S VENDOR. GC
 TO PROVIDE CONDUIT, BACK BOX, AND TAGGED PULL STRINGS
- 7. FURNITURE IS SHOWN FOR REFERENCE ONLY AND IS NOT IN CONTRACT.
 GC TO VERIFY FURNITURE POWER AND SIGNAL REQUIREMENTS AND
 LOCATIONS WITH FURNITURE VENDOR PRIOR TO BEGINNING WORK. GC TO
 CUT FURNITURE WHIPS TO APPROPRIATE LENGTHS AND TO CONNECT
 WHIPS TO FURNITURE POWER IN FEEDS.
- 8. COVER PLATES, SWITCHES, AND OUTLETS TO BE WHITE IN COLOR, UON. AT MILLWORK, SPECIALTY FINISH AND ACCENT WALL LOCATIONS, CONFIRM COLOR W/ ARCHITECT.
- 9. GC TO LAYOUT FLOOR CORE LOCATIONS FOR ARCHITECT'S REVIEW ON SITE PRIOR TO BEGINNING WORK.
- 10. MOUNT ALL TELEPHONE / DATA / ELECTRICAL RECEPTACLES ABOVE WORK SURFACES HORIZONTALLY.
- 11. ALL OUTLETS AT WET LOCATIONS TO BE GFI DEVICES.
- CEILING AT WALL MOUNTED TELEPHONE AND DATA OUTLETS IN FULL HEIGHT OR ACOUSTICAL PARTITIONS.

 13. PROVIDE CONDUIT FROM FLOOR TELEPHONE AND DATA RISER CLOSET TO

12. PROVIDE OUTLET BOX WITH 3/4" CONDUIT STUBBED TO PLENUM 6" ABOVE

- 13. PROVIDE CONDUIT FROM FLOOR TELEPHONE AND DATA RISER CLOSET TO TENANT'S TERMINAL BOARD LOCATION. SIZE AND ROUTING TO BE COORDINATED WITH TENANT'S CABLING VENDOR.
- 14. OFFSET ALL WALL MOUNTED OUTLETS SHOWN BACK TO BACK ON PLAN TO AVOID BACK TO BACK INSTALLATION. OUTLETS IN ACOUSTICALLY TREATED WALLS SHALL BE LOCATED IN SEPARATE STUD BAYS OR ACOUSTICALLY SEALED.
- 15. LOCATE WALL OUTLETS AT DIMENSION NOTED OR ON STUD WITHIN 12" OF LOCATION SHOWN ON DOCUMENT IF NOT NOTED.
- 16. HORIZONTAL DIMENSION ARE TO THE CENTER LINE OF SINGLE OUTLETS AND THE MID-POINT OF MULTI GANG DEVICES.

 17. MAINTAIN 3" CLEAR AT ELOOP OUTLETS AD IACENT TO WALL HON.
- 17. MAINTAIN 3" CLEAR AT FLOOR OUTLETS ADJACENT TO WALL UON.
 18. WHERE FLOOR MONUMENTS ARE SHOWN NEXT TO EACH OTHER, LOCATE
- THEM AS CLOSE TOGETHER AS PRACTICAL.

 19. ARCHITECTURAL DRAWINGS OVER-RIDE ENGINEERING DOCUMENTS FOR
- THE LOCATIONS OF OUTLETS.
- 20. PROVIDE ABOVE CEILING POWER FOR EQUIPMENT LOCATED AT CEILING.
 REFER TO E2.1 FOR LOCATIONS.
- 21. AV EQUIPMENT PROVIDED AND INSTALLED BY TENANT'S VENDOR. GC TO PROVIDE ASSOCIATED POWER, SIGNAL, AND CONDUIT. GC TO VERIFY REQUIREMENTS WITH AV VENDOR.
- 22. SECURITY CAMERAS AND CARD READERS BY TENANT'S SECURITY VENDOR.
 GC TO PROVIDE ASSOCIATED POWER, SIGNAL, AND CONDUIT. VERIFY
 REQUIREMENTS AND LOCATIONS WITH TENANT'S SECURITY VENDOR PRIOR
 TO COMPLETING WORK.

KEYNOTES E1.1

COORDINATE OUTLET LOCATION WITH MFR'S SPECIFICATIONS, TYP.
 (N) MILLWORK MOUNTED ELECTRICAL OUTLETS, TYP. COORDINATE OUTLET LOCATON WITH MFR'S SPECIFICATIONS, TYP.

EQUIPMENT SCHEDULE

NUM	DESCRIPTION	COMMENTS
1	(N) 36" RANGE W/ 6 OPEN BURNERS	
2	(N) COMMERCIAL DISHWASHER	
3	EXISTING FREEZER	
4	EXISTING REFRIGERATOR	
5	(N) MICROWAVE	
6	(N) CONVECTION OVEN	
7	(N) COFFEE MACHINE	
8	(N) COFFEE GRINDER	



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94109 BLOCK: 0405 LOT: 004

ITE PERMIT	09.17.20
EVISION 01	09.15.22
EVISION 02	03.29.23
EVISION 03	05.09.23
LAN CHECK	11.29.23
UILDING PERMIT	09.15.24

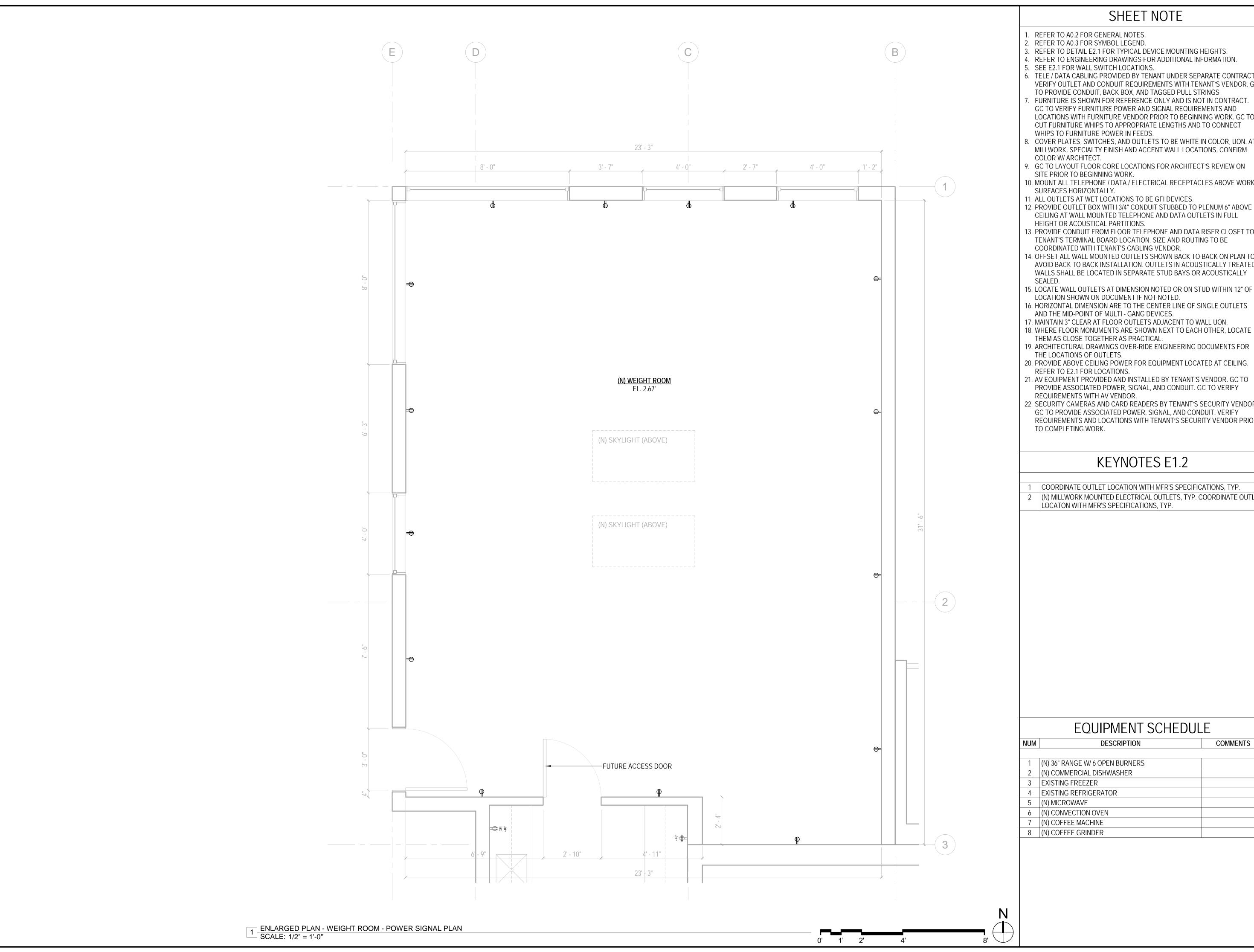
DATE:

DRAWN BY: SHEET TITLE:

GALLEY
POWER SIGNAL
PLAN

SHEET NUMBER:

E1.1



SHEET NOTE

- . REFER TO A0.2 FOR GENERAL NOTES.
- 3. REFER TO DETAIL E2.1 FOR TYPICAL DEVICE MOUNTING HEIGHTS.
- 4. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- 6. TELE / DATA CABLING PROVIDED BY TENANT UNDER SEPARATE CONTRACT VERIFY OUTLET AND CONDUIT REQUIREMENTS WITH TENANT'S VENDOR. GC
- FURNITURE IS SHOWN FOR REFERENCE ONLY AND IS NOT IN CONTRACT GC TO VERIFY FURNITURE POWER AND SIGNAL REQUIREMENTS AND LOCATIONS WITH FURNITURE VENDOR PRIOR TO BEGINNING WORK. GC TO CUT FURNITURE WHIPS TO APPROPRIATE LENGTHS AND TO CONNECT
- WHIPS TO FURNITURE POWER IN FEEDS. . COVER PLATES, SWITCHES, AND OUTLETS TO BE WHITE IN COLOR, UON. AT MILLWORK, SPECIALTY FINISH AND ACCENT WALL LOCATIONS, CONFIRM
- 9. GC TO LAYOUT FLOOR CORE LOCATIONS FOR ARCHITECT'S REVIEW ON SITE PRIOR TO BEGINNING WORK.
- 10. MOUNT ALL TELEPHONE / DATA / ELECTRICAL RECEPTACLES ABOVE WORK
- 11. ALL OUTLETS AT WET LOCATIONS TO BE GFI DEVICES.
- CEILING AT WALL MOUNTED TELEPHONE AND DATA OUTLETS IN FULL HEIGHT OR ACOUSTICAL PARTITIONS. 13. PROVIDE CONDUIT FROM FLOOR TELEPHONE AND DATA RISER CLOSET TO
- TENANT'S TERMINAL BOARD LOCATION. SIZE AND ROUTING TO BE COORDINATED WITH TENANT'S CABLING VENDOR.
- 14. OFFSET ALL WALL MOUNTED OUTLETS SHOWN BACK TO BACK ON PLAN TO AVOID BACK TO BACK INSTALLATION. OUTLETS IN ACOUSTICALLY TREATED WALLS SHALL BE LOCATED IN SEPARATE STUD BAYS OR ACOUSTICALLY
- 15. LOCATE WALL OUTLETS AT DIMENSION NOTED OR ON STUD WITHIN 12" OF LOCATION SHOWN ON DOCUMENT IF NOT NOTED.
- AND THE MID-POINT OF MULTI GANG DEVICES.
- 17. MAINTAIN 3" CLEAR AT FLOOR OUTLETS ADJACENT TO WALL UON. 18. WHERE FLOOR MONUMENTS ARE SHOWN NEXT TO EACH OTHER, LOCATE
- THEM AS CLOSE TOGETHER AS PRACTICAL. 19. ARCHITECTURAL DRAWINGS OVER-RIDE ENGINEERING DOCUMENTS FOR
- THE LOCATIONS OF OUTLETS.
- 20. PROVIDE ABOVE CEILING POWER FOR EQUIPMENT LOCATED AT CEILING. REFER TO E2.1 FOR LOCATIONS.
- 21. AV EQUIPMENT PROVIDED AND INSTALLED BY TENANT'S VENDOR. GC TO PROVIDE ASSOCIATED POWER, SIGNAL, AND CONDUIT. GC TO VERIFY REQUIREMENTS WITH AV VENDOR.
- 22. SECURITY CAMERAS AND CARD READERS BY TENANT'S SECURITY VENDOR. GC TO PROVIDE ASSOCIATED POWER, SIGNAL, AND CONDUIT. VERIFY REQUIREMENTS AND LOCATIONS WITH TENANT'S SECURITY VENDOR PRIOR TO COMPLETING WORK.

KEYNOTES E1.2

1 COORDINATE OUTLET LOCATION WITH MFR'S SPECIFICATIONS, TYP. 2 (N) MILLWORK MOUNTED ELECTRICAL OUTLETS, TYP. COORDINATE OUTLET LOCATON WITH MFR'S SPECIFICATIONS, TYP.

EQUIPMENT SCHEDULE

NUM	DESCRIPTION	COMMENTS
1	(N) 36" RANGE W/ 6 OPEN BURNERS	
2	(N) COMMERCIAL DISHWASHER	
3	EXISTING FREEZER	
4	EXISTING REFRIGERATOR	
5	(N) MICROWAVE	
6	(N) CONVECTION OVEN	
7	(N) COFFEE MACHINE	
8	(N) COFFEE GRINDER	



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

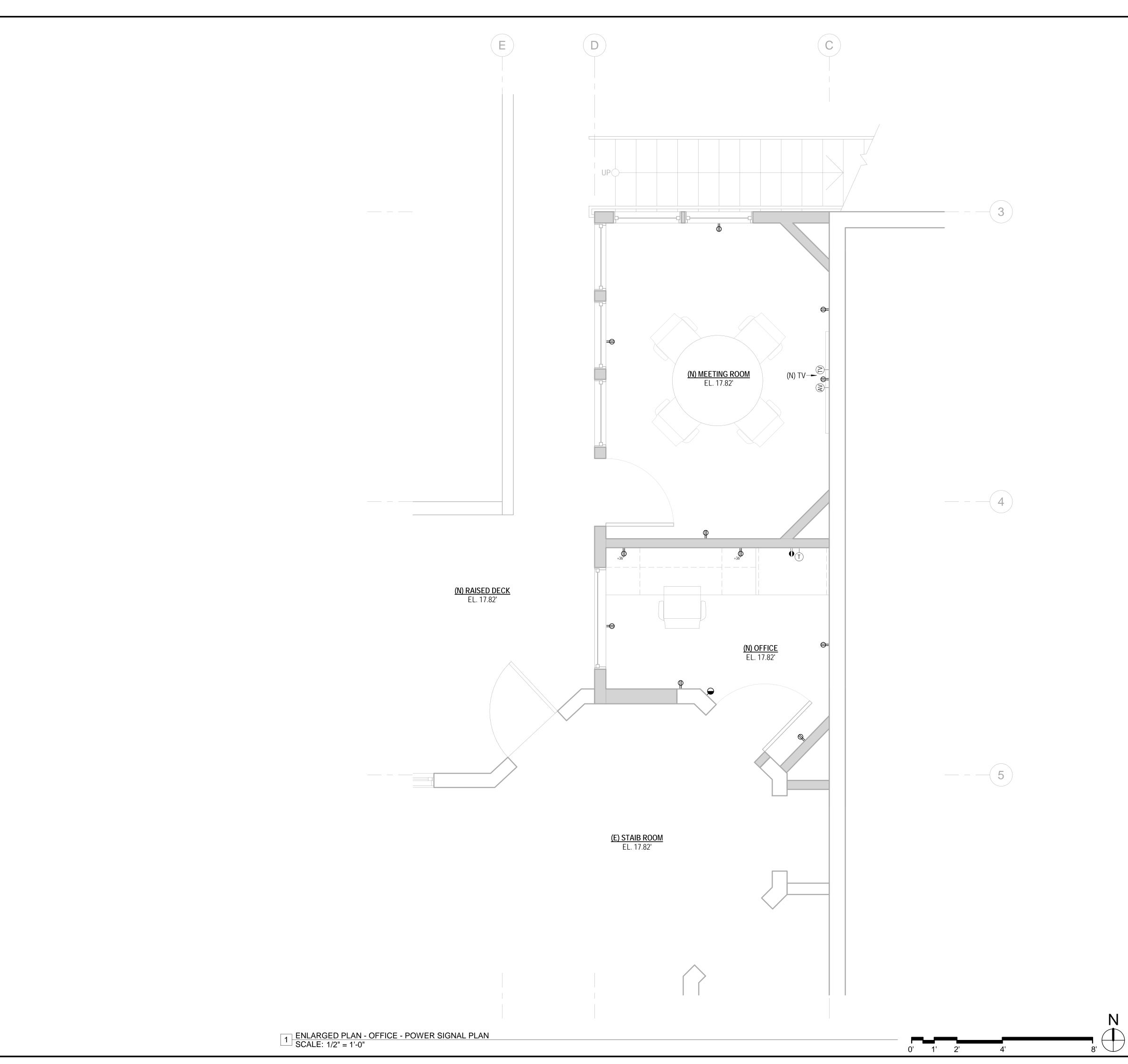
ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94109 BLOCK: 0405 LOT: 004

SSUE:	DATE:
ITE PERMIT	09.17.20
EVISION 01	09.15.22
EVISION 02	03.29.23
EVISION 03	05.09.23
LAN CHECK	11.29.23
UILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

WEIGHT ROOM POWER SIGNAL PLAN



SHEET NOTE

- 1. REFER TO A0.2 FOR GENERAL NOTES.
- 2. REFER TO A0.3 FOR SYMBOL LEGEND.
- 3. REFER TO DETAIL E2.1 FOR TYPICAL DEVICE MOUNTING HEIGHTS.
- 4. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- SEE E2.1 FOR WALL SWITCH LOCATIONS.
 TELE / DATA CABLING PROVIDED BY TENANT UNDER SEPARATE CONTRACT.
 VERIFY OUTLET AND CONDUIT REQUIREMENTS WITH TENANT'S VENDOR. GC
 TO PROVIDE CONDUIT, BACK BOX, AND TAGGED PULL STRINGS
- 7. FURNITURE IS SHOWN FOR REFERENCE ONLY AND IS NOT IN CONTRACT.
 GC TO VERIFY FURNITURE POWER AND SIGNAL REQUIREMENTS AND
 LOCATIONS WITH FURNITURE VENDOR PRIOR TO BEGINNING WORK. GC TO
 CUT FURNITURE WHIPS TO APPROPRIATE LENGTHS AND TO CONNECT
 WHIPS TO FURNITURE POWER IN FEEDS.
- 8. COVER PLATES, SWITCHES, AND OUTLETS TO BE WHITE IN COLOR, UON. AT MILLWORK, SPECIALTY FINISH AND ACCENT WALL LOCATIONS, CONFIRM COLOR W/ ARCHITECT.
- 9. GC TO LAYOUT FLOOR CORE LOCATIONS FOR ARCHITECT'S REVIEW ON SITE PRIOR TO BEGINNING WORK.
- 10. MOUNT ALL TELEPHONE / DATA / ELECTRICAL RECEPTACLES ABOVE WORK SURFACES HORIZONTALLY.

12. PROVIDE OUTLET BOX WITH 3/4" CONDUIT STUBBED TO PLENUM 6" ABOVE

- 11. ALL OUTLETS AT WET LOCATIONS TO BE GFI DEVICES.
- CEILING AT WALL MOUNTED TELEPHONE AND DATA OUTLETS IN FULL
 HEIGHT OR ACOUSTICAL PARTITIONS.

 13 PROVIDE CONDUIT FROM ELOOR TELEPHONE AND DATA RISER CLOSET TO
- 13. PROVIDE CONDUIT FROM FLOOR TELEPHONE AND DATA RISER CLOSET TO TENANT'S TERMINAL BOARD LOCATION. SIZE AND ROUTING TO BE COORDINATED WITH TENANT'S CABLING VENDOR.
- 14. OFFSET ALL WALL MOUNTED OUTLETS SHOWN BACK TO BACK ON PLAN TO AVOID BACK TO BACK INSTALLATION. OUTLETS IN ACOUSTICALLY TREATED WALLS SHALL BE LOCATED IN SEPARATE STUD BAYS OR ACOUSTICALLY SEALED.
- 15. LOCATE WALL OUTLETS AT DIMENSION NOTED OR ON STUD WITHIN 12" OF LOCATION SHOWN ON DOCUMENT IF NOT NOTED.
- 16. HORIZONTAL DIMENSION ARE TO THE CENTER LINE OF SINGLE OUTLETS AND THE MID-POINT OF MULTI GANG DEVICES.
- 17. MAINTAIN 3" CLEAR AT FLOOR OUTLETS ADJACENT TO WALL UON.
 18. WHERE FLOOR MONUMENTS ARE SHOWN NEXT TO EACH OTHER, LOCATE
- THEM AS CLOSE TOGETHER AS PRACTICAL.

 19. ARCHITECTURAL DRAWINGS OVER-RIDE ENGINEERING DOCUMENTS FOR
- THE LOCATIONS OF OUTLETS.
- 20. PROVIDE ABOVE CEILING POWER FOR EQUIPMENT LOCATED AT CEILING. REFER TO E2.1 FOR LOCATIONS.
- 21. AV EQUIPMENT PROVIDED AND INSTALLED BY TENANT'S VENDOR. GC TO PROVIDE ASSOCIATED POWER, SIGNAL, AND CONDUIT. GC TO VERIFY REQUIREMENTS WITH AV VENDOR.
- 22. SECURITY CAMERAS AND CARD READERS BY TENANT'S SECURITY VENDOR. GC TO PROVIDE ASSOCIATED POWER, SIGNAL, AND CONDUIT. VERIFY REQUIREMENTS AND LOCATIONS WITH TENANT'S SECURITY VENDOR PRIOR TO COMPLETING WORK.

KEYNOTES E1.2

COORDINATE OUTLET LOCATION WITH MFR'S SPECIFICATIONS, TYP.
 (N) MILLWORK MOUNTED ELECTRICAL OUTLETS, TYP. COORDINATE OUTLET LOCATON WITH MFR'S SPECIFICATIONS, TYP.

EQUIPMENT SCHEDULE

NUM	DESCRIPTION	COMMENTS
1	(N) 36" RANGE W/ 6 OPEN BURNERS	
2	(N) COMMERCIAL DISHWASHER	
3	EXISTING FREEZER	
4	EXISTING REFRIGERATOR	
5	(N) MICROWAVE	
6	(N) CONVECTION OVEN	
7	(N) COFFEE MACHINE	
8	(N) COFFEE GRINDER	



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94109 BLOCK: 0405 LOT: 004

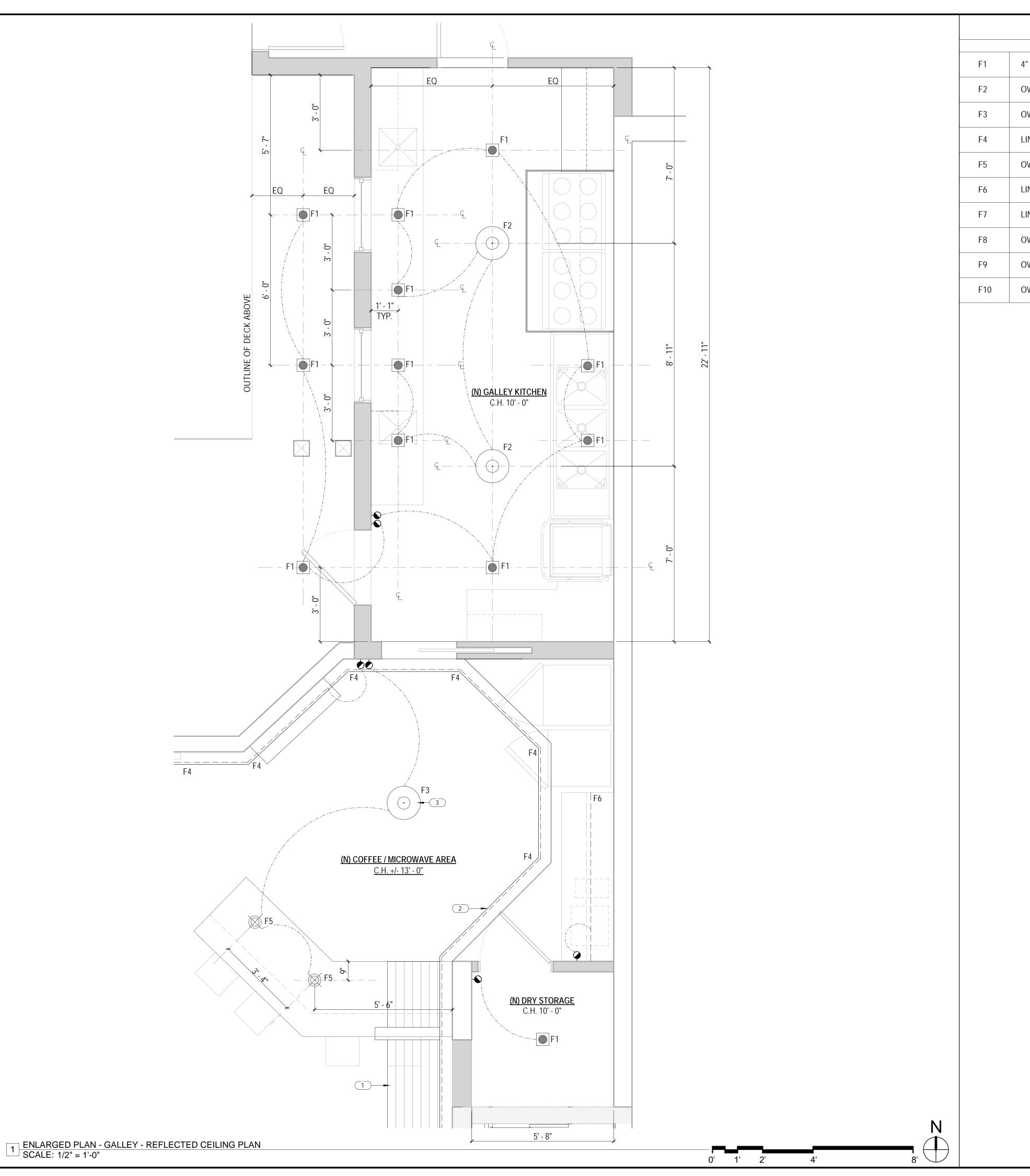
SSUE:	DATE:
ITE PERMIT	09.17.20
EVISION 01	09.15.22
EVISION 02	03.29.23
EVISION 03	05.09.23
LAN CHECK	11.29.23
UILDING PERMIT	09.15.24

DRAWN BY:
SHEET TITLE:

OFFICE POWER SIGNAL PLAN

SHEET NUMBER:

E1.3





- SHEET NOTES
- 1. REFER TO A0.2 FOR GENERAL NOTES.
- 2. REFER TO A0.3 FOR SYMBOL LEGEND.
- 3. REFER TO A6.2 FOR GENERAL CEILING DETAILS.
- 4. REFER TO A4.1 FOR GYPSUM BOARD CEILING FINISHES.
- 5. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION. 6. GYPSUM BOARD CEILING HEIGHT IS 10'-0" AFF, UON
- 7. ALL DIMENSIONS FOR LIGHT FIXTURES ARE TO FIXTURE CENTER LINE,
- 8. CEILING GRILLES AND DIFFUSERS TO BE WHITE IN COLOR, UON. 9. GANG ALL SWITCH PLATE COVERS WHERE PRACTICAL.
- 10. THERMOSTAT LOCATIONS TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- 11. LOCATION OF ALL NEW DRYWALL CEILING RELATED ITEMS INCLUDING, BUT NOT LIMITED TO, STROBES, SMOKE DETECTORS, SPRINKLERS, ACCESS PANELS, AIR GRILLES, LIGHTS, ETC. TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO BEGINNING OF WORK.
- 12. PROVIDE CONCEALED TYPE SPRINKLER HEADS AT DRYWALL CEILINGS. CAPS TO BE WHITE, UON.
- 13. PROVIDE DIMMABLE WALL WASHERS AND DOWN LIGHTS IN, UON.
- 14. SEE DETAIL 2/ FOR TYPICAL LIGHT SWITCH MOUNTING HEIGHT. 15. AT OPEN CEILINGS: PATCH (E) FIREPROOFING AND PAINT UNDERSIDE OF ALL EXPOSED DECK/FIREPROOFED DECK/ITEMS INCLUDING PIPES,
- SPRINKLER LINES AND CONDUIT ABOVE 10'-0" BLACK. 16. AT OPEN CEILINGS: ALL EXPOSED DUCTWORK TO BE PAINTED HARD DUCT AND HAVE CLEAR JOINT SEALER. ALL EXPOSED DUCTS TO BE HUNG WITH STRAPS. NO. 8 GAUGE GALVANIZED STEEL WIRE IS NOT ACCEPTABLE. NO FLEX DUCT TO BE INSTALLED IN EXPOSED AREAS. NO DUCTS IN EXPOSED

AREAS TO RECEIVE INSULATION WRAP.

- 17. AT OPEN CEILINGS: ALL EXPOSED CONDUIT, SPRINKLER LINES AND HVAC DUCT TO RUN PERPENDICULAR TO OFFICE AND EXTERIOR WALLS. GANG EXPOSED CONDUIT RUNS TIGHT TO ONE ANOTHER AND ALIGNED W/ DUCT RUNS OR CABLE TRAY RUNS TO PROVIDE AN ALIGNED AND COLLECTED GROUPING APPEARANCE. RUN CONDUIT AS TIGHT AS POSSIBLE TO UNDERSIDE OF (E) BEAMS.
- 18. ALL DRYWALL ACCESS PANELS TO INCLUDE A DRYWALL PANEL SYSTEM.
- 19. ALL J-BOXES LOCATED IN EXPOSED CEILLINGS ARE TO BE COORDINATED IN FIELD W/ ARCHITECT.

KEYNOTES E2.1

1 EXISTING SLOPED HORIZONTAL WOOD SOFFIT TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.

-SIDELIGHT, WHERE APPLICABLE

—SCHEDULED CEILING

SIDELIGHT JAMB.

SWITCHES.)

OUTLETS (TYP)

-STROBE (VERIFY WITH ALL APPLICABLE CODES.)

-SIDELIGHT, WHERE APPLICABLE

THERMOSTAT (NON-OPERABLE)

-THERMOSTAT (OPERABLE)

-SCHEDULED HARDWARE

—ELECTRICAL AND TELE/DATA

-LIGHT SWITCHES (GANG MULTIPLE

ADJUST DEVICES IN RELATION TO

NOTE: ALL DEVICE LOCATIONS SHOWN BELOW ARE DIMENSIONED WITH RESPECT TO THE STRIKE SIDE DOOR JAMB. WHERE SIDELIGHT OCCUS, SHIFT ALL DEVICES TO INDICATED DISTANCES

WITH RESPECT TO SIDELIGHT JAMB. REFERENCE ARCHITECTURAL

THEN ELECTRICAL DRAWINGS AT EACH DOOR TO DETERMINE IF

SWITCHES ARE LOCATED ON DOOR WALL OR SIDE WALL. NOTIFY

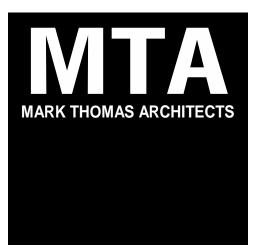
ARCHITECT PRIOR TO INSTALLATION WHERE LOCATION IS NOT CLEAR. ALL DEVICES SHALL ALIGN VERTICALLY WHERE POSSIBLE

AT INDICATED SWITCH LOCATION.

MIN

2 GALLEY - DEVICE MOUNTING HEIGHTS SCALE: 1/2" = 1'-0"

- 2 EXISTING WOOD COVE TO REMAIN. REPAIR AS REQUIRED TO HOUSE NEW LED STRIP LIGHTING.
- 3 CENTER SCHEDULED PENDANT FIXTURE AT CENTER OF HEXAGON.



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



DOLPHIN CLUB

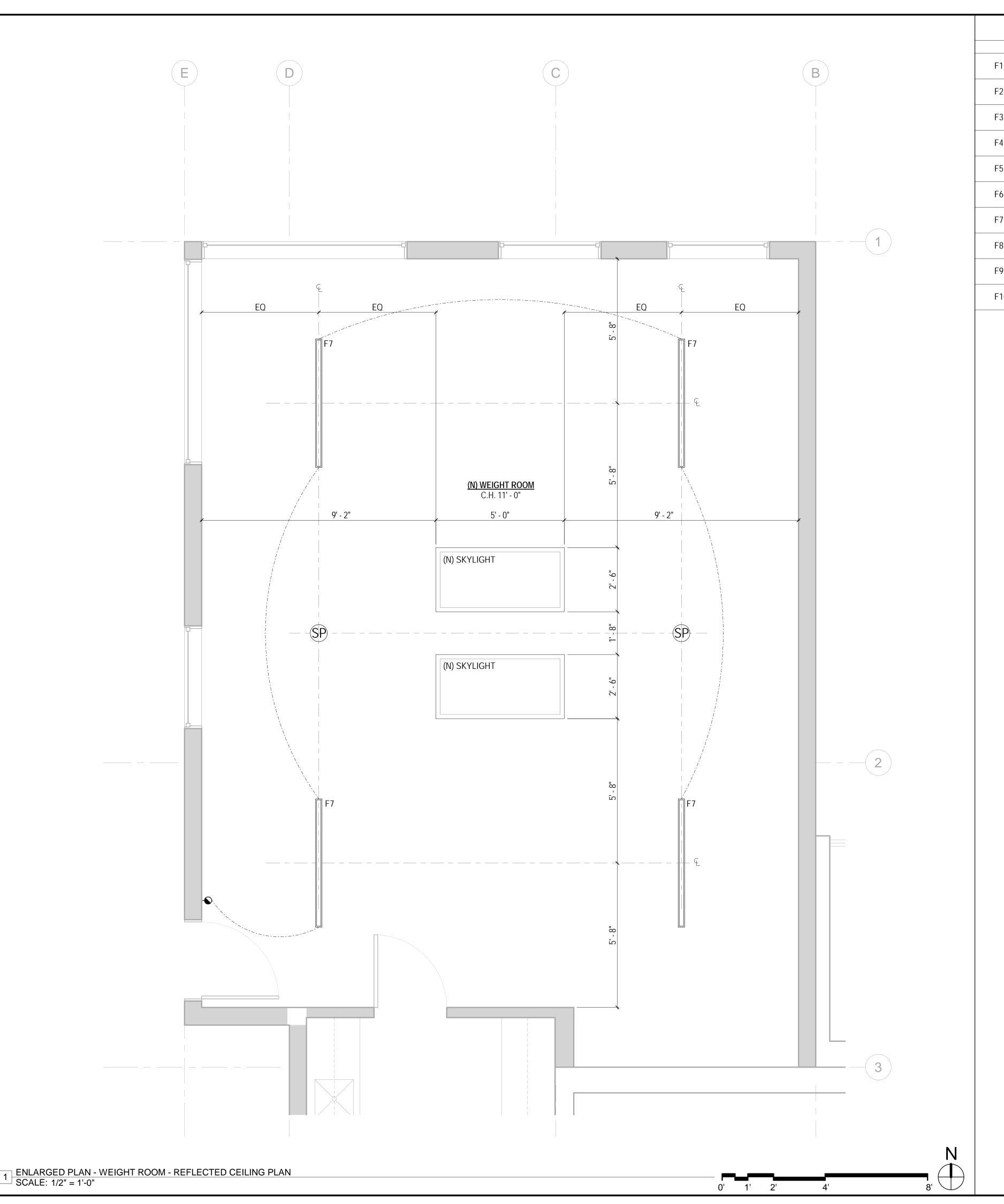
ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94109 BLOCK: 0405 LOT: 004

SSUE:	DATE:
ITE PERMIT	09.17.20
EVISION 01	09.15.22
EVISION 02	03.29.23
EVISION 03	05.09.23
LAN CHECK	11.29.23
UILDING PERMIT	09.15.24

DRAWN BY: SHEET TITLE:

GALLEY REFLECTED CEILING PLAN



F1 4" SQUARE RECESSED DOWNLIGHTS

F2 OWNER PROVIDED LED PENDANT FIXTURE

F3 OWNER PROVIDED LED PENDANT FIXTURE

F4 LINEAR LED COVE FIXTURE

F5 OWNER PROVIDED LED PENDANT FIXTURE

F6 LINEAR LED UNDERCABINET FIXTURE

F7 LINEAR LED DIRECT / INDIRECT PENDANT FIXTURE

F8 OWNER PROVIDED LED PENDANT FIXTURE

F9 OWNER PROVIDED LED SURFACE MOUNT FIXTURE

F10 OWNER PROVIDED WALL SCONCE FIXTURE

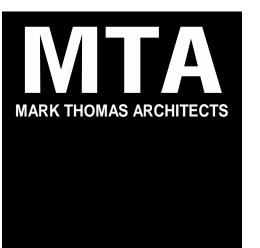
- SHEET NOTES
- 1. REFER TO A0.2 FOR GENERAL NOTES.
- 2. REFER TO A0.3 FOR SYMBOL LEGEND.

 3. REFER TO A6.2 FOR GENERAL CELLING DETAIL
- 3. REFER TO A6.2 FOR GENERAL CEILING DETAILS.
- 4. REFER TO A4.1 FOR GYPSUM BOARD CEILING FINISHES.
- REFER TO A4.1 FOR GYPSUM BOARD CEILING FINISHES.
 REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- 6. GYPSUM BOARD CEILING HEIGHT IS 10'-0" AFF, UON
- 7. ALL DIMENSIONS FOR LIGHT FIXTURES ARE TO FIXTURE CENTER LINE, UON.
- UON.
 8. CEILING GRILLES AND DIFFUSERS TO BE WHITE IN COLOR, UON.
- 9. GANG ALL SWITCH PLATE COVERS WHERE PRACTICAL.
- 10. THERMOSTAT LOCATIONS TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.11. LOCATION OF ALL NEW DRYWALL CEILING RELATED ITEMS INCLUDING, BUT
- NOT LIMITED TO, STROBES, SMOKE DETECTORS, SPRINKLERS, ACCESS PANELS, AIR GRILLES, LIGHTS, ETC. TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO BEGINNING OF WORK.
- 12. PROVIDE CONCEALED TYPE SPRINKLER HEADS AT DRYWALL CEILINGS. CAPS TO BE WHITE, UON.
- 13. PROVIDE DIMMABLE WALL WASHERS AND DOWN LIGHTS IN, UON. 14. SEE DETAIL 2/ FOR TYPICAL LIGHT SWITCH MOUNTING HEIGHT.
- 15. AT OPEN CEILINGS: PATCH (E) FIREPROOFING AND PAINT UNDERSIDE OF ALL EXPOSED DECK/FIREPROOFED DECK/ITEMS INCLUDING PIPES, SPRINKLER LINES AND CONDUIT ABOVE 10'-0" BLACK.
- 16. AT OPEN CEILINGS: ALL EXPOSED DUCTWORK TO BE PAINTED HARD DUCT AND HAVE CLEAR JOINT SEALER. ALL EXPOSED DUCTS TO BE HUNG WITH STRAPS. NO. 8 GAUGE GALVANIZED STEEL WIRE IS NOT ACCEPTABLE. NO FLEX DUCT TO BE INSTALLED IN EXPOSED AREAS. NO DUCTS IN EXPOSED AREAS TO RECEIVE INSULATION WRAP.
- 17. AT OPEN CEILINGS: ALL EXPOSED CONDUIT, SPRINKLER LINES AND HVAC DUCT TO RUN PERPENDICULAR TO OFFICE AND EXTERIOR WALLS. GANG EXPOSED CONDUIT RUNS TIGHT TO ONE ANOTHER AND ALIGNED W/ DUCT RUNS OR CABLE TRAY RUNS TO PROVIDE AN ALIGNED AND COLLECTED GROUPING APPEARANCE. RUN CONDUIT AS TIGHT AS POSSIBLE TO UNDERSIDE OF (E) BEAMS.
- 18. ALL DRYWALL ACCESS PANELS TO INCLUDE A DRYWALL PANEL SYSTEM.
 19. ALL J-BOXES LOCATED IN EXPOSED CEILLINGS ARE TO BE COORDINATED IN

FIELD W/ ARCHITECT.

KEYNOTES E2.2

- 1 EXISTING SLOPED HORIZONTAL WOOD SOFFIT TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.
- 2 EXISTING WOOD COVE TO REMAIN. REPAIR AS REQUIRED TO HOUSE NEW LED STRIP LIGHTING.
- 3 CENTER SCHEDULED PENDANT FIXTURE AT CENTER OF HEXAGON.



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM

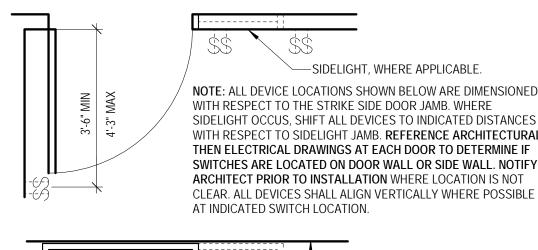


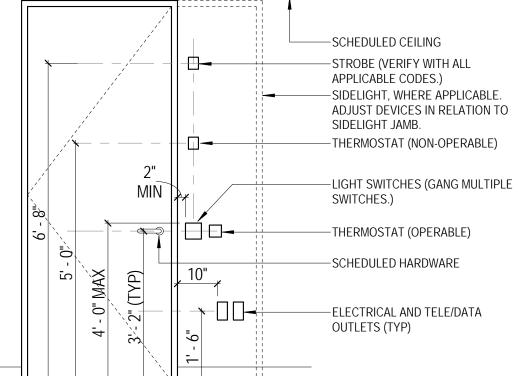
DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94109 BLOCK: 0405 LOT: 004

SSUE:	DATE:
ITE PERMIT	09.17.20
EVISION 01	09.15.22
EVISION 02	03.29.23
EVISION 03	05.09.23
LAN CHECK	11.29.23
UILDING PERMIT	09.15.24





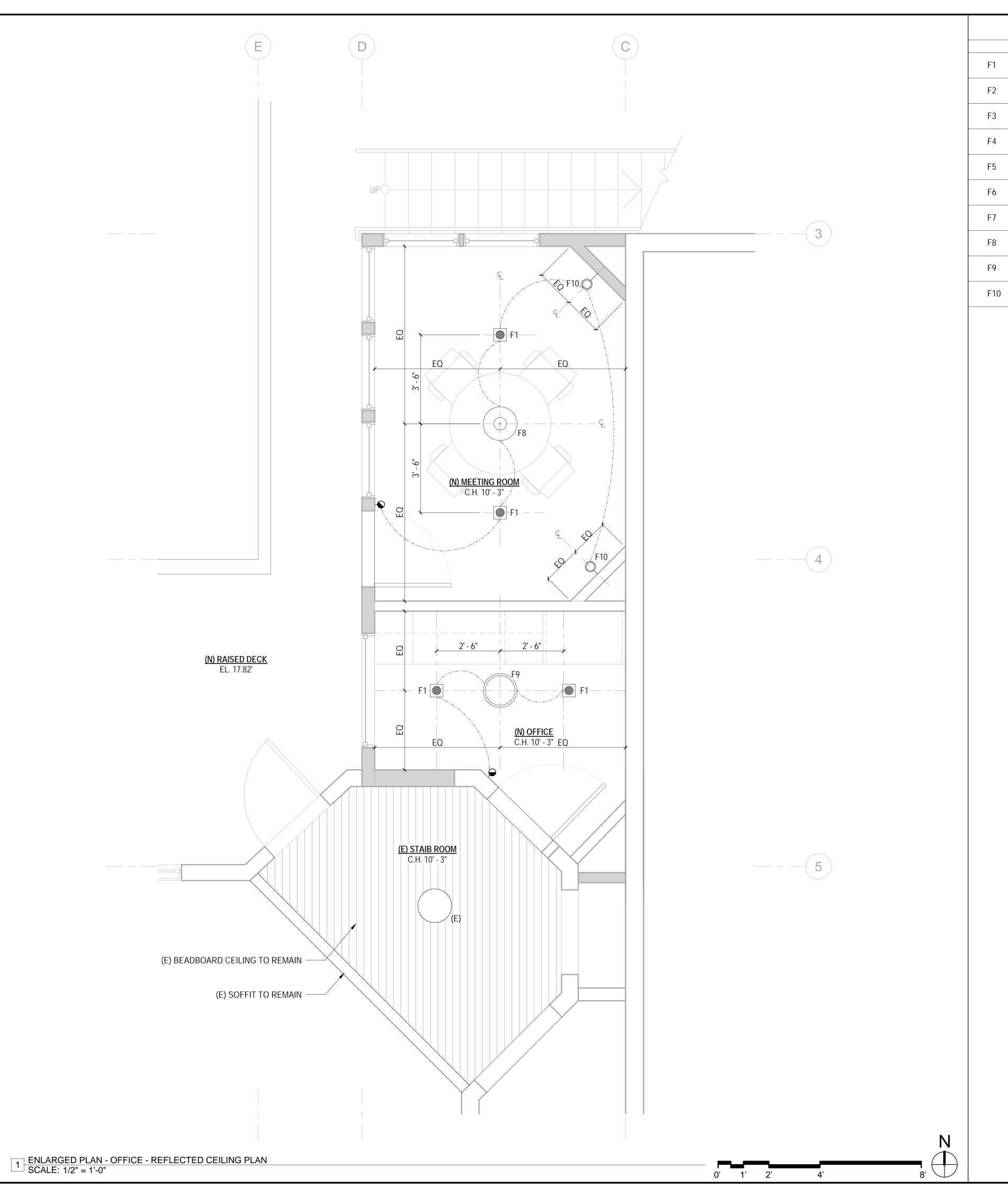
2 WEIGHT ROOM - DEVICE MOUNTING HEIGHTS SCALE: 1/2" = 1'-0"

DRAWN BY: TL
SHEET TITLE:

WEIGHT ROOM
REFLECTED
CEILING PLAN

SHEET NUMBER:

E2.2



LIGHTING SCHEDULE 4" SQUARE RECESSED DOWNLIGHTS OWNER PROVIDED LED PENDANT FIXTURE OWNER PROVIDED LED PENDANT FIXTURE LINEAR LED COVE FIXTURE OWNER PROVIDED LED PENDANT FIXTURE LINEAR LED UNDERCABINET FIXTURE LINEAR LED DIRECT / INDIRECT PENDANT FIXTURE OWNER PROVIDED LED PENDANT FIXTURE OWNER PROVIDED LED SURFACE MOUNT FIXTURE OWNER PROVIDED WALL SCONCE FIXTURE

- SHEET NOTES
- 1. REFER TO A0.2 FOR GENERAL NOTES.
- 2. REFER TO A0.3 FOR SYMBOL LEGEND.
- 3. REFER TO A6.2 FOR GENERAL CEILING DETAILS.
- 4. REFER TO A4.1 FOR GYPSUM BOARD CEILING FINISHES.
- 5. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION. 6. GYPSUM BOARD CEILING HEIGHT IS 10'-0" AFF, UON
- 7. ALL DIMENSIONS FOR LIGHT FIXTURES ARE TO FIXTURE CENTER LINE,
- 8. CEILING GRILLES AND DIFFUSERS TO BE WHITE IN COLOR, UON. 9. GANG ALL SWITCH PLATE COVERS WHERE PRACTICAL.
- 10. THERMOSTAT LOCATIONS TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- 11. LOCATION OF ALL NEW DRYWALL CEILING RELATED ITEMS INCLUDING, BUT NOT LIMITED TO, STROBES, SMOKE DETECTORS, SPRINKLERS, ACCESS PANELS, AIR GRILLES, LIGHTS, ETC. TO BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO BEGINNING OF WORK.
- 12. PROVIDE CONCEALED TYPE SPRINKLER HEADS AT DRYWALL CEILINGS. CAPS TO BE WHITE, UON.
- 13. PROVIDE DIMMABLE WALL WASHERS AND DOWN LIGHTS IN, UON.
- 14. SEE DETAIL 2/ FOR TYPICAL LIGHT SWITCH MOUNTING HEIGHT. 15. AT OPEN CEILINGS: PATCH (E) FIREPROOFING AND PAINT UNDERSIDE OF ALL EXPOSED DECK/FIREPROOFED DECK/ITEMS INCLUDING PIPES,

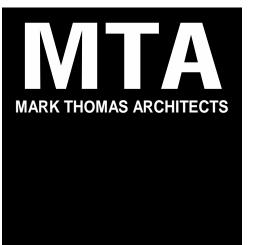
SPRINKLER LINES AND CONDUIT ABOVE 10'-0" BLACK.

- 16. AT OPEN CEILINGS: ALL EXPOSED DUCTWORK TO BE PAINTED HARD DUCT AND HAVE CLEAR JOINT SEALER. ALL EXPOSED DUCTS TO BE HUNG WITH STRAPS. NO. 8 GAUGE GALVANIZED STEEL WIRE IS NOT ACCEPTABLE. NO FLEX DUCT TO BE INSTALLED IN EXPOSED AREAS. NO DUCTS IN EXPOSED AREAS TO RECEIVE INSULATION WRAP.
- 17. AT OPEN CEILINGS: ALL EXPOSED CONDUIT, SPRINKLER LINES AND HVAC DUCT TO RUN PERPENDICULAR TO OFFICE AND EXTERIOR WALLS. GANG EXPOSED CONDUIT RUNS TIGHT TO ONE ANOTHER AND ALIGNED W/ DUCT RUNS OR CABLE TRAY RUNS TO PROVIDE AN ALIGNED AND COLLECTED GROUPING APPEARANCE. RUN CONDUIT AS TIGHT AS POSSIBLE TO UNDERSIDE OF (E) BEAMS.
- 18. ALL DRYWALL ACCESS PANELS TO INCLUDE A DRYWALL PANEL SYSTEM.
- 19. ALL J-BOXES LOCATED IN EXPOSED CEILLINGS ARE TO BE COORDINATED IN FIELD W/ ARCHITECT.

KEYNOTES E2.3

1 EXISTING SLOPED HORIZONTAL WOOD SOFFIT TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.

- 2 EXISTING WOOD COVE TO REMAIN. REPAIR AS REQUIRED TO HOUSE NEW LED STRIP LIGHTING.
- 3 CENTER SCHEDULED PENDANT FIXTURE AT CENTER OF HEXAGON.



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.MTARCHITECTS.COM



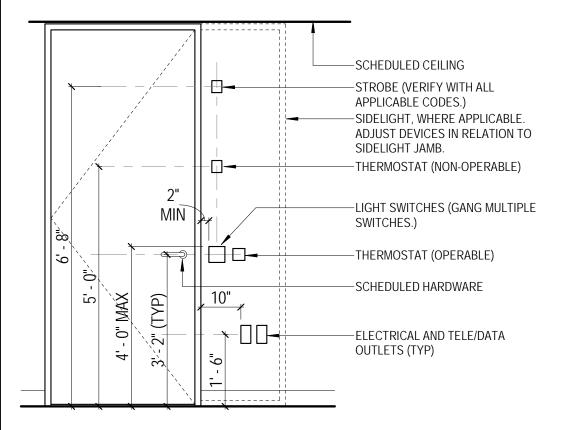
DOLPHIN CLUB

ALTERATIONS & ADDITION

502 JEFFERSON STREET SAN FRANCISCO, CA 94109 BLOCK: 0405 LOT: 004

SSUE:	DATE:
SITE PERMIT	09.17.20
REVISION 01	09.15.22
REVISION 02	03.29.23
REVISION 03	05.09.23
PLAN CHECK	11.29.23
SUILDING PERMIT	09.15.24

NOTE: ALL DEVICE LOCATIONS SHOWN BELOW ARE DIMENSIONED WITH RESPECT TO THE STRIKE SIDE DOOR JAMB. WHERE SIDELIGHT OCCUS, SHIFT ALL DEVICES TO INDICATED DISTANCES WITH RESPECT TO SIDELIGHT JAMB. REFERENCE ARCHITECTURAL ARCHITECT PRIOR TO INSTALLATION WHERE LOCATION IS NOT CLEAR. ALL DEVICES SHALL ALIGN VERTICALLY WHERE POSSIBLE AT INDICATED SWITCH LOCATION.



OFFICE - DEVICE MOUNTING HEIGHTS SCALE: 1/2" = 1'-0"

DRAWN BY: SHEET TITLE:

OFFICE REFLECTED CEILING PLAN